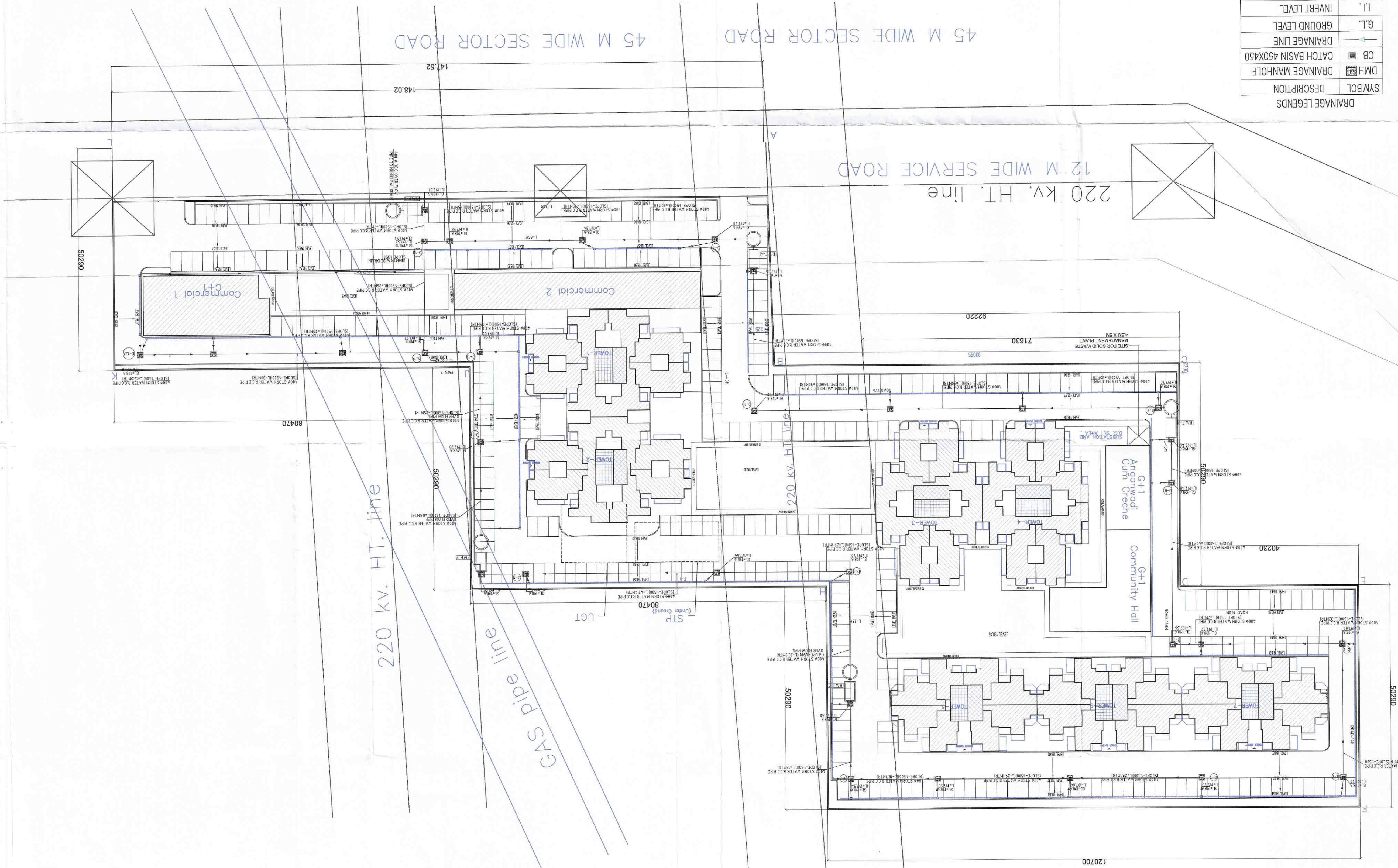


SYMBOL	DESCRIPTION
	DMH
	CB
	DRAINAGE LINE
	G.L.
	INVERT LEVEL
	C.L.
	DRAIN CHANNEL
	ROAD LEVEL



Checked subject to comments
In forwarding letter No. 22/10/15
Dr. 22/10/15
attached with this estimate
Superintending Engineer(HQ)
for Chief Engineer HUDA
Panchkula

Dr. 22/10/15
for Chief Engineer HUDA
Panchkula

LICENSE NO. 13/2015, Dated: 23/11/2015
ISSUED VIDE Endst. No.
LC-3204-JE(S)-2015/22965 Dt 24-11-2015
PROJECT:
AFFORDABLE GROUP HOUSING
SCHEME, SECTOR-70,
FARIDABAD, HARYANA

CLIENT:
M/S AGRASAIN SPACES LLP.

Urban ARCH
Associates
ARCHITECTS | PLANNERS | ENGINEERS
Address : B-116, 2nd Floor,
Nehru Ground, N.I.T, Faridabad
E-mail : reach.urbanarch@gmail.com,
Ph. : 0129-4050165,
Mob. : 7011016501, 9311658437

TITLE:
SITE PLAN SHOWING THE
ROAD LEVELS
DWG NO. : 06
Owners Sign.

Architects Sign.
Executive Engineer
HUDA Division No.
Faridabad
Superintending Engineer
HUDA Circle, Faridabad
Mr. Prachi Singh
B Arch
CA/2006/38501

Addl. Chief Engineer
HUDA Gurgaon

Green AREA CALCULATION						
Type	Quantity	Shape	Formula	Detail		Calculation Each area in sqm
1	1	Rectangle	LxB	41.910	12.330	516.75 ✓
2	1	Rectangle	LxB	16.295	2.335	38.05 ✓
3	1	Rectangle	LxB	7.07	10.750	76.00 ✓
4	1	Rectangle	LxB	11.940	10.750	128.355 ✓
5	1	Rectangle	LxB	6.35	14.500	92.075 ✓
6	1	Rectangle	LxB	35.610	19.830	706.15 ✓
7	1	Rectangle	LxB	5.375	7.070	38.00 ✓
8	1	Rectangle	LxB	10.750	7.070	76.00 ✓
9	1	Rectangle	LxB	9.375	6.800	63.75 ✓
10	1	Rectangle	LxB	10.000	3.200	32.00 ✓
11	1	Rectangle	LxB	4.000	15.100	60.40 ✓

12	1	Rectangle	LxB	5.510	3.400	18.73
13	1	Rectangle	LxB	9.375	9.90	92.81
14	1	Rectangle	LxB	10.750	9.30	99.975
15	1	Rectangle	LxB	35.41	10.60	375.35
16	1	Rectangle	LxB	62.915	6.000	377.49
17	1	Rectangle	LxB	2.225	7.215	16.05
18	11	Rectangle	LxB	5.750	3.765	238.14
19	4	Rectangle	LxB	5.750	7.215	165.945
20	2	Rectangle	LxB	2.950	7.215	42.57
Total Green Area						3254.59

Total Ground Coverage Area Statement in SQM Tower-1 to 7 & Commercial				
s.no	tower name	ground coverage each tower	no of tower	total area
1	tower 1 to 4	532.651	4	2130.604
2	tower 5 to 7	443.813	3	1331.439
3	AANGANWADI	190.000	1	190.000
4	Community	360.000	1	360.000
5	Commercial 1	460.226	1	460.226
6	Commercial 2	371.718	1	371.718
TOTAL				4843.987

residential zone		
Name	Location	Area (SQM)
Tower-1	Still Floor	483.61
Tower-2	Still Floor	483.61
Tower-3	Still Floor	483.61
Tower-4	Still Floor	483.61
Tower-5	Still Floor	391.322
Tower-6	Still Floor	391.322
Tower-7	Still Floor	391.322
Tower-1 to 4		
Terrace Mummy/Mac.		227.704
Tower-5 to 7		
Terrace Mummy/Mac.		183.183
Total		3519.293

Calculation For F.A.R				
Floor	Type-A & A' (32.28%)	Type-B & B' (32.28%)	Type-C & C' (32.28%)	Type-D & D' (32.28%)
1st Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
2nd Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
3rd Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
4th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
5th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
6th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
7th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
8th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
9th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
10th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
11th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
12th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
13th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
14th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
Total	7245.643	7245.643	7245.643	7245.643

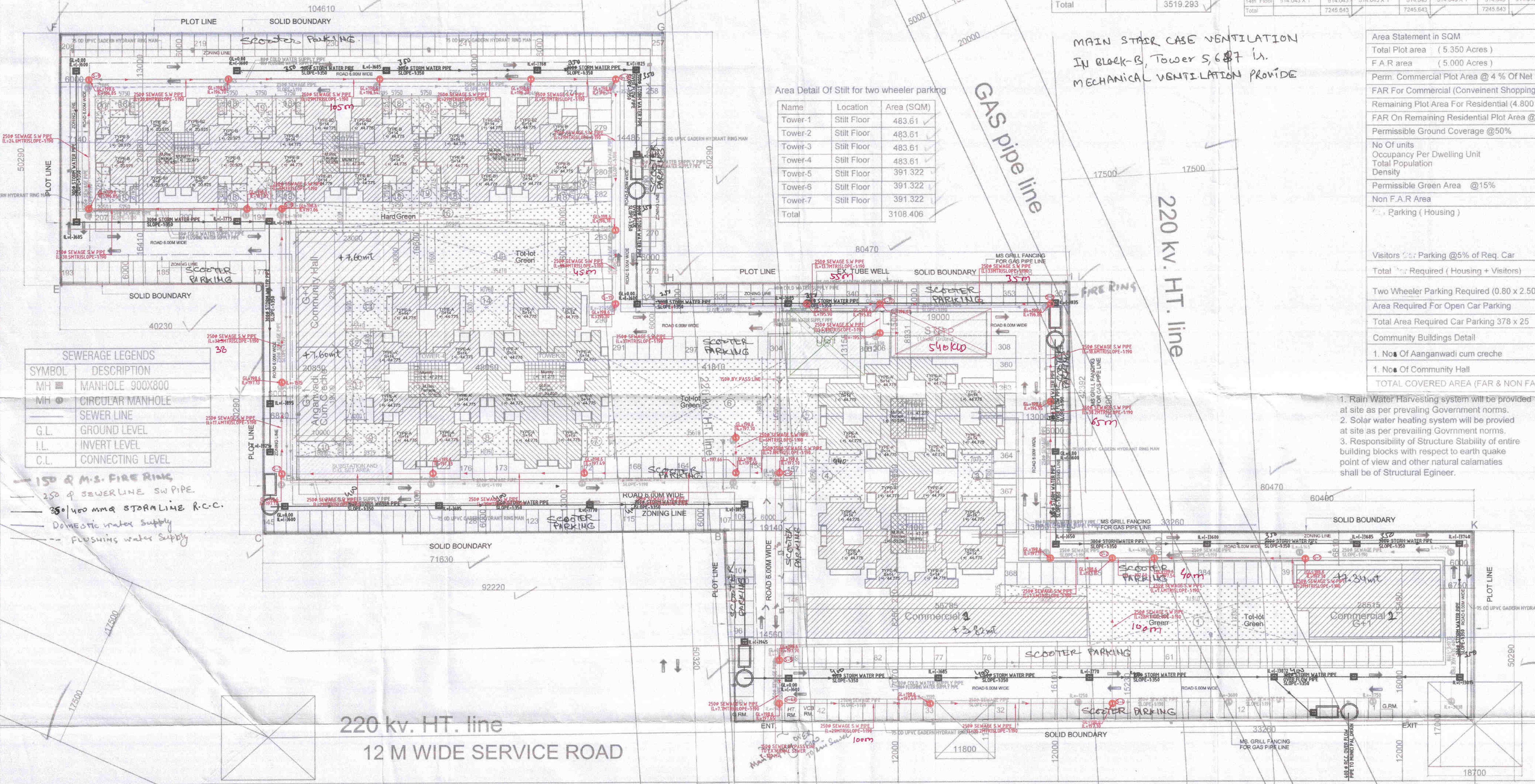
SEWERAGE LEGENDS	
SYMBOL	DESCRIPTION
MH	MANHOLE 900X800
MH	CIRCULAR MANHOLE
—	SEWER LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

DRAINAGE LEGENDS	
SYMBOL	DESCRIPTION
DMH	DRAINAGE MANHOLE
CB	CATCH BASIN 450X450
—	DRAINAGE LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

WATER SUPPLY LEGENDS	
SYMBOL	DESCRIPTION
CWS	COLD WATER SUPPLY
—	GARDEN WATER SUPPLY LINE
—	FLUSHING WATER SUPPLY LINE
GH	GARDEN HYDRANT
—	BORE WELL SUPPLY LINE
—	FIRE WATER LINE
—	MUNICIPAL SUPPLY MAIN LINE

Area Statement in SQM
Total Plot area (5.350 Acres)
F.A.R area (5.000 Acres)
Perm. Commercial Plot Area @ 4 % Of Net P
FAR For Commercial (Convenient Shopping)
Remaining Plot Area For Residential (4.800 A)
FAR On Remaining Residential Plot Area @
Permissible Ground Coverage @50%
No Of units
Occupancy Per Dwelling Unit
Total Population
Density
Permissible Green Area @15%
Non F.A.R Area
Parking (Housing)
Visitors Car Parking @5% of Req. Car
Total Car Required (Housing + Visitors)
Two Wheeler Parking Required (0.80 x 2.50)
Area Required For Open Car Parking
Total Area Required Car Parking 378 x 25
Community Buildings Detail
1. No. Of Aanganwadi cum creche
1. No. Of Community Hall
TOTAL COVERED AREA (FAR & NON FAR)

1. Rain Water Harvesting system will be provided at site as per prevailing Government norms.
2. Solar water heating system will be provided at site as per prevailing Government norms.
3. Responsibility of Structure Stability of entire building blocks with respect to earth quake point of view and other natural calamities shall be of Structural Engineer.



SEWERAGE LEGENDS	
SYMBOL	DESCRIPTION
MH	MANHOLE 900X800
MH	CIRCULAR MANHOLE
—	SEWER LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

150 & M.S. FIRE RING
250 & SEWERLINE SW PIPE
350 & 400 mm STORMLINE R.C.C.
DOME WATER SUPPLY
FLUSHING WATER SUPPLY

DRAINAGE LEGENDS	
SYMBOL	DESCRIPTION
DMH	DRAINAGE MANHOLE
CB	CATCH BASIN 450X450
—	DRAINAGE LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

WATER SUPPLY LEGENDS	
SYMBOL	DESCRIPTION
CWS	COLD WATER SUPPLY
—	GARDEN WATER SUPPLY LINE
GH	GARDEN HYDRANT
—	BORE WELL SUPPLY LINE
—	MUNICIPAL SUPPLY MAIN LINE

45 M WIDE SECTOR ROAD

45 M WIDE SECTOR ROAD
To be read in conjunction with
memo no. 993 Dtd 15/11/2016

D.T.P.(H)
B.P.C.
S.P.P.(H)
Member B.P.C.
C.T.P.(H)
Chairman B.P.C.

SHEET TITLE	
SEWERAGE SITE PLAN	
dealt by	RAMAN
scale	1:400
date	10-06-17
Sr. No.	03
Owners Sign.	

Ar. Prachi Singla
B.Arch
CA/2006/38501

Checked subject to comments
In forwarding letter No. S.E. 117
Dt. 22/08/18... and notes
attached with the estimate

Superintending Engineer(HQ)
for Chief Engineer HUDA
Panchkula

Executive Engineer
HUDA Division No.
PANCHKULA

Superintending Engineer
HUDA Circle, Faridkot

Addl. Chief Engineer
HUDA Gurugram

Total Carpet Area I
Sr. No. Tower No. Uni
1 Type-A 58

Urban ARCH Associates
ARCHITECTS & PLANNERS & ENGINEERS
Address : B-110, 2nd Floor,
Nehru Ground, N.T. Faridabad
E-mail : ranch.associates@gmail.com
Ph. : 0129-4050155
Mob. : 701101851, 9311658437

Green AREA CALCULATION						
Type	Quantity	Shape	Formula	Detail		Calculation Each area in sqm
1	1	Rectangle	LxB	41.910	12.330	516.75 ✓
2	1	Rectangle	LxB	16.295	2.335	38.05 ✓
3	1	Rectangle	LxB	7.07	10.750	76.00 ✓
4	1	Rectangle	LxB	11.940	10.750	128.355 ✓
5	1	Rectangle	LxB	6.35	14.500	92.075 ✓
6	1	Rectangle	LxB	35.610	19.830	706.15 ✓
7	1	Rectangle	LxB	5.375	7.070	38.00 ✓
8	1	Rectangle	LxB	10.750	7.070	76.00 ✓
9	1	Rectangle	LxB	9.375	6.800	63.75 ✓
10	1	Rectangle	LxB	10.000	3.200	32.00 ✓
11	1	Rectangle	LxB	4.000	15.100	60.40 ✓

12	1	Rectangle	LxB	5.510	3.400	18.73
13	1	Rectangle	LxB	9.375	9.90	92.81
14	1	Rectangle	LxB	10.750	9.30	99.975
15	1	Rectangle	LxB	35.41	10.60	375.35
16	1	Rectangle	LxB	62.915	6.000	377.49
17	1	Rectangle	LxB	2.225	7.215	16.05
18	11	Rectangle	LxB	5.750	3.765	238.14
19	4	Rectangle	LxB	5.750	7.215	165.945
20	2	Rectangle	LxB	2.950	7.215	42.57
Total Green Area						3254.59

Total Ground Coverage Area Statement in SQM Tower-1 to 7 & Commercial				
s.no	lower name	ground coverage each tower	no of tower	total area
1	tower 1 to 4	532.651 ✓	4	2130.604
2	tower 5 to 7	443.813 ✓	3 ✓	1331.439
3	AANGANWADI	190.000 ✓	1 ✓	190.000
4	Community	360.000 ✓	1	360.000
5	Commercial 1	460.226 ✓	1	460.226
6	Commercial 2	371.718 ✓	1	371.718
TOTAL				4843.987

residential zone		
Name	Location	Area (SQM)
Tower-1	Still Floor	483.61
Tower-2	Still Floor	483.61
Tower-3	Still Floor	483.61
Tower-4	Still Floor	483.61
Tower-5	Still Floor	391.322
Tower-6	Still Floor	391.322
Tower-7	Still Floor	391.322
Tower-1 to 4	Terrace Mumty/Mac	227.704
Tower-5 to 7	Terrace Mumty/Mac	183.183
Total		3519.293

Calculation For F.A.R				
Floor	Type-A & A' (322BHK) Tower-1 to 7 S+14 (SQM)	Type-A & A' (322BHK) Tower-2 to 7 S+14 (SQM)	Type-A & A' (322BHK) Tower-3 to 7 S+14 (SQM)	Type-A & A' (322BHK) Tower-4 to 7 S+14 (SQM)
3rd Floor	514.043 X 1	49.041	514.043 X 1	49.041
4th Floor	514.043 X 1	514.043	514.043 X 1	514.043
5th Floor	514.043 X 1	514.043	514.043 X 1	514.043
6th Floor	514.043 X 1	514.043	514.043 X 1	514.043
7th Floor	514.043 X 1	514.043	514.043 X 1	514.043
8th Floor	514.043 X 1	514.043	514.043 X 1	514.043
9th Floor	514.043 X 1	514.043	514.043 X 1	514.043
10th Floor	514.043 X 1	514.043	514.043 X 1	514.043
11th Floor	514.043 X 1	514.043	514.043 X 1	514.043
12th Floor	514.043 X 1	514.043	514.043 X 1	514.043
13th Floor	514.043 X 1	514.043	514.043 X 1	514.043
14th Floor	514.043 X 1	514.043	514.043 X 1	514.043
Total	7245.643	7245.643	7245.643	7245.643

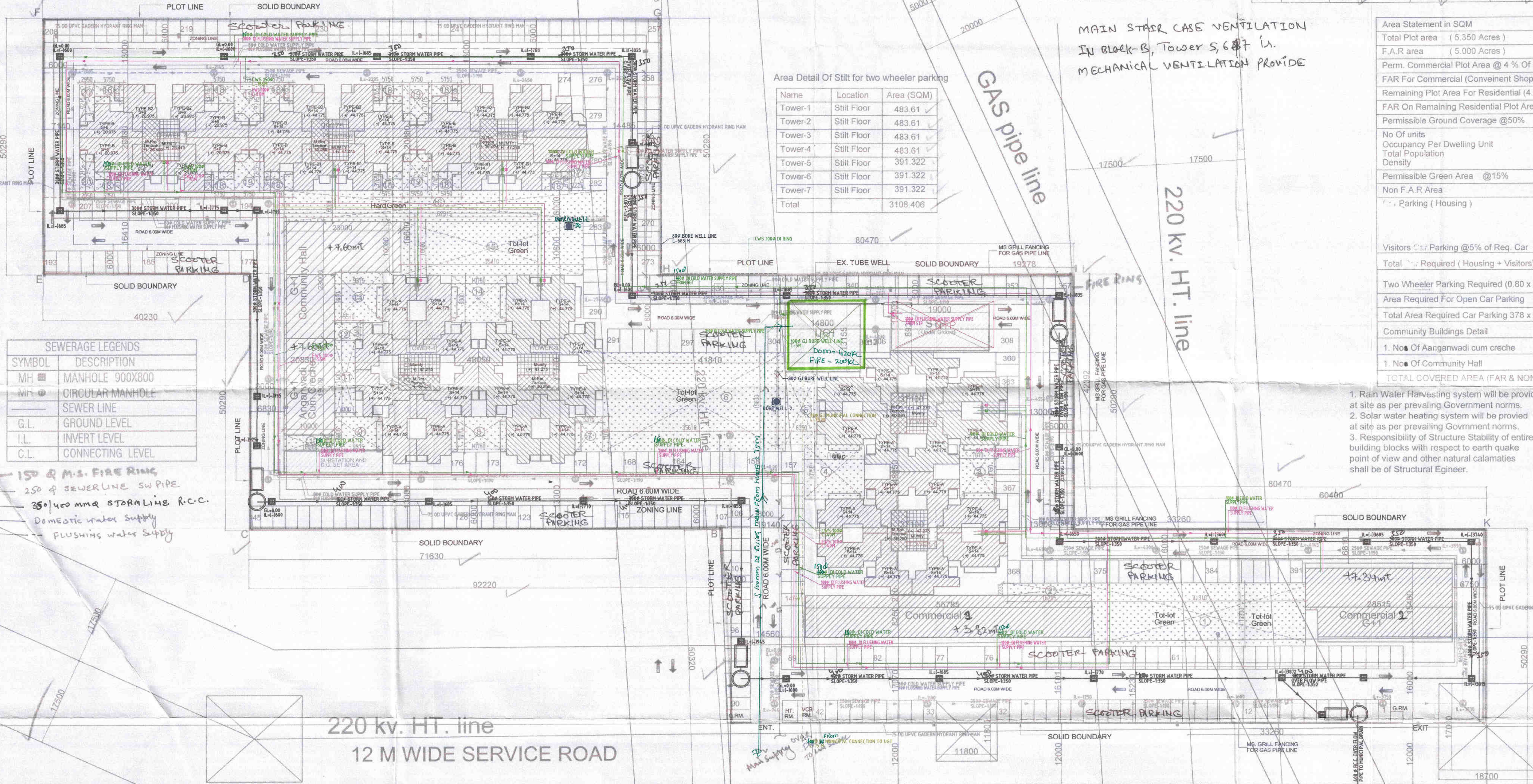
SEWERAGE LEGENDS	
SYMBOL	DESCRIPTION
MH	MANHOLE 900X800
MH	CIRCULAR MANHOLE
	SEWER LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

DRAINAGE LEGENDS	
SYMBOL	DESCRIPTION
DMH	DRAINAGE MANHOLE
CB	CATCH BASIN 450X450
	DRAINAGE LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

WATER SUPPLY LEGENDS	
SYMBOL	DESCRIPTION
CWS	COLD WATER SUPPLY
	GARDEN WATER SUPPLY
	FLUSHING WATER SUPPLY
GH	GARDEN HYDRANT
	BORE WELL SUPPLY LINE
	FIRE WATER LINE
	MUNICIPAL SUPPLY MAIN

Area Statement in SQM
 Total Plot area (5.350 Acres)
 F.A.R area (5.000 Acres)
 Perm. Commercial Plot Area @ 4% Of Net P
 FAR For Commercial (Convenient Shopping)
 Remaining Plot Area For Residential (4.800 A)
 FAR On Remaining Residential Plot Area @
 Permissible Ground Coverage @50%
 No Of units
 Occupancy Per Dwelling Unit
 Total Population
 Density
 Permissible Green Area @15%
 Non F.A.R Area
 Parking (Housing)
 Visitors Car Parking @5% of Req. Car
 Total Required (Housing + Visitors)
 Two Wheeler Parking Required (0.80 x 2.50)
 Area Required For Open Car Parking
 Total Area Required Car Parking 378 x 25
 Community Buildings Detail
 1. No. Of Aanganwadi cum creche
 1. No. Of Community Hall
 TOTAL COVERED AREA (FAR & NON FAR)

1. Rain Water Harvesting system will be provided at site as per prevailing Government norms.
2. Solar water heating system will be provided at site as per prevailing Government norms.
3. Responsibility of Structure Stability of entire building blocks with respect to earth quake point of view and other natural calamities shall be of Structural Engineer.



SEWERAGE LEGENDS	
SYMBOL	DESCRIPTION
MH	MANHOLE 900X800
MH	CIRCULAR MANHOLE
	SEWER LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

150 & M.S. FIRE RING
 250 & SEWERLINE SW PIPE
 350/400 mm STORMLINE R.C.C.
 Domestic water supply
 Flushing water supply

DRAINAGE LEGENDS	
SYMBOL	DESCRIPTION
DMH	DRAINAGE MANHOLE
CB	CATCH BASIN 450X450
	DRAINAGE LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

WATER SUPPLY LEGENDS	
SYMBOL	DESCRIPTION
CWS	COLD WATER SUPPLY
	GARDEN WATER SUPPLY LINE
GH	GARDEN HYDRANT
	BORE WELL SUPPLY LINE
	MUNICIPAL SUPPLY MAIN LINE

45 M WIDE SECTOR ROAD

45 M WIDE SECTOR ROAD
 To be read in conjunction with
 memo no. 983 Dtd 15/11/2016

D.T.P. (H.O.)
 Member B.P.C.
 S.P. (H.O.)
 Member B.P.C.
 C.T.P. (H.O.)
 Chairman B.P.C.

SHEET TITLE
 WATER SUPPLYSITE PLAN
 dealt by RAMAN
 scale 1:400
 date 10-06-17
 Sr. No. Owners Sign.
 1
 2
 3
 4

Urban ARCH Associates
 ARCHITECTS & PLANNERS & ENGINEERS
 Address: B-116, 2nd Floor
 Nehru Ground, N.I.T. Faridabad
 E-mail: reach.urbanarch@gmail.com
 Ph.: 0129-4050165
 Mob.: 9811016501, 9311658437
 Architects Sign.
 Addl. Chief Engineer
 HUDA Gurugram

Checked subject to comments
 in forwarding letter No. 1117/P
 D-22/11/16 and notes
 attached with the estimate
 Superintending Engineer(HQ)
 for Chief Engineer HUDA
 Panchkula
 Ar. Prachi Singla
 B.Arch
 CA/2006/36501
 Executive Engineer
 HUDA Division
 Faridabad
 Director
 Town & Country Planning
 Gurgaon, Chandigarh

Green AREA CALCULATION						
Type	Quantity	Shape	Formula	Detail	Calculation	Each area in sqm
1	1	Rectangle	LxB	41.910	12.330	516.75
2	1	Rectangle	LxB	16.295	2.335	38.05
3	1	Rectangle	LxB	7.07	10.750	76.00
4	1	Rectangle	LxB	11.940	10.750	128.355
5	1	Rectangle	LxB	6.35	14.500	92.075
6	1	Rectangle	LxB	35.610	19.830	706.15
7	1	Rectangle	LxB	5.375	7.070	38.00
8	1	Rectangle	LxB	10.750	7.070	76.00
9	1	Rectangle	LxB	9.375	6.800	63.75
10	1	Rectangle	LxB	10.000	3.200	32.00
11	1	Rectangle	LxB	4.000	15.100	60.40

12	1	Rectangle	LxB	5.510	3.400	18.73
13	1	Rectangle	LxB	9.375	9.90	92.81
14	1	Rectangle	LxB	10.750	9.30	99.975
15	1	Rectangle	LxB	35.41	10.60	375.35
16	1	Rectangle	LxB	62.915	6.000	377.49
17	1	Rectangle	LxB	2.225	7.215	16.05
18	11	Rectangle	LxB	5.750	3.765	238.14
19	4	Rectangle	LxB	5.750	7.215	165.945
20	2	Rectangle	LxB	2.950	7.215	42.57

Total Green Area

120700

Total Ground Coverage Area Statement in SCM Tower-1 to 7 & Commercial				
s.no	tower name	ground coverage each tower	no of tower	total area
1	tower 1 to 4	532.651	4	2130.604
2	tower 5 to 7	443.813	3	1331.439
3	AANGANWADI	190.000	1	190.000
4	Community	360.000	1	360.000
5	Commercial 1	460.226	1	460.226
4	Commercial 2	371.718	1	371.718
TOTAL				4843.987

residential zone

Non FAR Area Detail

Name	Location	Area (SQM)
Tower-1	Still Floor	483.61
Tower-2	Still Floor	483.61
Tower-3	Still Floor	483.61
Tower-4	Still Floor	483.61
Tower-5	Still Floor	391.322
Tower-6	Still Floor	391.322
Tower-7	Still Floor	391.322
Tower-1 to 4	Terrace Mummy/Mac 56.926x4	227.704
Tower-5 to 7	Terrace Mummy/Mac 61.061x3	183.183
Total		3519.293

Calculation For F.A.R

Floor	Type-A & B (15.25BHK) Tower-1 (5+14.15SQM)	Type-A & B (15.25BHK) Tower-2 (5+14.15SQM)	Type-A & B (15.25BHK) Tower-3 (5+14.15SQM)	Type-A & B (15.25BHK) Tower-4 (5+14.15SQM)	Type-A & B (15.25BHK) Tower-5 (5+14.15SQM)	Type-A & B (15.25BHK) Tower-6 (5+14.15SQM)	Type-A & B (15.25BHK) Tower-7 (5+14.15SQM)
1st Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
2nd Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
3rd Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
4th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
5th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
6th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
7th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
8th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
9th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
10th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
11th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
12th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
13th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
14th Floor	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1	514.043 X 1
Total	7245.643	7245.643	7245.643	7245.643	7245.643	7245.643	7245.643

SEWERAGE LEGENDS	
SYMBOL	DESCRIPTION
MH	MANHOLE 900X800
MH	CIRCULAR MANHOLE
	SEWER LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

DRAINAGE LEGENDS	
SYMBOL	DESCRIPTION
DMH	DRAINAGE MANHOLE
CB	CATCH BASIN 450X450
	DRAINAGE LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

WATER SUPPLY LEGENDS	
SYMBOL	DESCRIPTION
CWS	COLD WATER SUPPLY
	GARDEN WATER SUPPLY LINE
GH	GARDEN HYDRANT
	BORE WELL SUPPLY LINE
	MUNICIPAL SUPPLY MAIN LINE

Area Statement in SQM	
Total Plot area	(5.350 Acres)
F.A.R area	(5.000 Acres)
Perm. Commercial Plot Area @ 4	
FAR For Commercial (Convenient)	
Remaining Plot Area For Residential	
FAR On Remaining Residential Plot	
Permissible Ground Coverage @ 5	
No Of units	
Occupancy Per Dwelling Unit	
Total Population	
Density	
Permissible Green Area @ 15%	
Non F.A.R Area	
Parking (Housing)	
Visitors Parking @ 5% of Req.	
Total Required (Housing + Visitors)	
Two Wheeler Parking Required (0	
Area Required For Open Car Park	
Total Area Required Car Parking	
Community Buildings Detail	
1. No. Of Aanganwadi cum creche	
1. No. Of Community Hall	
TOTAL COVERED AREA (FAR)	

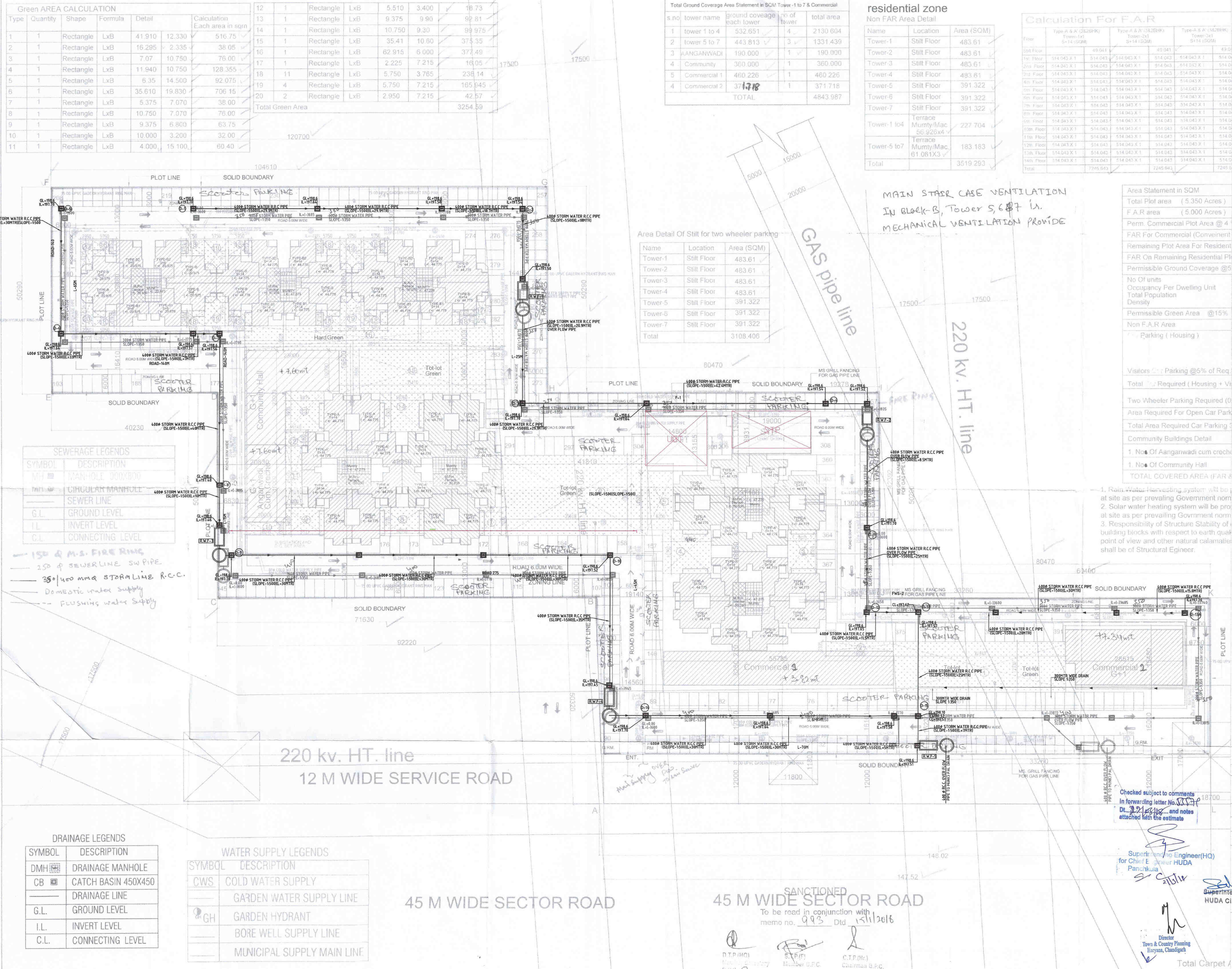
1. Rain Water Harvesting system will be at site as per prevailing Government norm
2. Solar water heating system will be at site as per prevailing Government norm
3. Responsibility of Structure Stability of building blocks with respect to earth quake point of view and other natural calamities shall be of Structural Engineer.

JOB TITLE
AFFORDABLE GROUP HOUSING SCHEME FOR SECTOR-70 FARDABAD HARYANA M/s AGRASAIN SPACES LLP.

Urban ARCH Associates
ARCHITECTS | PLANNERS | ENGINEERS
Address : B-116, 2nd Floor, Nehru Ground, N.I.T. Faridabad
E-mail : reach.urbanarch@gmail.com, Ph. : 0129-4050165, Mob. : 7011016501, 9311658437

SHEET TITLE
DRAINAGE SITE PLAN
dealt by RAMAN
scale 1:400
date 10-06-17
Owners Sign.

Supervising Engineer (HQ) for Chief Engineer HUDA Panchkula
Director Town & Country Planning Haryana, Chandigarh
Total Carpet Area
Sr. No. Tower No.



SEWERAGE LEGENDS	
SYMBOL	DESCRIPTION
MH	MANHOLE 900X800
MH	CIRCULAR MANHOLE
	SEWER LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

- 150 & 125 FIRE RING
- 250 & 300 SEWERLINE SW PIPE
- 350 & 400 mm STORMLINE R.C.C.
- Domestic water supply
- Flushing water supply

DRAINAGE LEGENDS	
SYMBOL	DESCRIPTION
DMH	DRAINAGE MANHOLE
CB	CATCH BASIN 450X450
	DRAINAGE LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

WATER SUPPLY LEGENDS	
SYMBOL	DESCRIPTION
CWS	COLD WATER SUPPLY
	GARDEN WATER SUPPLY LINE
GH	GARDEN HYDRANT
	BORE WELL SUPPLY LINE
	MUNICIPAL SUPPLY MAIN LINE

45 M WIDE SECTOR ROAD

45 M WIDE SECTOR ROAD

To be read in conjunction with memo no. 993 Dtd 15/11/2016

D.T.P.(H) Member B.P.C.
S.P.(H) Member B.P.C.
C.T.P.(H) Chairman B.P.C.

CA/2006/38501

12	1	Rectangle	LxB	5.510	3.400	19.73	
13	1	Rectangle	LxB	9.375	9.90	92.81	
14	1	Rectangle	LxB	10.750	9.30	99.975	
15	1	Rectangle	LxB	35.41	10.60	375.35	
16	1	Rectangle	LxB	62.915	6.000	377.49	
17	1	Rectangle	LxB	2.225	7.215	16.05	17500
18	11	Rectangle	LxB	5.750	3.765	238.14	
19	4	Rectangle	LxB	5.750	7.215	165.945	
20	2	Rectangle	LxB	2.950	7.215	42.57	
Total Green Area						3254.59	

Total Ground Coverage Area Statement in SQM Tower - 1 to 7 & Commercial				
s.no	tower name	ground coverage each tower	no of tower	total area
1	tower 1 to 4	532.651 ✓	4	2130.604
2	tower 5 to 7	443.813 ✓	3 ✓	1331.439
3	AANGANWADI	190.000 ✓	1	190.000
4	Community	360.000 ✓	1	360.000
5	Commercial 1	460.226 ✓	1	460.226
4	Commercial 2	371.718 ✓	1	371.718
		3717.408		4843.987

Name	Location	Area (SQM)	
Tower-1	Stilt Floor	483.61	✓
Tower-2	Stilt Floor	483.61	✓
Tower-3	Stilt Floor	483.61	✓
Tower-4	Stilt Floor	483.61	✓
Tower-5	Stilt Floor	391.322	✓
Tower-6	Stilt Floor	391.322	✓
Tower-7	Stilt Floor	391.322	✓
Tower-1 to4	Terrace Mumty/Mac. 56.926x4	✓ 227.704	✓
Tower-5 to7	Terrace Mumty/Mac. 61.061X3	✓ 183.183	✓
Total		3519.293	

Floor	Type-A-A' (320HK)		Type-A-A' (320HK)		Type-A-A' (320HK)		Type-A Tower-3 S-14 (SGM)	Type-A Tower-3 S-14 (SGM)
	S-14 (SGM)	S-14 (SGM)	S-14 (SGM)	S-14 (SGM)	S-14 (SGM)	S-14 (SGM)		
Shift Floor		49.041		49.041		49.041		49.041
1st. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
2nd. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
3rd. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
4th. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
5th. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
6th. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
7th. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
8th. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
9th. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
10th. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
11th. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
12th. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
13th. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
14th. Floor	514.043 X	514.043	514.043 X	514.043	514.043 X	514.043	514.043	514.043
Total		7245.643		7245.643		7245.643		7245.643

DRAINAGE LEGENDS	
SYMBOL	DESCRIPTION
DMH 	DRAINAGE MANHOLE
CB 	CATCH BASIN 450X450
	DRAINAGE LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

WATER SUPPLY LEGENDS	
SYMBOL	DESCRIPTION
	COLD WATER SUPPLY
	GARDEN WATER SUPPLY LINE
	FLUSHING WATER SUPPLY LINE
 GH	GARDEN HYDRANT
	BORE WELL SUPPLY LINE
	FIRE WATER LINE
	MUNICIPAL SUPPLY MAIN LINE

SYMBOL	DESCRIPTION
MH 	MANHOLE 900X800
MH 	CIRCULAR MANHOLE
	SEWER LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

SYMBOL	DESCRIPTION
CWS	COLD WATER SUPPLY
	GARDEN WATER SUPPLY LINE
 GH	GARDEN HYDRANT
	BORE WELL SUPPLY LINE
	MUNICIPAL SUPPLY MAIN LINE

SYMBOL	DESCRIPTION
DMH 	DRAINAGE MANHOLE
CB 	CATCH BASIN 450X450
	DRAINAGE LINE
G.L.	GROUND LEVEL
I.L.	INVERT LEVEL
C.L.	CONNECTING LEVEL

MAIN STAIR CASE VENTILATION
IN BLOCK-B, Tower 5, 6 & 7 is.
MECHANICAL VENTILATION PROVIDE

Area Statement in SQM	
Total Plot Area	(5,350 Acres)
F.A.R area	(5,000 Acres)
Perm. Commercial Plot Area @ 4 % Of Net	
FAR For Commercial (Convenient Shopping	
Remaining Plot Area For Residential (4.800	
FAR On Remaining Residential Plot Area @	
Permissible Ground Coverage @50%	
No of Units	
Occupancy Per Dwelling Unit	
Total Population	
Density	
Permissible Green Area	@15%
Non F.A.R Area	
Car Parking (Housing)	
Visitors Car Parking @5% of Req. Car	
Total Car Required (Housing + Visitors)	
Two Wheeler Parking Required (0.80 x 2.50	
Area Required For Open Car Parking	
Total Area Required Car Parking 378 x 25	
Community Buildings Detail	
1. No. Of Anganwadi cum creche	
1. No. Of Community Hall	
TOTAL COVERED AREA (FAR & NON FAR	

1. Rain Water Harvesting system will be provided at site as per prevailing Government norms.
2. Solar water heating system will be provided at site as per prevailing Government norms.
3. Responsibility of Structure Stability of entire building blocks with respect to earth quake point of view and other natural calamities shall be of Structural Engineer.

220 kv. HT. line
12 M WIDE SERVICE ROAD

45 M WIDE SECTOR ROAD

45 M WIDE ^{SANCTIONED} SECTOR ROAD

To be read in conjunction with
memo no. 993 Dtd 15/11/2016

D.T.P. (HQ) S.P.F. C.T.P. (Hr.)
Member Secretary Member B.P.C. Chairman B.P.C.

SHEET TITLE
FIRE FIGHTING & GARDEN HYDRANT LAYOUT

dealt by	RA
scale	1:4
date	10-06-17
Owners Sign.	

Checked subject to comments
In forwarding letter No. 03597
North Dt. 22/08/18 and notes
attached with the estimate

04 drg.no Superintending Engineer(HQ)
for Chief Engineer HUDA
Panchkula
ASC 21/11/19

Ar. Prachi Singla
B.Arch
CA/2006/38501

Executive Engineer
HUDA Division No. 10
FARIDABAD

Director
Town & Country Planning
Haryana, Chandigarh

Urban ARCH
Associates
ARCHITECTS | PLANNERS | ENGINEERS
Address : B-116, 2nd Floor,
Nehru Ground, N.I.T. Faridabad
E-mail : reach.urbanarch@gmail.com,
Ph. : 0129-4050165,
Mob. : 7011016501, 9311658437

Superintending Engineer
HUDA Circle, Faridkot
For Service plan
Addl. Chief Engineer
HUDA Gurugram

