

STORM WATER DRAINAGE
SCHEME
LEGEND

STORM LINE
MANHOLE
ROAD FORMATION LEVEL 214.00
INVERT LEVEL 213.00
NOTE:- SPACING OF MANHOLES NOT TO EXCEED 30M

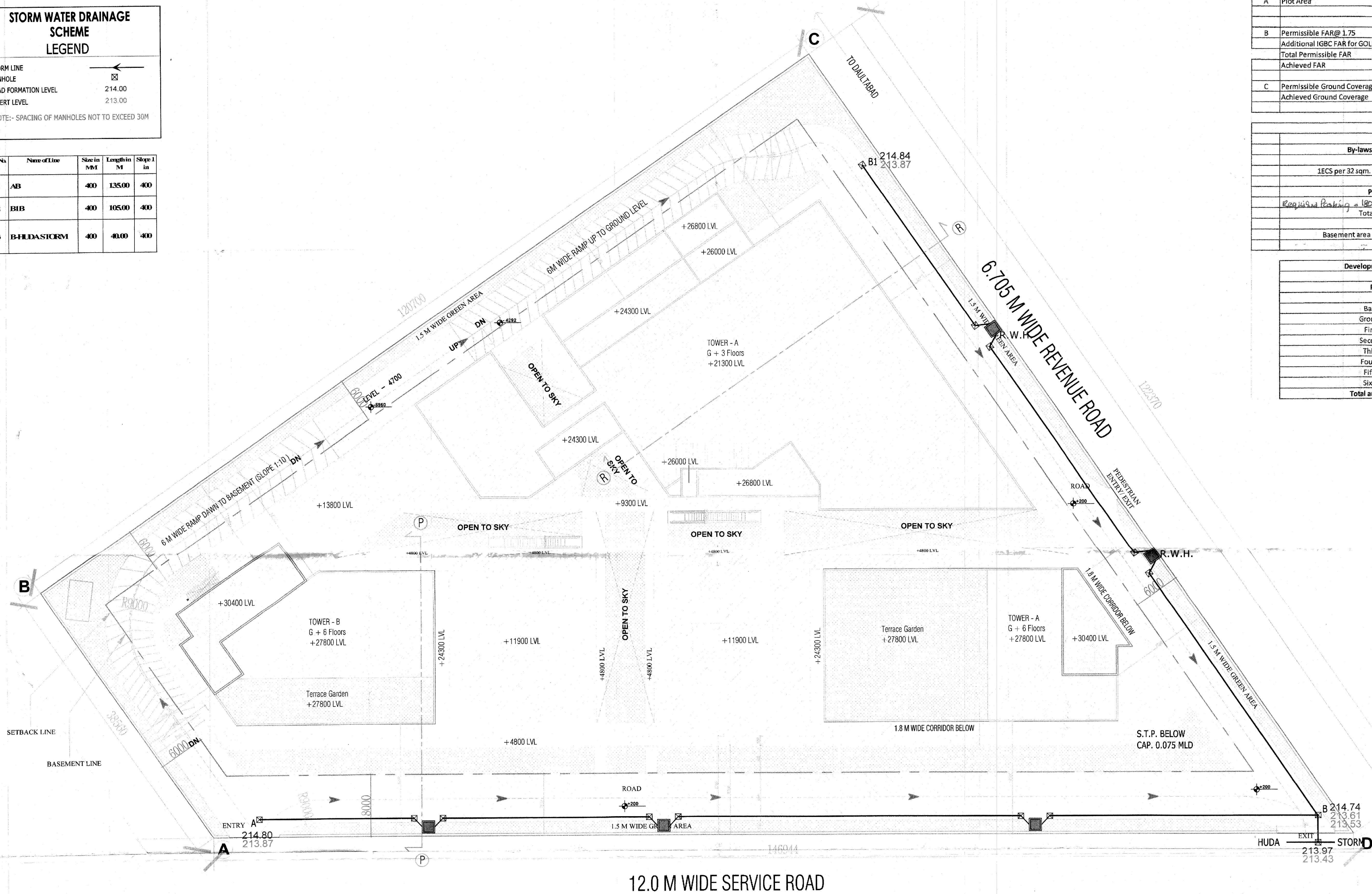
Sr.No	Name of Line	Size in MM	Length in M	Slope in in
1	AB	400	135.00	400
2	BIB	400	105.00	400
3	BHDA STORM	400	40.00	400

Area Statement - Sector-103 Commercial Project				
A	Plot Area	2.38125	Acres	
		9636.562	Sqm.	
B	Permissible FAR@ 1.75	16863.983	Sqm.	
	Additional IGBC FAR for GOLD rating@12% of Plot Area	1156.387	Sqm.	
	Total Permissible FAR	18020.370	Sqm.	
	Achieved FAR	18041.611	Sqm.	
C	Permissible Ground Coverage@60%	5781.937	Sqm.	60%
	Achieved Ground Coverage	5468.458	Sqm.	56.75%

Car parking details

By-laws considered:		
1ECS per 32 sqm. for Basement parking		
Parking	Required	Proposed
Required Parking = 18041.611 / 60		
Total parking	360	361
Basement area for parking(In sqm.)		5669.497

Development Indices			
Floors	Tower- A	Tower- B	Cumulative Area
Basement	6863.675		
Ground Floor	3041.110	1701.400	4742.510
First floor	2530.560	1314.060	3844.620
Second floor	2233.810	1092.440	3326.250
Third floor	1516.890	658.220	2175.110
Fourth floor	689.700	375.760	1065.460
Fifth floor	834.221	570.820	1405.041
Sixth floor	689.700	570.820	1260.520
Total area(In sqm.)	11535.991	6483.23	18019.221



NOTE:

- BUILDING IS FULLY SPRINKLERED & BASEMENT IS MECHANICALLY VENTILATED AS PER NBC NORMS.
- ALL DIMENSIONS AND LEVELS MARKED IN PLANS ARE IN MM.
- The building is fully AC & mechanically ventilated.

Signatures:

Architect: *Ag*
Owner: *Manish*

Client: M/S OCIMUM ESTATES PRIVATE LIMITED
Project Name: PROP. BLDG PLAN for COMMERCIAL COLONY MEASURING 2.38125 ACRES (LICENCE NO. 144 OF 2014 DATED 01.09.2014) IN SECTOR-103, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S OCIMUM ESTATES PRIVATE LIMITED.

SITE PLAN

North:
Revision Number: Code:
Issued For: SANCTION
Drawing Number: Date:
AR - 01