

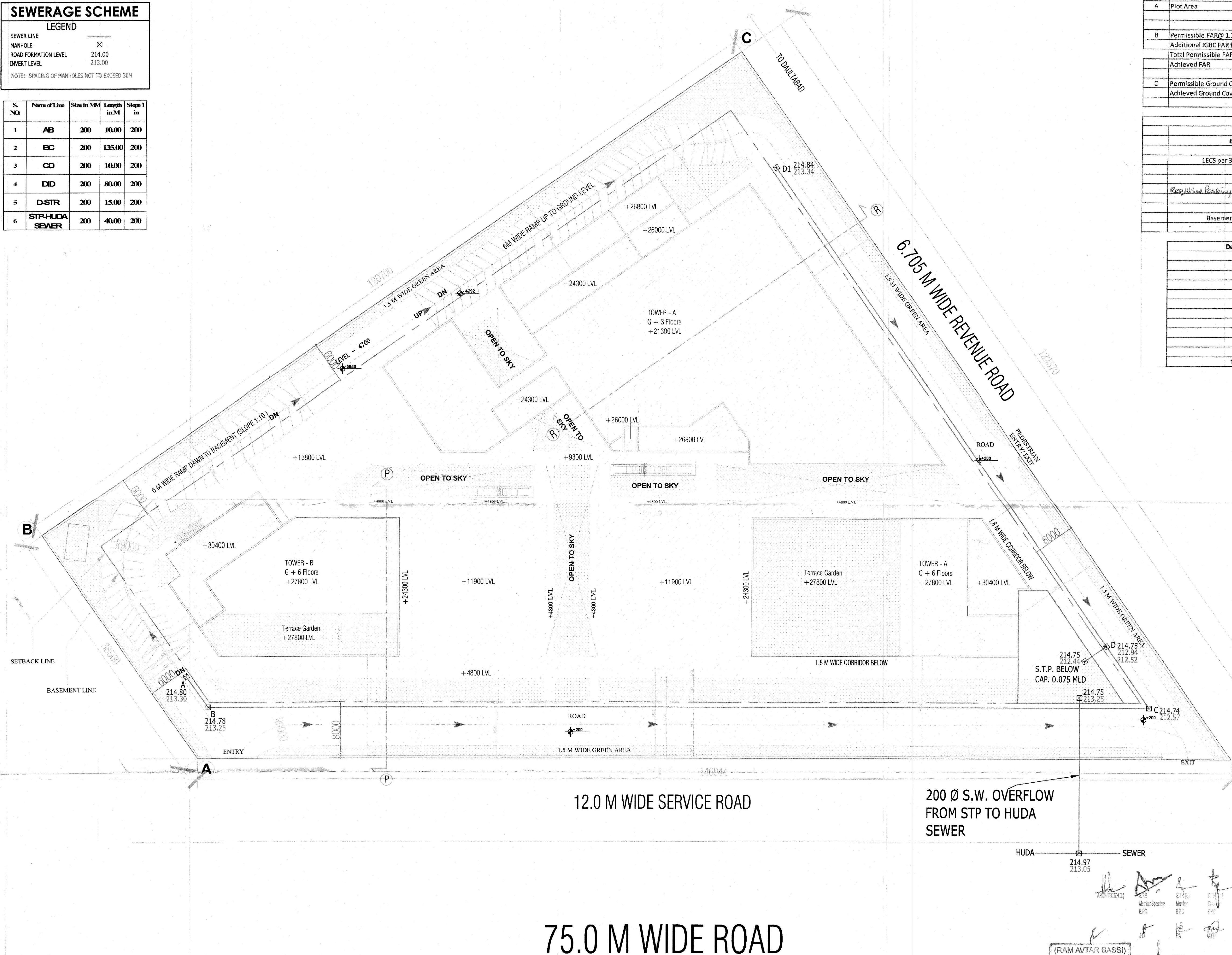
SEWERAGE SCHEME

LEGEND

SEWER LINE	
MANHOLE	
ROAD FORMATION LEVEL	214.00
INVERT LEVEL	213.00

NOTE:- SPACING OF MANHOLES NOT TO EXCEED 30M

S. NO.	Name of Line	Size in MM	Length in M	Slope in 1 in
1	AB	200	10.00	200
2	BC	200	135.00	200
3	CD	200	10.00	200
4	DID	200	80.00	200
5	DSTR	200	15.00	200
6	STPHUDA SEWER	200	40.00	200



Area Statement - Sector-103 Commercial Project			
A	Plot Area	2.38125	Acres
		9636.562	Sqm.
B	Permissible FAR@ 1.75	16863.983	Sqm.
	Additional IGBC FAR for GOLD rating@12% of Plot Area	1156.387	Sqm.
	Total Permissible FAR	18020.370	Sqm.
	Achieved FAR	18041.611	Sqm.
C	Permissible Ground Coverage@60%	5781.937	Sqm.
	Achieved Ground Coverage	5468.458	Sqm.
			56.75%

Car parking details		
By-laws considered:		
1 ECS per 32 sqm. for Basement parking		
Parking	Required	Proposed
Required Parking = 18041.611/60		
Total parking	36	361
Basement area for parking(In sqm.)		5669.497

Development Indices			
Floors	Tower- A	Tower- B	Cumulative Area
Basement	6853.675		
Ground Floor	3041.110	1741.400	4782.510
First floor	2530.560	1314.060	3844.620
Second floor	2233.810	1092.440	3326.250
Third floor	1516.890	658.220	2175.110
Fourth floor	689.700	576.820	1266.520
Fifth floor	834.221	570.820	1405.041
Sixth floor	689.700	570.820	1260.520
Total area(In sqm.)	11535.991	6483.62	18019.611

NOTE:

1. BUILDING IS FULLY SPRINKLERED & BASEMENT IS MECHANICALLY VENTILATED AS PER NBC NORMS.
2. ALL DIMENSIONS AND LEVELS MARKED IN PLANS ARE IN MM.
3. This building is fully AC & mechanically ventilated.

Signatures:

Architect:	Owner:
Client:	
M/S OCIMUM ESTATES PRIVATE LIMITED	
Project Name:	
PROP. BLDG PLAN for COMMERCIAL COLONY MEASURING 2.38125 ACRES (LICENCE NO. 144 OF 2014 DATED 01.09.2014) IN SECTOR-103, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S OCIMUM ESTATES PRIVATE LIMITED.	

SITE PLAN

North:	Revision Number:	Code:
Executive Engineer HSVP Division No.V, Gurugram	Issued For:	Scale:
	SANCTION	1:250
	Drawing Number:	Date:
	AR - 01	