

**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SINGAPORE BUILDING REGULATIONS AND THE SINGAPORE PLUMBING REGULATIONS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE SINGAPORE ELECTRICAL REGULATIONS AND THE SINGAPORE MECHANICAL REGULATIONS.
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE SINGAPORE FIRE PREVENTION REGULATIONS AND THE SINGAPORE SAFETY REGULATIONS.
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE SINGAPORE ENVIRONMENTAL PROTECTION REGULATIONS AND THE SINGAPORE WASTE MANAGEMENT REGULATIONS.
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE SINGAPORE LAND USE REGULATIONS AND THE SINGAPORE ZONING REGULATIONS.
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE SINGAPORE PLANNING REGULATIONS AND THE SINGAPORE DEVELOPMENT REGULATIONS.
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE SINGAPORE PUBLIC WORKS REGULATIONS AND THE SINGAPORE UTILITIES REGULATIONS.
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE SINGAPORE TRANSPORT REGULATIONS AND THE SINGAPORE INFRASTRUCTURE REGULATIONS.
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE SINGAPORE TELECOMMUNICATIONS REGULATIONS AND THE SINGAPORE MEDIA REGULATIONS.
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE SINGAPORE INFORMATION TECHNOLOGY REGULATIONS AND THE SINGAPORE DIGITAL REGULATIONS.

**PROJECT TITLE**  
PROPOSED BUILDING PLAN FOR LOT NO. 14-6  
FALLING IN CHURCH ROAD INDUSTRIAL  
PARKING GARAGE PART 2, 3 & 4  
DATED 11.08.2010 IN SETION 36.02.01  
SIA JURONG MANGROVE URBAN CONCEPT  
SPONSORED BY THE DEVELOPER  
SECTION 21, SOUTH EASTERN AREA  
GURUGRAM 13881

**DATE**  
11.08.2010

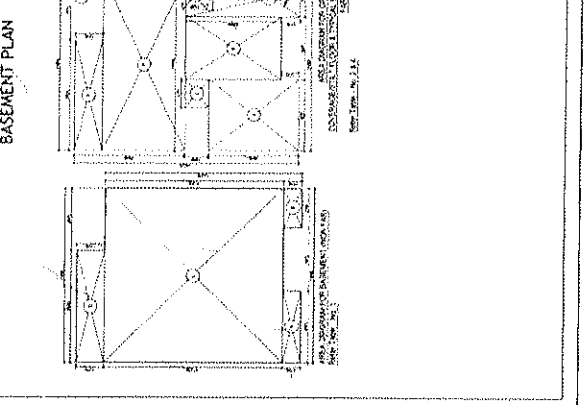
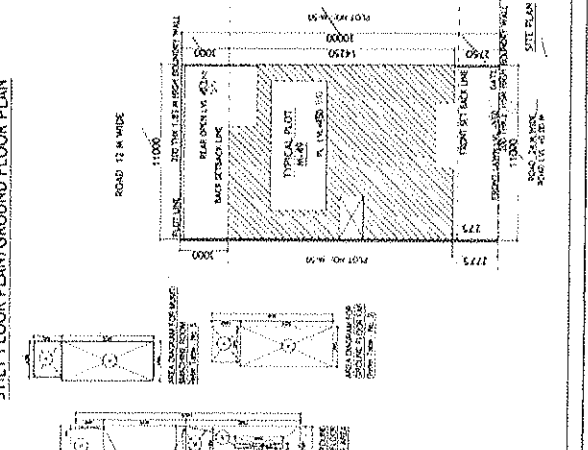
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AS SHOWN

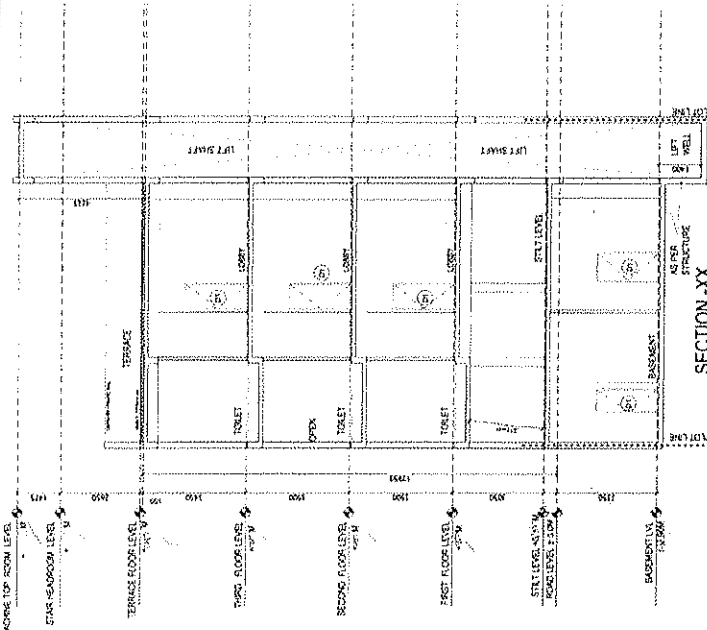
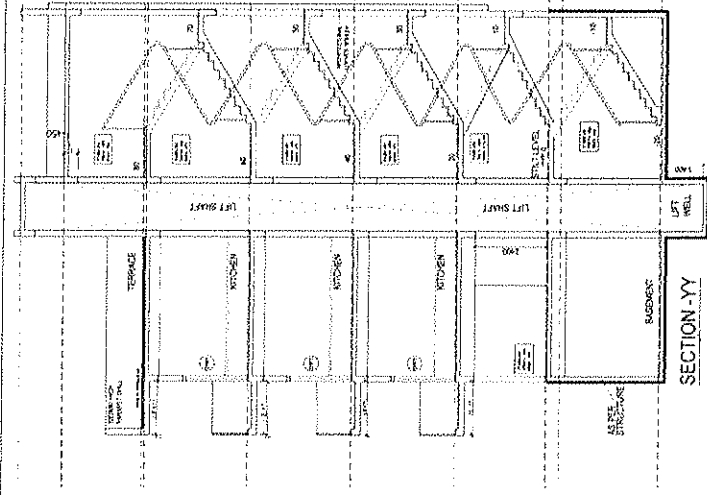
**PROJECT NO.**  
S4-SC-B1-105

**LEGEND**

SYMBOL	DESCRIPTION
1	1000 SOIL PIPE
2	1000 WASTE PIPE
3	750 VENT PIPE
4	1000 RAIN WATER
5	1000 RAINWATER DRAIN
6	200 DOMESTIC WATER SUPPLY
7	200 DOMESTIC WATER SUPPLY
8	200 DOMESTIC WATER SUPPLY
9	200 DOMESTIC WATER SUPPLY
10	200 DOMESTIC WATER SUPPLY
11	200 DOMESTIC WATER SUPPLY
12	200 DOMESTIC WATER SUPPLY
13	200 DOMESTIC WATER SUPPLY
14	200 DOMESTIC WATER SUPPLY
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41	200 DOMESTIC WATER SUPPLY
42	200 DOMESTIC WATER SUPPLY
43	200 DOMESTIC WATER SUPPLY
44	200 DOMESTIC WATER SUPPLY
45	200 DOMESTIC WATER SUPPLY
46	200 DOMESTIC WATER SUPPLY
47	200 DOMESTIC WATER SUPPLY
48	200 DOMESTIC WATER SUPPLY
49	200 DOMESTIC WATER SUPPLY
50	200 DOMESTIC WATER SUPPLY

NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	1000 SOIL PIPE	100	M	
2	1000 WASTE PIPE	100	M	
3	750 VENT PIPE	100	M	
4	1000 RAIN WATER	100	M	
5	1000 RAINWATER DRAIN	100	M	
6	200 DOMESTIC WATER SUPPLY	100	M	
7	200 DOMESTIC WATER SUPPLY	100	M	
8	200 DOMESTIC WATER SUPPLY	100	M	
9	200 DOMESTIC WATER SUPPLY	100	M	
10	200 DOMESTIC WATER SUPPLY	100	M	
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13	200 DOMESTIC WATER SUPPLY	100	M	
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15	200 DOMESTIC WATER SUPPLY	100	M	
16	200 DOMESTIC WATER SUPPLY	100	M	
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27	200 DOMESTIC WATER SUPPLY	100	M	
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43	200 DOMESTIC WATER SUPPLY	100	M	
44	200 DOMESTIC WATER SUPPLY	100	M	
45	200 DOMESTIC WATER SUPPLY	100	M	
46	200 DOMESTIC WATER SUPPLY	100	M	
47	200 DOMESTIC WATER SUPPLY	100	M	
48	200 DOMESTIC WATER SUPPLY	100	M	
49	200 DOMESTIC WATER SUPPLY	100	M	
50	200 DOMESTIC WATER SUPPLY	100	M	





**GENERAL NOTES:**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL BUILDING CODE OF THE PHILIPPINES AND ALL APPLICABLE LOCAL ORDINANCES.
2. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.
3. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
4. ALL FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.
5. ALL UTILITIES SHALL BE INSTALLED AND TESTED BEFORE THE CONSTRUCTION OF THE FINAL FLOOR SLAB.
6. ALL FOUNDATION WORK SHALL BE DONE BEFORE THE START OF SUPERSTRUCTURE CONSTRUCTION.
7. ALL STRUCTURAL MEMBERS SHALL BE PROTECTED AGAINST CORROSION BY APPLYING AN APPROPRIATE PROTECTIVE COATING.
8. ALL ROOFING SHALL BE DONE AFTER THE COMPLETE FINISHING OF THE INTERIOR FLOORS.
9. ALL EXTERIOR WALLS SHALL BE FINISHED WITH A WATER-RESISTIVE BARRIER AND AN EXTERIOR FINISH.
10. ALL WINDOWS AND DOORS SHALL BE INSTALLED AND TESTED BEFORE THE CONSTRUCTION OF THE FINAL FLOOR SLAB.
11. ALL ELECTRICAL AND MECHANICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND THE NATIONAL MECHANICAL CODE.
12. ALL SANITARY AND PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE.
13. ALL PAINTING SHALL BE DONE AFTER THE COMPLETE FINISHING OF THE INTERIOR SURFACES.
14. ALL FLOORING SHALL BE DONE AFTER THE COMPLETE FINISHING OF THE INTERIOR FLOORS.
15. ALL LANDSCAPING SHALL BE DONE AFTER THE COMPLETE FINISHING OF THE EXTERIOR SURFACES.

**PROJECT TITLE:** PROPOSED BUILDING PLAN FOR LOT NO. 49, SUBDIVISION OF 14.6475 ACRES (SECTION NO. 10, T-11, S-11, R-11) IN SECTION 10, T-11, S-11, R-11, C-11, PHILIPPINE ISLANDS, MUNICIPALITY OF MALABON, CITY OF MANILA, METROPOLITAN AREA, DIVISION OFFICE OF THE ENGINEER, MALABON CITY.

**DATE:** 15 JULY 2012

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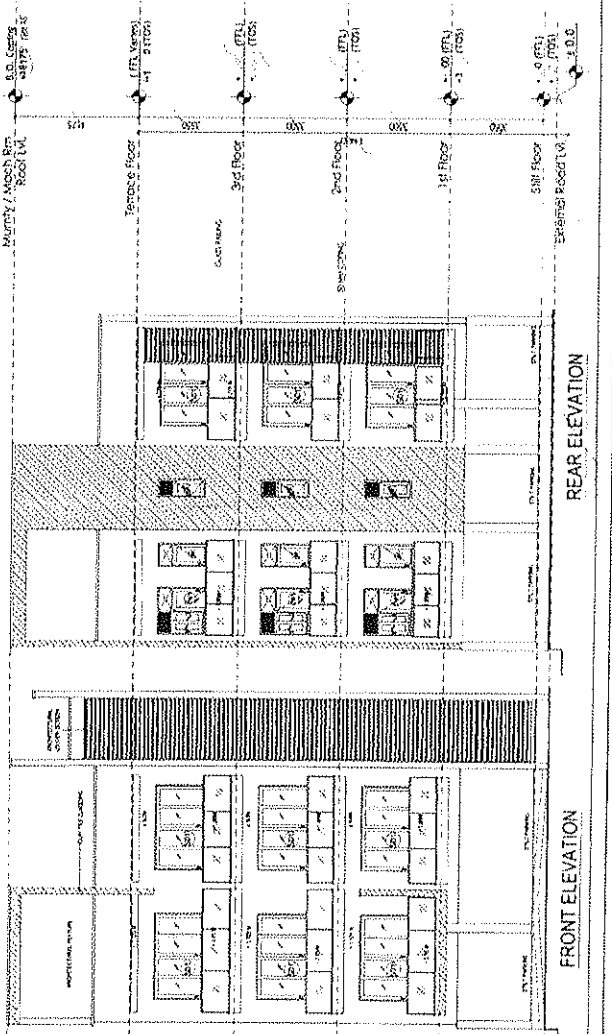
**DRAWING NO.:** SA-SC-81-102.1

**PROJECT TITLE:** PROPOSED BUILDING PLAN FOR LOT NO. 49, SUBDIVISION OF 14.6475 ACRES (SECTION NO. 10, T-11, S-11, R-11) IN SECTION 10, T-11, S-11, R-11, C-11, PHILIPPINE ISLANDS, MUNICIPALITY OF MALABON, CITY OF MANILA, METROPOLITAN AREA, DIVISION OFFICE OF THE ENGINEER, MALABON CITY.

**DATE:** 15 JULY 2012

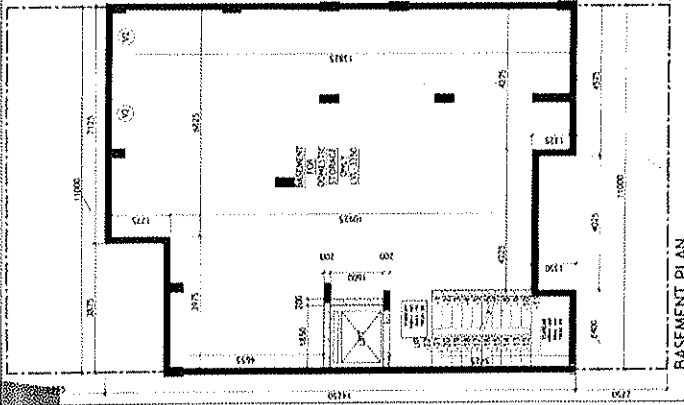
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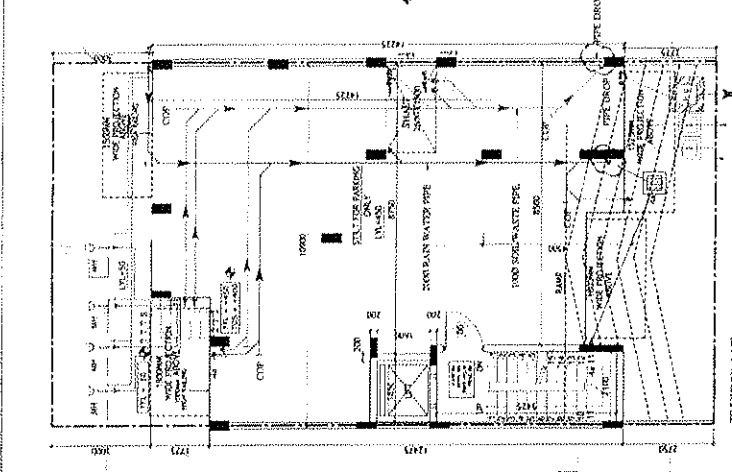


**PLUMBING NOTES:**

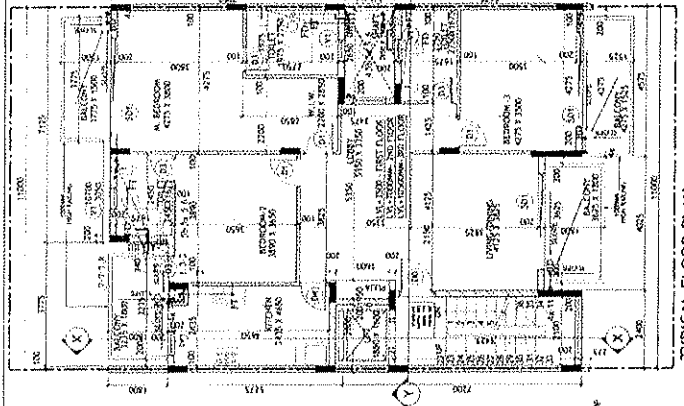
1. ALL PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE.
2. ALL SANITARY AND PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE.
3. ALL PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE.
4. ALL PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE.
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15. ALL PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL PLUMBING CODE.



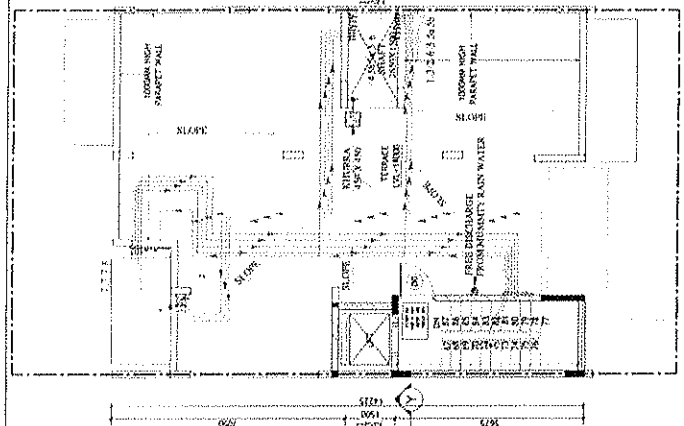
BASEMENT PLAN



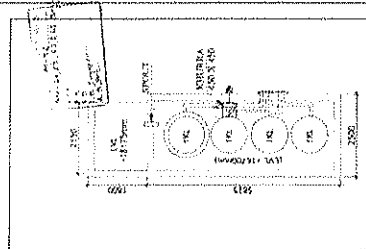
STILT FLOOR PLAN/GROUND FLOOR PLAN



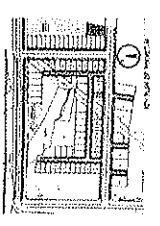
TYPICAL FLOOR PLAN  
FIRST SECOND & THIRD FLOOR PLAN



TERRACE PLAN



MUNITY LEVEL PLAN



ARCHITECTURAL NOTES  
1. All dimensions are in meters unless otherwise specified.  
2. All materials shall be of good quality and conform to the relevant standards.  
3. The contractor shall be responsible for obtaining all necessary permits and approvals.  
4. The building shall be constructed in accordance with the latest building codes and regulations.  
5. The design is based on the information provided and is subject to change without notice.

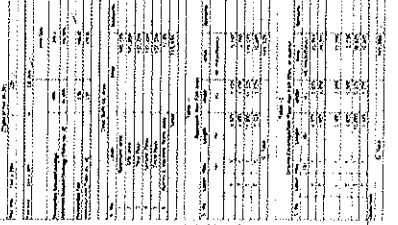
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PROJECT TITLE: BUILDING PLAN FOR PLOT NO. 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

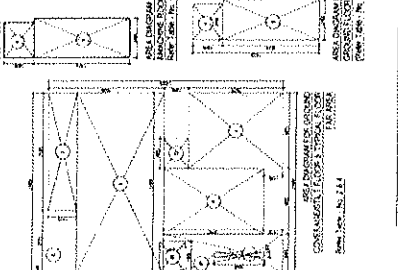
DATE: 10.10.2017  
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DRAWING NO: SA/SC/BT/100

LEGEND

S.N.	SYMBOL	DESCRIPTION
1	(Symbol)	1000 SOIL PIPE
2	(Symbol)	1000 WASTE PIPE
3	(Symbol)	750 VENT PIPE
4	(Symbol)	1500 RAIN WATER
5	(Symbol)	1000 BALCONY DRAIN
6	(Symbol)	1/2" DOMESTIC WATER SUPPLY
7	(Symbol)	3/4" DOMESTIC WATER SUPPLY
8	(Symbol)	1" DOMESTIC WATER SUPPLY
9	(Symbol)	1 1/2" DOMESTIC WATER SUPPLY
10	(Symbol)	2" DOMESTIC WATER SUPPLY
11	(Symbol)	3" DOMESTIC WATER SUPPLY
12	(Symbol)	4" DOMESTIC WATER SUPPLY
13	(Symbol)	6" DOMESTIC WATER SUPPLY
14	(Symbol)	8" DOMESTIC WATER SUPPLY
15	(Symbol)	10" DOMESTIC WATER SUPPLY
16	(Symbol)	12" DOMESTIC WATER SUPPLY
17	(Symbol)	14" DOMESTIC WATER SUPPLY
18	(Symbol)	16" DOMESTIC WATER SUPPLY
19	(Symbol)	18" DOMESTIC WATER SUPPLY
20	(Symbol)	20" DOMESTIC WATER SUPPLY
21	(Symbol)	22" DOMESTIC WATER SUPPLY
22	(Symbol)	24" DOMESTIC WATER SUPPLY
23	(Symbol)	26" DOMESTIC WATER SUPPLY
24	(Symbol)	28" DOMESTIC WATER SUPPLY
25	(Symbol)	30" DOMESTIC WATER SUPPLY
26	(Symbol)	32" DOMESTIC WATER SUPPLY
27	(Symbol)	34" DOMESTIC WATER SUPPLY
28	(Symbol)	36" DOMESTIC WATER SUPPLY
29	(Symbol)	38" DOMESTIC WATER SUPPLY
30	(Symbol)	40" DOMESTIC WATER SUPPLY
31	(Symbol)	42" DOMESTIC WATER SUPPLY
32	(Symbol)	44" DOMESTIC WATER SUPPLY
33	(Symbol)	46" DOMESTIC WATER SUPPLY
34	(Symbol)	48" DOMESTIC WATER SUPPLY
35	(Symbol)	50" DOMESTIC WATER SUPPLY
36	(Symbol)	52" DOMESTIC WATER SUPPLY
37	(Symbol)	54" DOMESTIC WATER SUPPLY
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43	(Symbol)	66" DOMESTIC WATER SUPPLY
44	(Symbol)	68" DOMESTIC WATER SUPPLY
45	(Symbol)	70" DOMESTIC WATER SUPPLY
46	(Symbol)	72" DOMESTIC WATER SUPPLY
47	(Symbol)	74" DOMESTIC WATER SUPPLY
48	(Symbol)	76" DOMESTIC WATER SUPPLY
49	(Symbol)	78" DOMESTIC WATER SUPPLY
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60	(Symbol)	100" DOMESTIC WATER SUPPLY
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69	(Symbol)	118" DOMESTIC WATER SUPPLY
70	(Symbol)	120" DOMESTIC WATER SUPPLY
71	(Symbol)	122" DOMESTIC WATER SUPPLY
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73	(Symbol)	126" DOMESTIC WATER SUPPLY
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75	(Symbol)	130" DOMESTIC WATER SUPPLY
76	(Symbol)	132" DOMESTIC WATER SUPPLY
77	(Symbol)	134" DOMESTIC WATER SUPPLY
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79	(Symbol)	138" DOMESTIC WATER SUPPLY
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81	(Symbol)	142" DOMESTIC WATER SUPPLY
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89	(Symbol)	158" DOMESTIC WATER SUPPLY
90	(Symbol)	160" DOMESTIC WATER SUPPLY
91	(Symbol)	162" DOMESTIC WATER SUPPLY
92	(Symbol)	164" DOMESTIC WATER SUPPLY
93	(Symbol)	166" DOMESTIC WATER SUPPLY
94	(Symbol)	168" DOMESTIC WATER SUPPLY
95	(Symbol)	170" DOMESTIC WATER SUPPLY
96	(Symbol)	172" DOMESTIC WATER SUPPLY
97	(Symbol)	174" DOMESTIC WATER SUPPLY
98	(Symbol)	176" DOMESTIC WATER SUPPLY
99	(Symbol)	178" DOMESTIC WATER SUPPLY
100	(Symbol)	180" DOMESTIC WATER SUPPLY

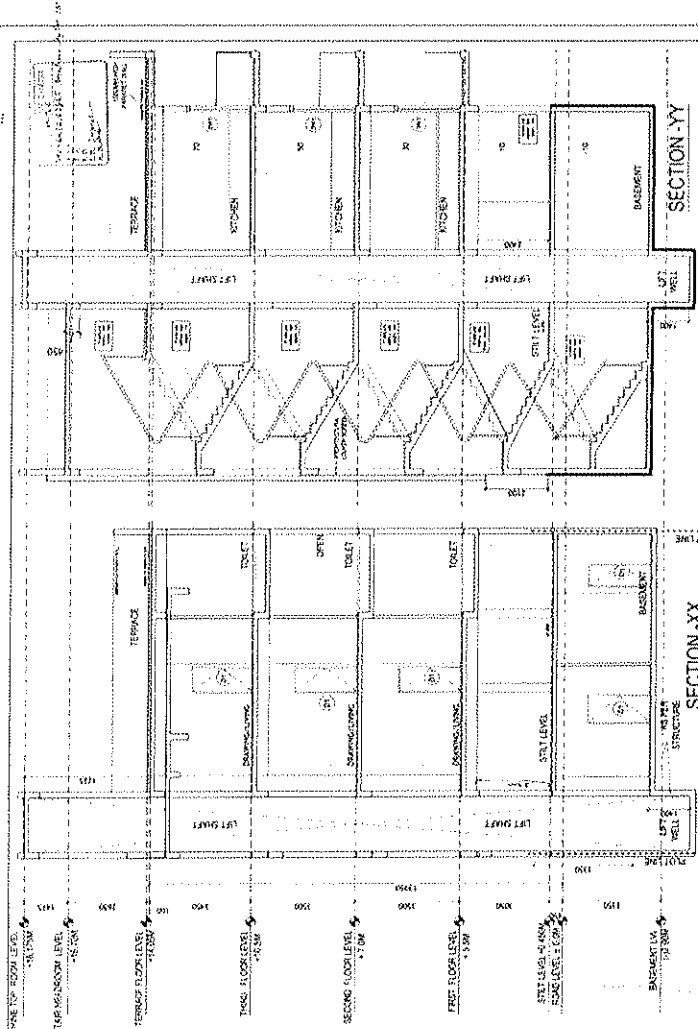


ROAD: 12 M WIDE  
ROAD: 12 M WIDE  
ROAD: 12 M WIDE



DOOR / WINDOW SCHEDULE

NO.	TYPE	SIZE	LOCATION	REMARKS
1	DOOR	2000x1000	Living Room	Standard door
2	WINDOW	1500x1000	Living Room	Standard window
3	DOOR	1800x1000	Bedroom	Standard door
4	WINDOW	1200x1000	Bedroom	Standard window
5	DOOR	1600x1000	Kitchen	Standard door
6	WINDOW	1000x1000	Kitchen	Standard window
7	DOOR	1400x1000	Bathroom	Standard door
8	WINDOW	800x1000	Bathroom	Standard window
9	DOOR	1200x1000	Corridor	Standard door
10	WINDOW	600x1000	Corridor	Standard window

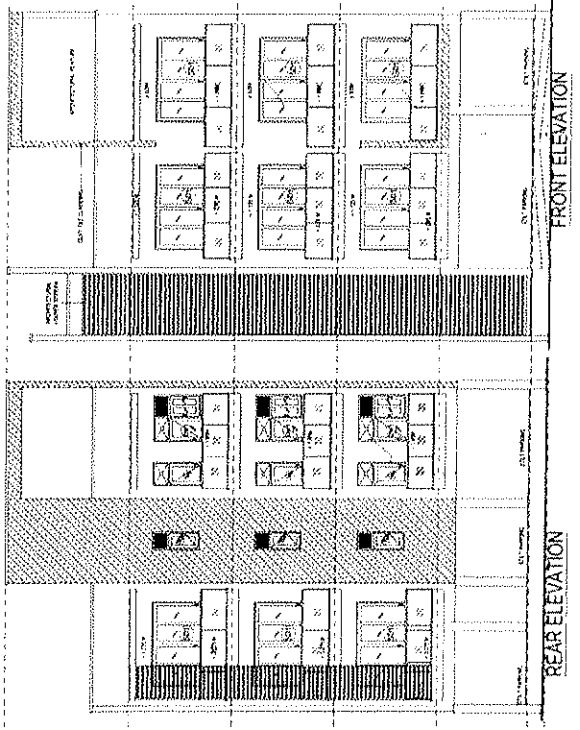
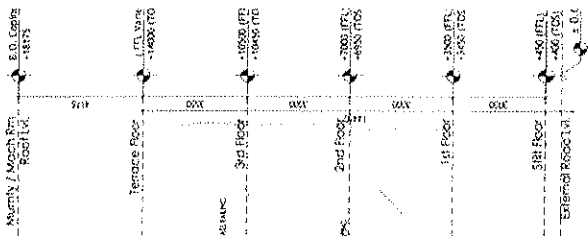


SECTION -YY

SECTION -XX

Vertical elevation levels:

ROOF TOP ELEVATION	14.25M
STAIR MEZZANINE LEVEL	13.25M
TERRACE FLOOR LEVEL	12.25M
1st FLOOR LEVEL	11.25M
2nd FLOOR LEVEL	10.25M
3rd FLOOR LEVEL	9.25M
4th FLOOR LEVEL	8.25M
5th FLOOR LEVEL	7.25M
BASINEMENT FLOOR LEVEL	6.25M



FRONT ELEVATION

REAR ELEVATION

**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SANS AND NBS.
2. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

**PROJECT TITLE**

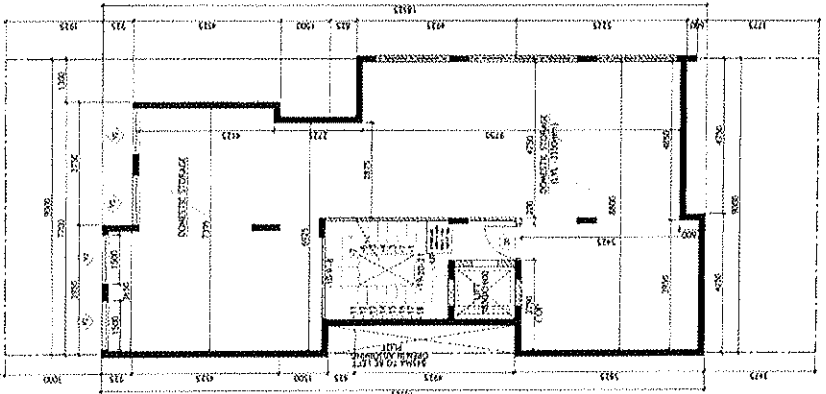
PROPOSED BUILDING PLAN FOR PLOT NO. 1234567890, SECTION 31, TOWN OF RUSTENBURG, DISTRICT OF FREE STATE. THE PROPOSED BUILDING IS A 5-STOREY OFFICE BUILDING. THE PROPOSED BUILDING IS A 5-STOREY OFFICE BUILDING.

**ARCHITECT SIGNATURE** **DATE** 15 JULY 2017

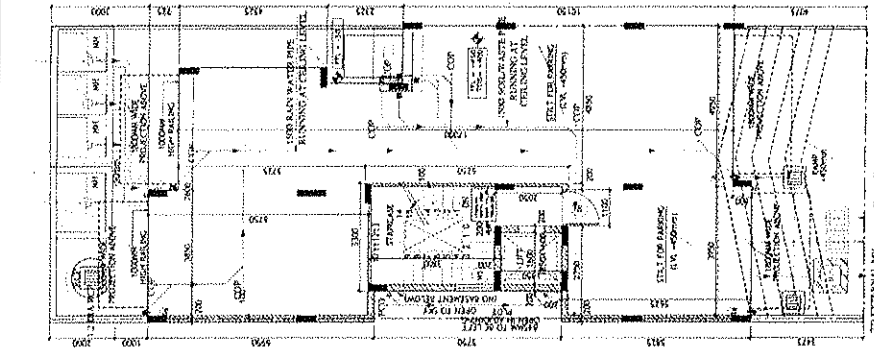
**DRAWING TITLE** BUILDING ELEVATION PLAN  
**DATE** 15 JULY 2017  
**PROJECT NO.** 1234567890  
**DRAWING NO.** SA-SC-81-106.1

**WARNING NOTE:**

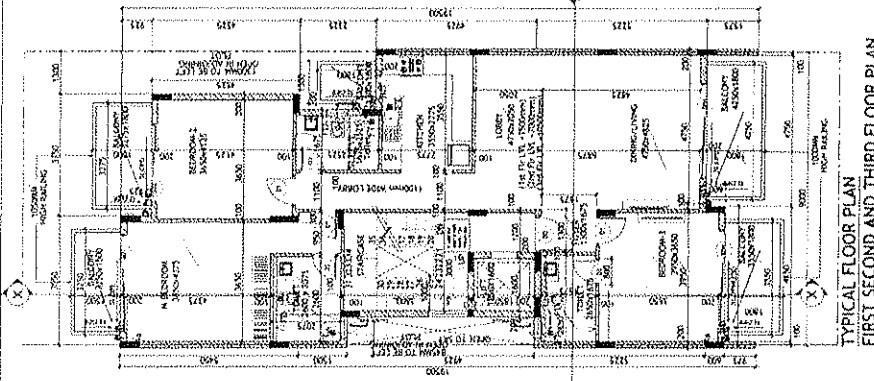
THIS DRAWING IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE ARCHITECT. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY DAMAGE OR LOSS OF MONEY OR PROPERTY ARISING FROM THE USE OF THIS DRAWING.



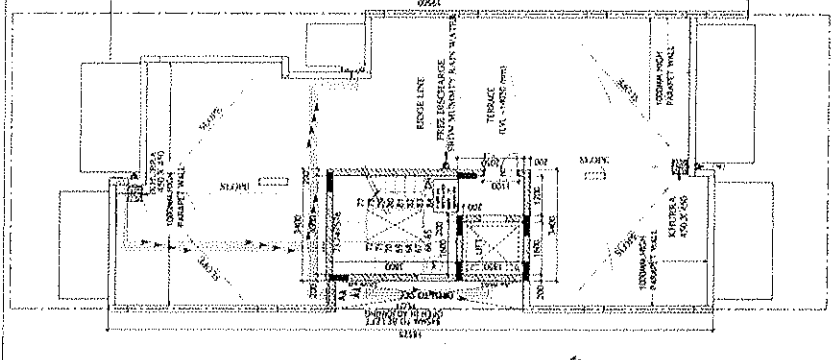
**BASEMENT PLAN**



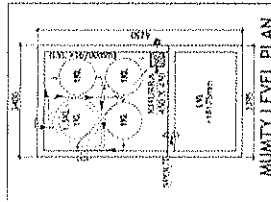
**STILT PLAN/GROUND FLOOR PLAN**



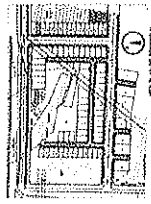
**TYPICAL SECOND AND THIRD FLOOR PLAN**



**TERRACE PLAN**



**MUMTY LEVEL PLAN**



**SECTION OF DOOR**

**LEGEND**

S.N.	SYMBOLS	DESCRIPTION
1	[Symbol]	1000 SOIL PIPE
2	[Symbol]	1000 WASTE PIPE
3	[Symbol]	750 WASTE PIPE
4	[Symbol]	1500 RAIN WATER
5	[Symbol]	1000 BALCONY DRAIN
6	[Symbol]	100 DOMESTIC WATER SUPPLY
7	[Symbol]	200 DOMESTIC WATER SUPPLY
8	[Symbol]	FLUSHING WATER SUPPLY
9	[Symbol]	DOMESTIC WATER RISER
10	[Symbol]	FLUSHING WATER RISER
11	[Symbol]	FLOOR TRAP
12	[Symbol]	FLOOR DRAIN
13	[Symbol]	MAIN HOLE
14	[Symbol]	GULLY TRAP
15	[Symbol]	CATCH BASIN

**DOOR / WINDOW SCHEDULE**

NO.	DOOR / WINDOW	QTY.	REMARKS
1	DOOR	1	...
2	WINDOW	1	...
3	DOOR	1	...
4	WINDOW	1	...
5	DOOR	1	...
6	WINDOW	1	...
7	DOOR	1	...
8	WINDOW	1	...
9	DOOR	1	...
10	WINDOW	1	...
11	DOOR	1	...
12	WINDOW	1	...
13	DOOR	1	...
14	WINDOW	1	...
15	DOOR	1	...
16	WINDOW	1	...
17	DOOR	1	...
18	WINDOW	1	...
19	DOOR	1	...
20	WINDOW	1	...

**GENERAL NOTES**

1. All work shall be in accordance with the specifications of the relevant authorities.
2. The contractor shall be responsible for obtaining all necessary permits and approvals.
3. The contractor shall maintain access to all existing services and structures.
4. The contractor shall be responsible for the safety of all workers and the public.
5. The contractor shall be responsible for the disposal of all waste materials.
6. The contractor shall be responsible for the protection of all existing structures and services.
7. The contractor shall be responsible for the completion of all work within the specified time frame.
8. The contractor shall be responsible for the maintenance of all work until the final handover.
9. The contractor shall be responsible for the provision of all necessary labor and materials.
10. The contractor shall be responsible for the payment of all bills and invoices.

**PROPOSED BUILDING PLAN FOR PLOT NO. 10 IN PLOTTED COLONY PART-3 MEASURING 1000 SQ. METERS (APPROX.) AND AREA OF 2000 SQ. METERS (APPROX.) IN SECTOR NO. 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820, 821, 822, 823, 824, 825, 826, 827, 828, 829, 830, 831, 832, 833, 834, 835, 836, 837, 838, 839, 840, 841, 842, 843, 844, 845, 846, 847, 848, 849, 850, 851, 852, 853, 854, 855, 856, 857, 858, 859, 860, 861, 862, 863, 864, 865, 866, 867, 868, 869, 870, 871, 872, 873, 874, 875, 876, 877, 878, 879, 880, 881, 882, 883, 884, 885, 886, 887, 888, 889, 890, 891, 892, 893, 894, 895, 896, 897, 898, 899, 900, 901, 902, 903, 904, 905, 906, 907, 908, 909, 910, 911, 912, 913, 914, 915, 916, 917, 918, 919, 920, 921, 922, 923, 924, 925, 926, 927, 928, 929, 930, 931, 932, 933, 934, 935, 936, 937, 938, 939, 940, 941, 942, 943, 944, 945, 946, 947, 948, 949, 950, 951, 952, 953, 954, 955, 956, 957, 958, 959, 960, 961, 962, 963, 964, 965, 966, 967, 968, 969, 970, 971, 972, 973, 974, 975, 976, 977, 978, 979, 980, 981, 982, 983, 984, 985, 986, 987, 988, 989, 990, 991, 992, 993, 994, 995, 996, 997, 998, 999, 1000.**

**PLANNING NOTES**

1. All work shall be in accordance with the specifications of the relevant authorities.
2. The contractor shall be responsible for obtaining all necessary permits and approvals.
3. The contractor shall maintain access to all existing services and structures.
4. The contractor shall be responsible for the safety of all workers and the public.
5. The contractor shall be responsible for the disposal of all waste materials.
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9. The contractor shall be responsible for the provision of all necessary labor and materials.
10. The contractor shall be responsible for the payment of all bills and invoices.

**ARCHITECT'S SIGNATURE**

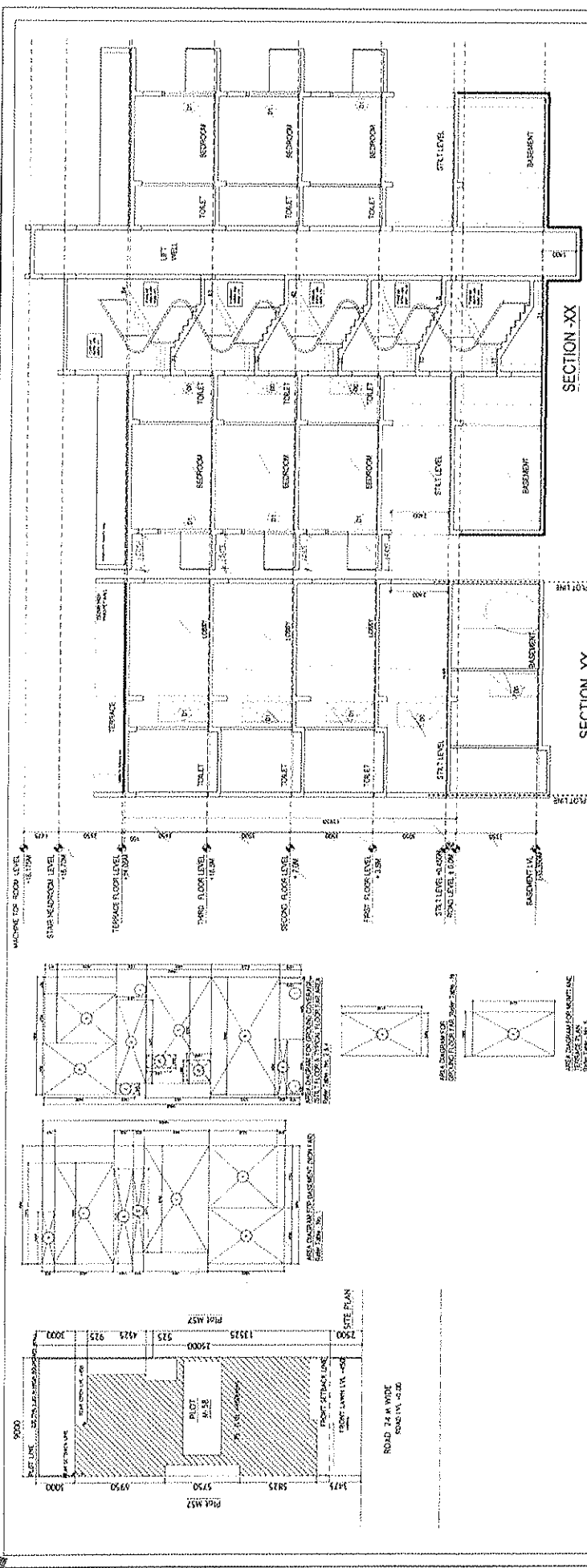
*[Signature]*

**DATE** 15.07.2017

**SCALE** 1:50

**PROJECT NO.** SA-5C-ART-101

**DRAWING NO.** SA-5C-ART-101



**GENERAL NOTES**

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SANS 10400 SERIES.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPLICABLE AUTHORITIES.

**PROPOSED BUILDING PLAN FOR PLOT NO. 38**  
 IN THE ZONING PLAN OF RESIDENTIAL  
 1:10000 SCALE, DISTRICT NO. 10 OF 2010 DATED  
 11.09.2010 IN SECTION 40.42.3.3  
 OF THE NATIONAL BUILDING REGULATIONS  
 (NBR) DEVELOPED BY ARCHITECTURE  
 PROFESSIONAL PVT. LTD. (P.A.P.)  
 REG. NO. 10111, INSTITUTIONAL  
 REG. NO. 10111.

**MARKETPLACE SIGNATURE** *[Signature]* **THOMAS SWAZILE**  
*[Stamp]*

**ENGINEER** **THOMAS SWAZILE**  
 FOR PLOT NO. 38

**SCALE: 1:500** **DATE: 14.03.2017**

**DRAWING NO. SA-16-001-101.1**

**DATE: 14.03.2017**

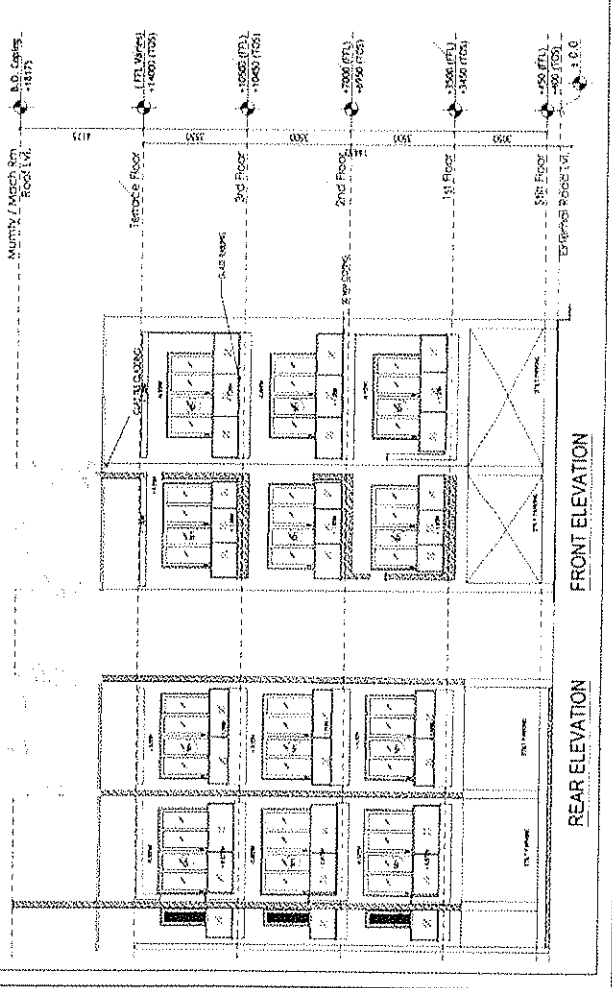
**PROJECT NO. 16-001-101.1**

**CLIENT: SA-16-001-101.1**

**PROJECT: SA-16-001-101.1**

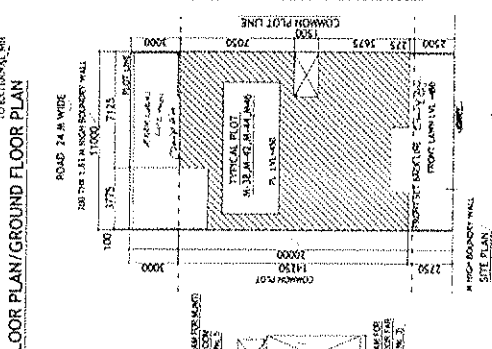
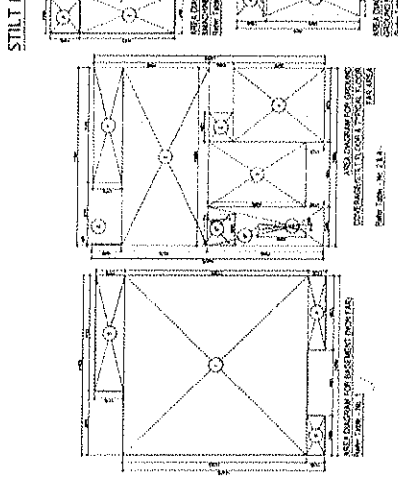
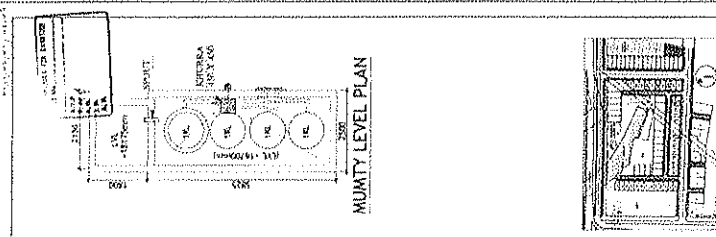
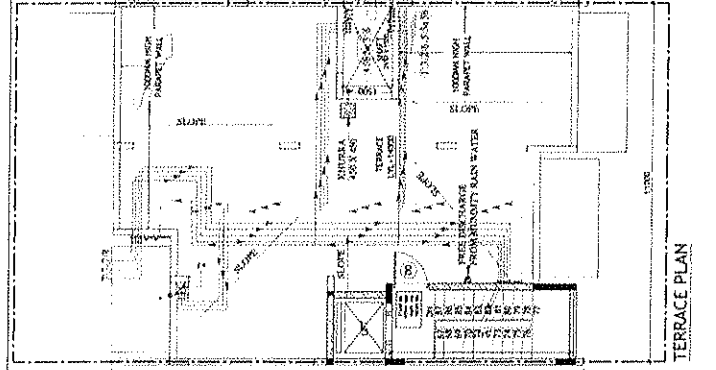
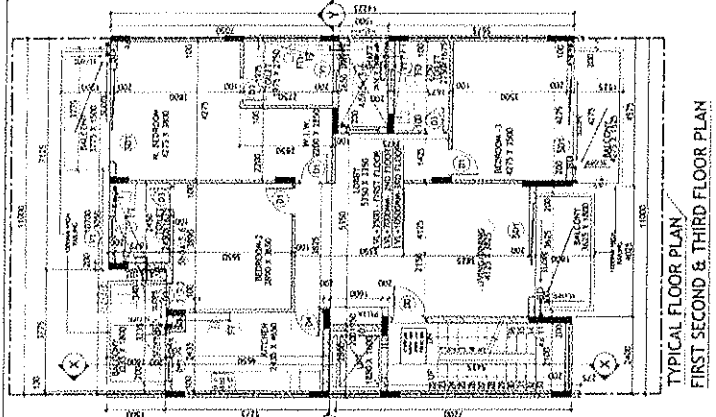
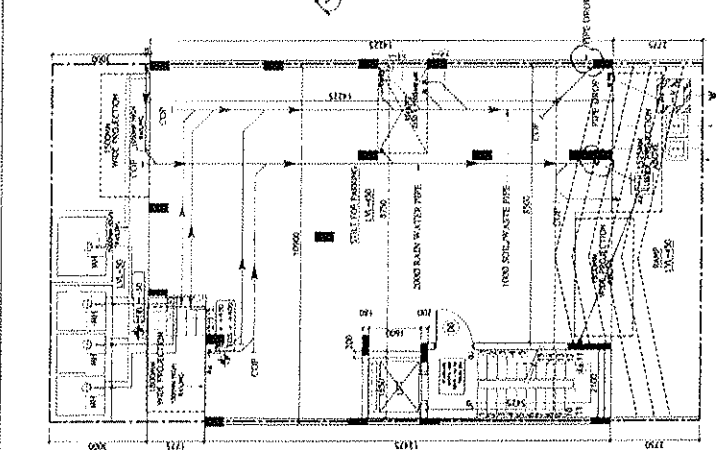
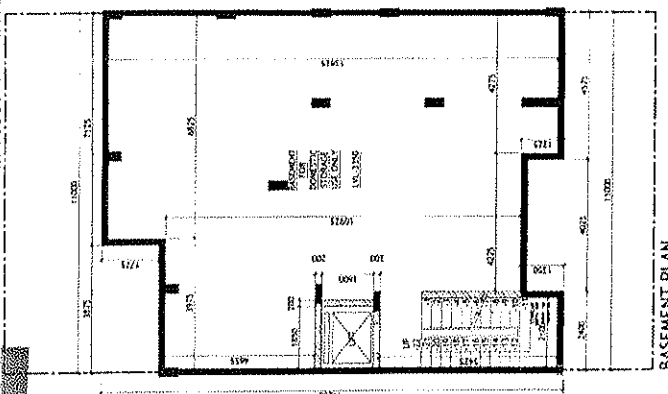
Item	Description	Quantity	Unit	Rate	Total
1	Excavation	100	m <sup>3</sup>	100	10000
2	Foundation	200	m <sup>3</sup>	200	40000
3	Structure	300	m <sup>3</sup>	300	90000
4	Roofing	100	m <sup>2</sup>	100	10000
5	Plumbing	50	m	50	2500
6	Electrical	50	m	50	2500
7	Painting	100	m <sup>2</sup>	100	10000
8	Sanitary	50	m	50	2500
9	Windows	50	m <sup>2</sup>	50	2500
10	Doors	50	m <sup>2</sup>	50	2500
11	Stairs	50	m <sup>2</sup>	50	2500
12	Roof Deck	50	m <sup>2</sup>	50	2500
13	Roof Tiles	50	m <sup>2</sup>	50	2500
14	Roof Screed	50	m <sup>2</sup>	50	2500
15	Roof Damp Proofing	50	m <sup>2</sup>	50	2500
16	Roof Guttering	50	m	50	2500
17	Roof Downpipes	50	m	50	2500
18	Roof Ventilation	50	m <sup>2</sup>	50	2500
19	Roof Insulation	50	m <sup>2</sup>	50	2500
20	Roof Waterproofing	50	m <sup>2</sup>	50	2500

Item	Description	Quantity	Unit	Rate	Total
1	Excavation	100	m <sup>3</sup>	100	10000
2	Foundation	200	m <sup>3</sup>	200	40000
3	Structure	300	m <sup>3</sup>	300	90000
4	Roofing	100	m <sup>2</sup>	100	10000
5	Plumbing	50	m	50	2500
6	Electrical	50	m	50	2500
7	Painting	100	m <sup>2</sup>	100	10000
8	Sanitary	50	m	50	2500
9	Windows	50	m <sup>2</sup>	50	2500
10	Doors	50	m <sup>2</sup>	50	2500
11	Stairs	50	m <sup>2</sup>	50	2500
12	Roof Deck	50	m <sup>2</sup>	50	2500
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16	Roof Guttering	50	m	50	2500
17	Roof Downpipes	50	m	50	2500
18	Roof Ventilation	50	m <sup>2</sup>	50	2500
19	Roof Insulation	50	m <sup>2</sup>	50	2500
20	Roof Waterproofing	50	m <sup>2</sup>	50	2500



**FRONT ELEVATION**

**REAR ELEVATION**



**LEGEND**

S.N.	SYMBOL	DESCRIPTION
1.	1000	1000 SOIL PIPE
2.	1000	1000 WASTE PIPE
3.	200	200 VENT PIPE
4.	1000	1000 RAIN WATER
5.	1000	1000 BALCONY DRAIN
6.	1000	1000 DOMESTIC WATER SUPPLY
7.	1000	1000 DOMESTIC WATER SUPPLY
8.	1000	1000 DOMESTIC WATER SUPPLY
9.	1000	1000 DOMESTIC WATER SUPPLY
10.	1000	1000 DOMESTIC WATER SUPPLY
11.	1000	1000 DOMESTIC WATER SUPPLY
12.	1000	1000 DOMESTIC WATER SUPPLY
13.	1000	1000 DOMESTIC WATER SUPPLY
14.	1000	1000 DOMESTIC WATER SUPPLY
15.	1000	1000 DOMESTIC WATER SUPPLY
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17.	1000	1000 DOMESTIC WATER SUPPLY
18.	1000	1000 DOMESTIC WATER SUPPLY
19.	1000	1000 DOMESTIC WATER SUPPLY
20.	1000	1000 DOMESTIC WATER SUPPLY
21.	1000	1000 DOMESTIC WATER SUPPLY
22.	1000	1000 DOMESTIC WATER SUPPLY
23.	1000	1000 DOMESTIC WATER SUPPLY
24.	1000	1000 DOMESTIC WATER SUPPLY
25.	1000	1000 DOMESTIC WATER SUPPLY
26.	1000	1000 DOMESTIC WATER SUPPLY
27.	1000	1000 DOMESTIC WATER SUPPLY
28.	1000	1000 DOMESTIC WATER SUPPLY
29.	1000	1000 DOMESTIC WATER SUPPLY
30.	1000	1000 DOMESTIC WATER SUPPLY

**GENERAL NOTES**

1. ALL WORK TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
7. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
8. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORKING SITE AT ALL TIMES.
9. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL WASTE AND DEBRIS PROPERLY.
11. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL AND NATIONAL BUILDING CODES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
13. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL AND NATIONAL ELECTRICAL CODES.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY ELECTRICAL PERMITS AND APPROVALS.
15. ALL ELECTRICAL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ELECTRICAL ENGINEER.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING ELECTRICAL UTILITIES AND STRUCTURES.
17. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
18. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
19. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORKING SITE AT ALL TIMES.
20. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER.
21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL WASTE AND DEBRIS PROPERLY.
22. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL AND NATIONAL BUILDING CODES.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
24. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
26. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
27. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
28. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORKING SITE AT ALL TIMES.
29. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER.
30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL WASTE AND DEBRIS PROPERLY.

**PROJECT TITLE**: [Blank]

**PROJECT NO.**: [Blank]

**DATE**: 15 JAN 2017

**SCALE**: 1:50

**DRAWING NO.**: 54-SC-81-102

**ENGINEER**: [Signature]

**ARCHITECT**: [Signature]

**PROJECT TITLE**: [Blank]

**PROJECT NO.**: [Blank]

**DATE**: 15 JAN 2017

**SCALE**: 1:50

**DRAWING NO.**: 54-SC-81-102

**PLANNING NOTES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.

3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

7. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORKING SITE AT ALL TIMES.

8. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL WASTE AND DEBRIS PROPERLY.

10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL AND NATIONAL BUILDING CODES.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

12. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.

13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

14. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

15. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

16. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORKING SITE AT ALL TIMES.

17. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER.

18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL WASTE AND DEBRIS PROPERLY.

19. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL AND NATIONAL BUILDING CODES.

20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

21. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.

22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

23. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

24. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

25. THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORKING SITE AT ALL TIMES.

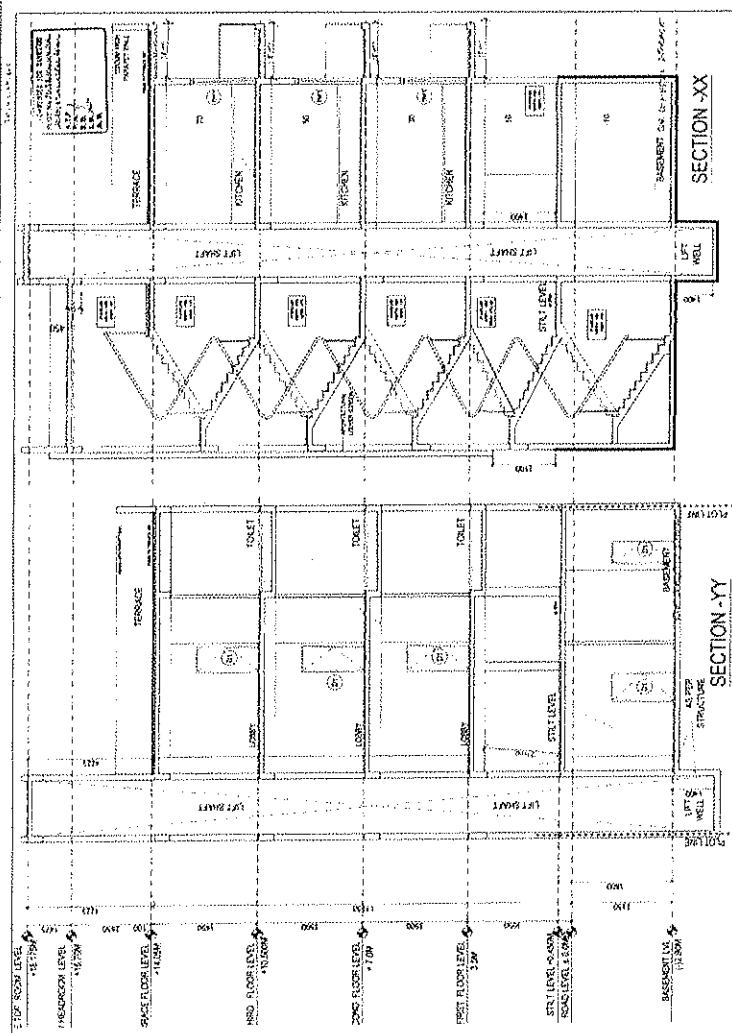
26. ALL MATERIALS SHALL BE STORED PROPERLY AND PROTECTED FROM WEATHER.

27. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING OF ALL WASTE AND DEBRIS PROPERLY.

28. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL AND NATIONAL BUILDING CODES.

29. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

30. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ENGINEER.



**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SANS AND CODES OF PRACTICE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SERVICES AT ALL TIMES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPLICABLE AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES.
6. ALL DIMENSIONS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED.
7. ALL FINISHES SHALL BE AS SPECIFIED IN THE SCHEDULE OF FINISHES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURE AND SERVICES.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND SERVICES.

**PROJECT TITLE**  
PROPOSED BUILDING PLAN FOR PLAT NO. 141-127  
SUBJECT TO THE APPLICABLE SANS AND CODES OF PRACTICE.  
AS SHOWN IN ARCH. DRAWING NO. 141-127  
OF 2010 DATED 21.08.2010 IN SECTOR  
141-127 IN THE MUNICIPALITY OF  
CAMPESINA, PROVINCE OF CAJAMAHA,  
PERU. THE PROJECT IS A RESIDENTIAL  
INFRASTRUCTURE PROJECT LOCATED IN  
SECTOR 12, INSTITUCIONAL AREA,  
CAMPESINA 12001.

**PROJECT ARCHITECT**  
CONDOMINIO CAMPESENA

**DESIGNING TITLE**  
RESIDENTIAL BUILDING PLAN  
UNITE 141-127-1

**PLAT NO.** 141-127-1

**DATE:** 10 JULY 2017

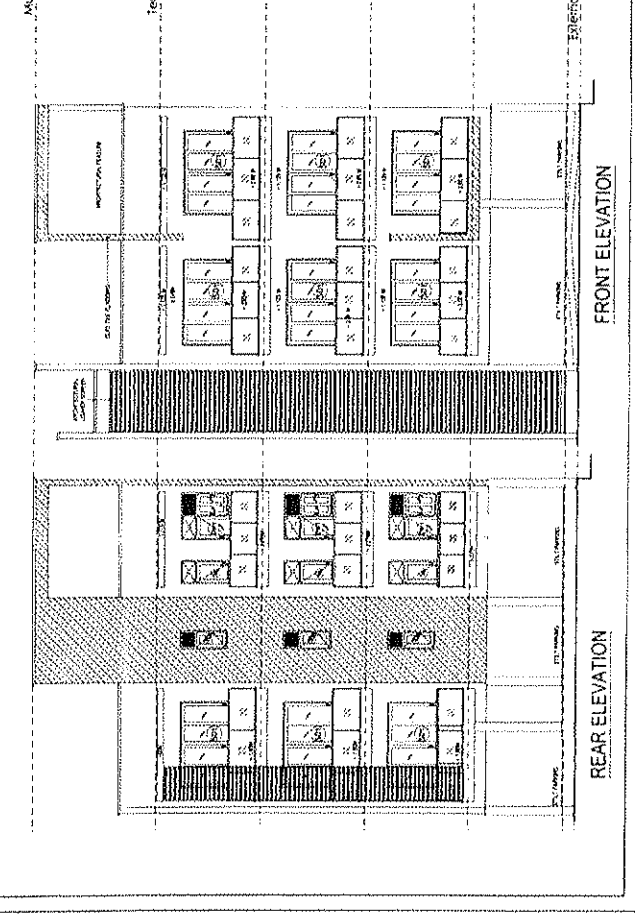
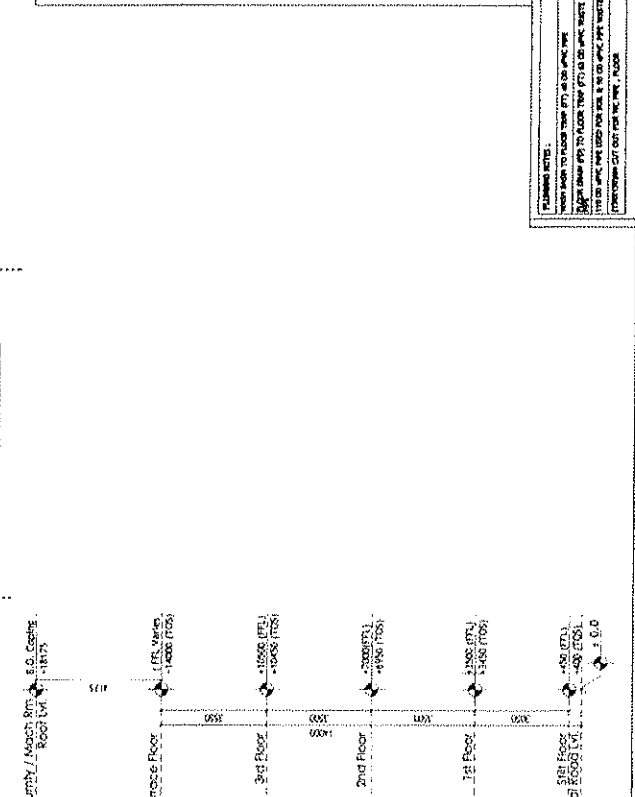
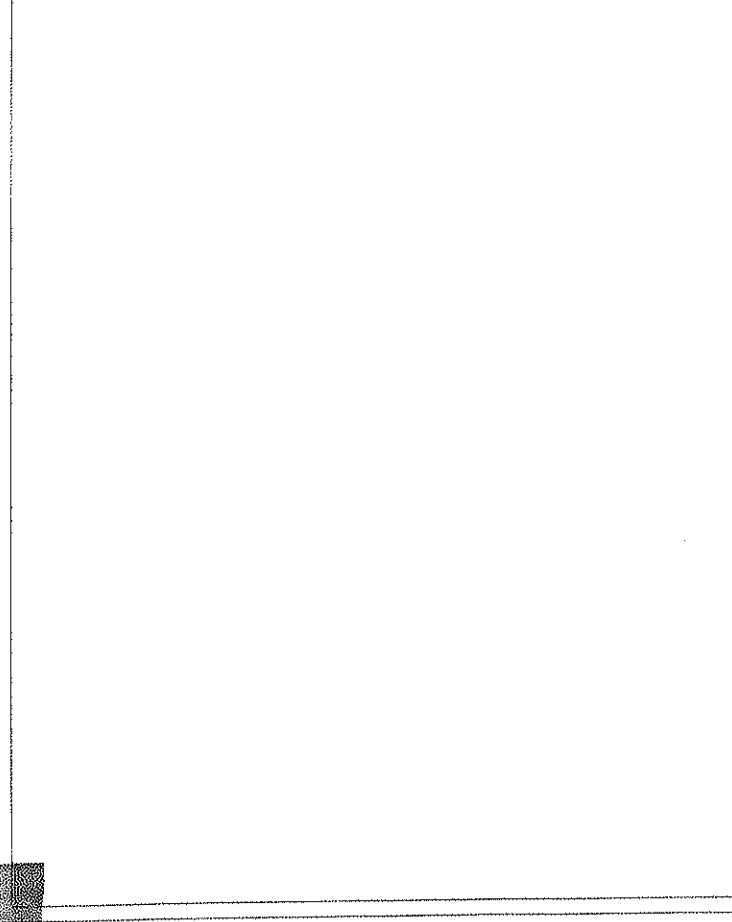
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**DRAWING NO.** SA-SC-81-102.1

**REVISIONS**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	10 JULY 2017

**APPROVED BY:**  
ARCHITECT: [Signature]  
DATE: 10 JULY 2017



**GENERAL NOTES**

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SANS AND CODES OF PRACTICE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AUTHORITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND SERVICES AT ALL TIMES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE APPLICABLE AUTHORITIES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES.
6. ALL DIMENSIONS SHALL BE IN METERS UNLESS OTHERWISE SPECIFIED.
7. ALL FINISHES SHALL BE AS SPECIFIED IN THE SCHEDULE OF FINISHES.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURE AND SERVICES.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND SERVICES.

**PROJECT TITLE**  
PROPOSED BUILDING PLAN FOR PLAT NO. 141-127  
SUBJECT TO THE APPLICABLE SANS AND CODES OF PRACTICE.  
AS SHOWN IN ARCH. DRAWING NO. 141-127  
OF 2010 DATED 21.08.2010 IN SECTOR  
141-127 IN THE MUNICIPALITY OF  
CAMPESINA, PROVINCE OF CAJAMAHA,  
PERU. THE PROJECT IS A RESIDENTIAL  
INFRASTRUCTURE PROJECT LOCATED IN  
SECTOR 12, INSTITUCIONAL AREA,  
CAMPESINA 12001.

**PROJECT ARCHITECT**  
CONDOMINIO CAMPESENA

**DESIGNING TITLE**  
RESIDENTIAL BUILDING PLAN  
UNITE 141-127-1

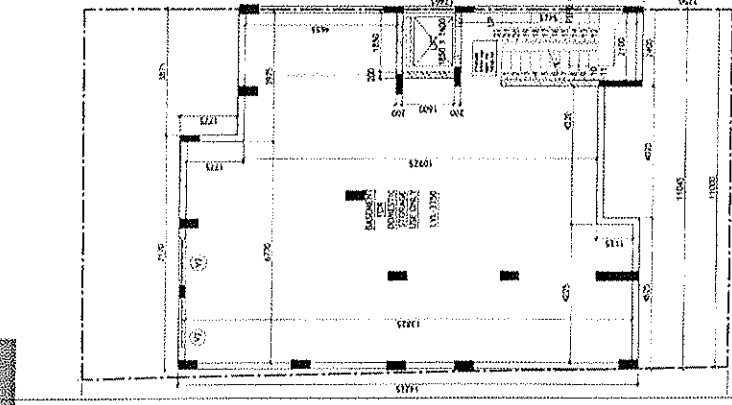
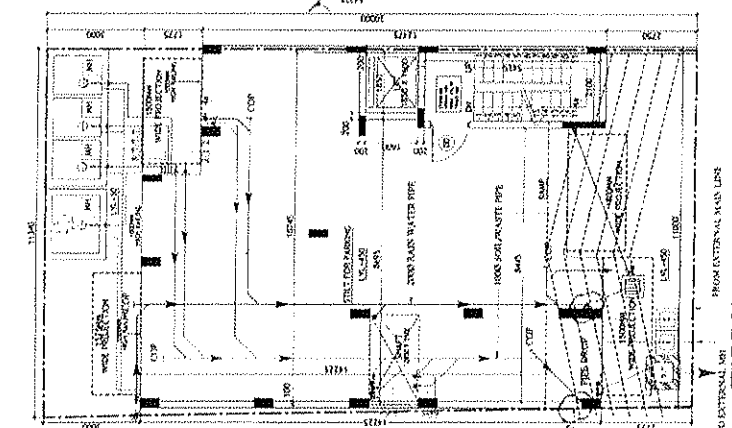
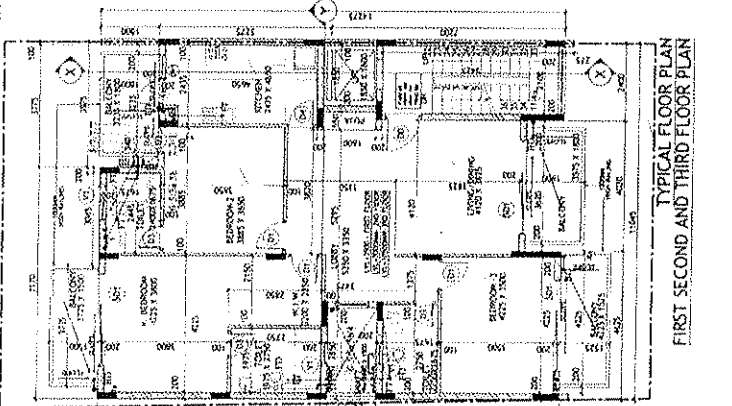
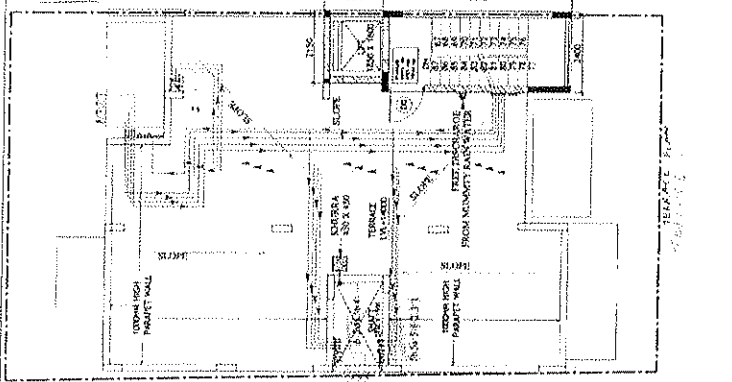
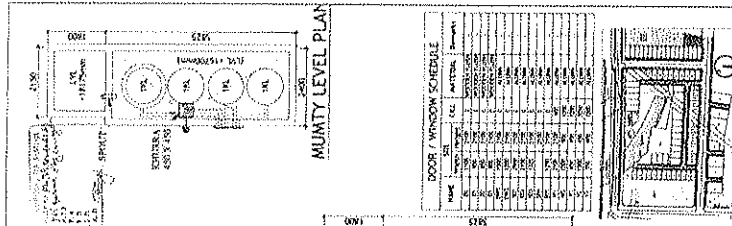
**PLAT NO.** 141-127-1

**DATE:** 10 JULY 2017

**SCALE:** 1:50

**DRAWING NO.** SA-SC-81-102.1





**PROJECT TITLE**  
 MUNITY BUILDING PLAN FOR PLOT NO. 37  
 14.1 MUNITY ACRES (ENCLOSURE NO. 2) OF 2700  
 MUNITY ACRES IN SECTION 40, 41, 42, 43  
 MUNITY ACRES IN SECTION 40, 41, 42, 43  
 BEING DEVELOPED BY AQUARIUM  
 INFRASTRUCTURE PVT. LTD. (PLOT NO. 37),  
 SURABHANGA - 422001.

**CLIENT TITLE**  
 AQUARIUM INFRASTRUCTURE PVT. LTD.

**DESIGNED BY**  
 AQUARIUM INFRASTRUCTURE PVT. LTD.  
 PLOT NO. 37

**SCALE**  
 1:50

**DATE**  
 10 JAN 2017

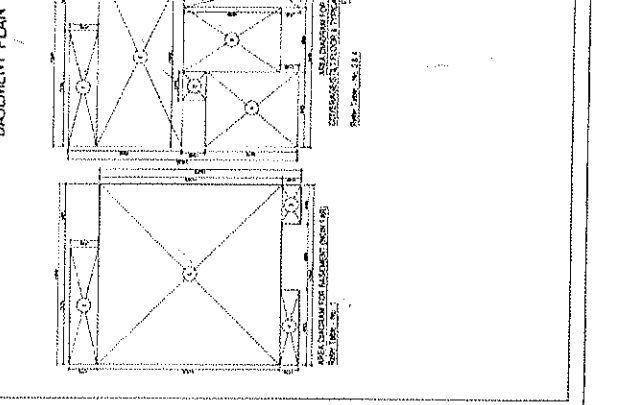
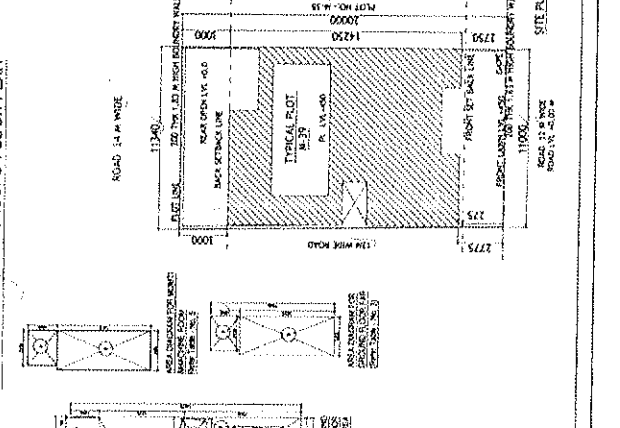
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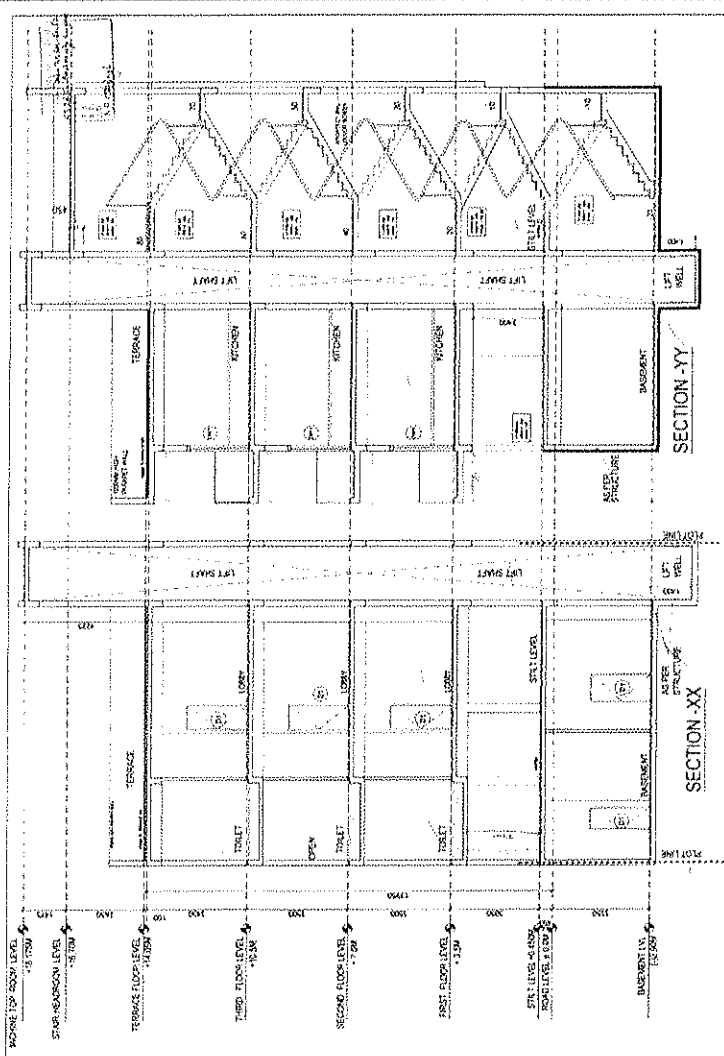
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S.N.	SYMBOL	DESCRIPTION
1	---	1000 SOLE PIPE
2	---	1000 WASTE PIPE
3	---	1000 VENT PIPE
4	---	1000 DRAIN WATER
5	---	1000 BALCONY DRAIN
6	---	1000 DOMESTIC WATER SUPPLY
7	---	2000 DOMESTIC WATER SUPPLY
8	---	1000 DOMESTIC WATER SUPPLY
9	---	1000 DOMESTIC WATER RISER
10	---	1000 DOMESTIC WATER RISER
11	---	1000 DOMESTIC WATER RISER
12	---	1000 DOMESTIC WATER RISER
13	---	1000 DOMESTIC WATER RISER
14	---	1000 DOMESTIC WATER RISER
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24	---	1000 DOMESTIC WATER RISER
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48	---	1000 DOMESTIC WATER RISER
49	---	1000 DOMESTIC WATER RISER
50	---	1000 DOMESTIC WATER RISER

**Notes:**

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE BUREAU OF PUBLIC WORKS, MUMBAI.
3. ALL MATERIALS TO BE USED SHALL BE OF THE BEST QUALITY AND SHALL BE APPROVED BY THE ARCHITECT.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LOCAL LAWS AND REGULATIONS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF INDIA.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE INTERNATIONAL STANDARDS.
8. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BEST PRACTICES.
9. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST TECHNOLOGY.
10. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SAFETY STANDARDS.
11. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ENVIRONMENTAL STANDARDS.
12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SOCIAL STANDARDS.
13. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ECONOMIC STANDARDS.
14. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CULTURAL STANDARDS.
15. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE AESTHETIC STANDARDS.
16. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FUNCTIONAL STANDARDS.
17. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE DURABLE STANDARDS.
18. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MAINTAINABLE STANDARDS.
19. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ADAPTABLE STANDARDS.
20. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE HEALTHY STANDARDS.
21. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SAFE STANDARDS.
22. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SOUND STANDARDS.
23. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LIGHT STANDARDS.
24. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE AIR STANDARDS.
25. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE THERMAL STANDARDS.
26. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE VISUAL STANDARDS.
27. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE COGNITIVE STANDARDS.
28. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE EMOTIONAL STANDARDS.
29. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BEHAVIORAL STANDARDS.
30. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PHYSICAL STANDARDS.
31. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PSYCHOLOGICAL STANDARDS.
32. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SOCIAL STANDARDS.
33. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ECONOMIC STANDARDS.
34. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CULTURAL STANDARDS.
35. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE AESTHETIC STANDARDS.
36. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE FUNCTIONAL STANDARDS.
37. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE DURABLE STANDARDS.
38. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE MAINTAINABLE STANDARDS.
39. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ADAPTABLE STANDARDS.
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46. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE VISUAL STANDARDS.
47. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE COGNITIVE STANDARDS.
48. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE EMOTIONAL STANDARDS.
49. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE BEHAVIORAL STANDARDS.
50. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PHYSICAL STANDARDS.



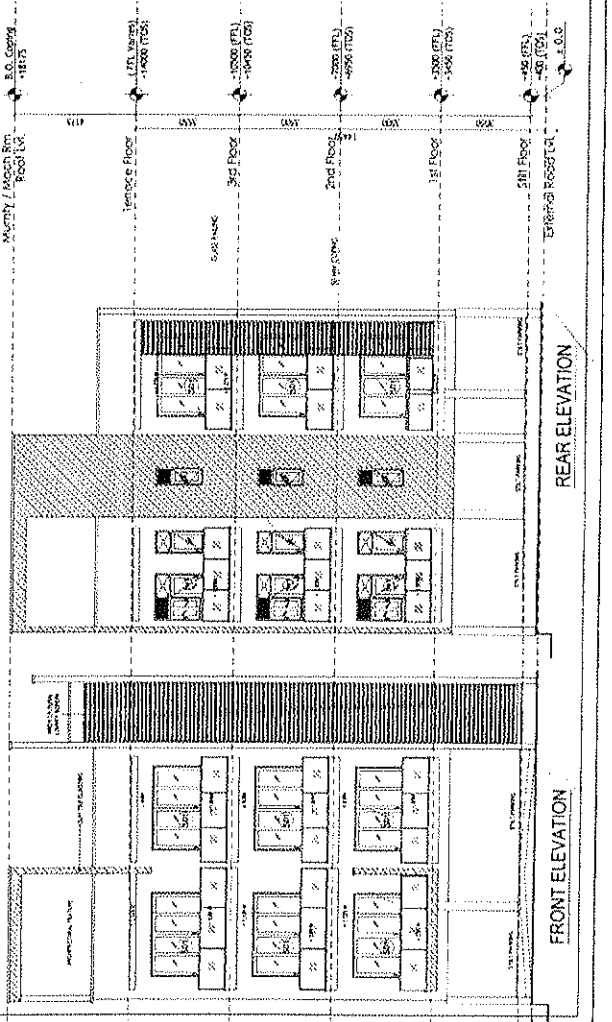


**GENERAL NOTES:**

1. All dimensions are in meters unless otherwise specified.
2. All levels are in meters above sea level unless otherwise specified.
3. All materials and workmanship shall conform to the latest editions of the relevant standards and specifications.
4. The contractor shall be responsible for obtaining all necessary permits and approvals from the relevant authorities.
5. The contractor shall ensure that the construction is completed within the specified time frame.
6. The contractor shall maintain access to all existing services and structures.
7. The contractor shall ensure that the construction is safe and sound.
8. The contractor shall ensure that the construction is in accordance with the approved plans and specifications.
9. The contractor shall ensure that the construction is in accordance with the relevant building codes and regulations.
10. The contractor shall ensure that the construction is in accordance with the relevant environmental regulations.

**PROJECT SITE:**  
 PROJECT NO. 10000 (PTA) - 10000 (PTA)  
 BUILDING NO. 10000 (PTA) - 10000 (PTA)  
 DATE: 15 JAN 2017  
 SCALE: 1:50  
 DRAWING NO. 10000 (PTA) - 10000 (PTA)

**DESIGNED BY:** [Signature]  
**CHECKED BY:** [Signature]  
**DATE:** 15 JAN 2017



**PLANNING NOTES:**

1. The building shall be constructed in accordance with the approved plans and specifications.

2. The building shall be constructed in accordance with the relevant building codes and regulations.

3. The building shall be constructed in accordance with the relevant environmental regulations.

4. The building shall be constructed in accordance with the relevant fire safety regulations.

5. The building shall be constructed in accordance with the relevant accessibility regulations.

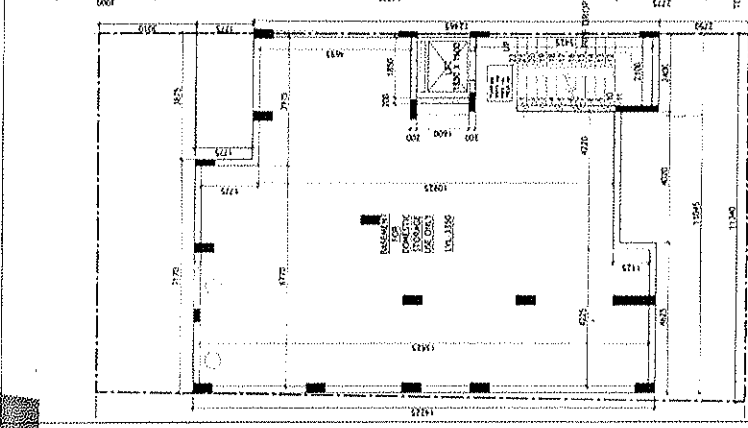
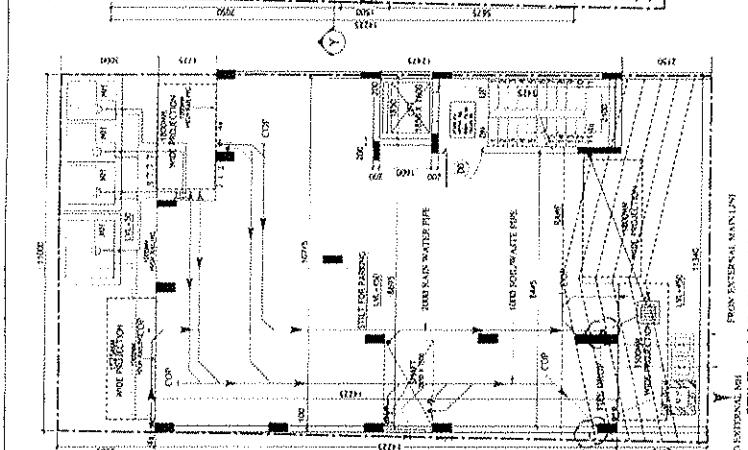
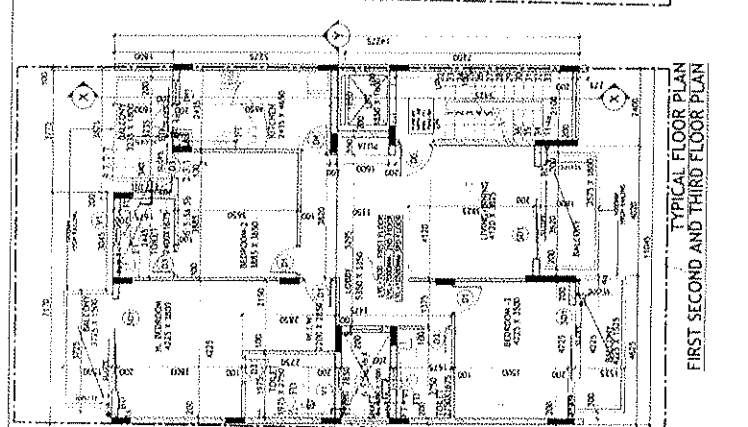
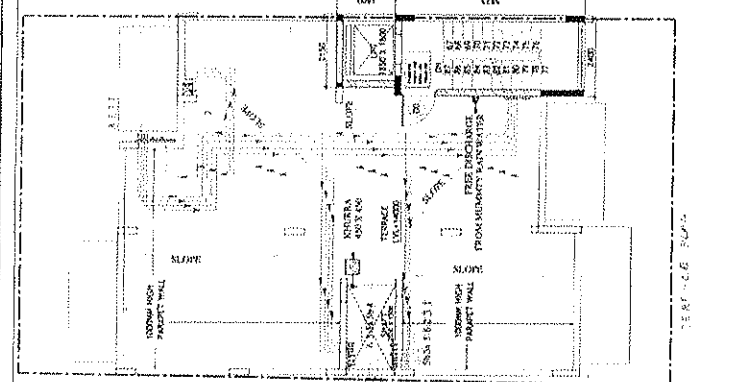
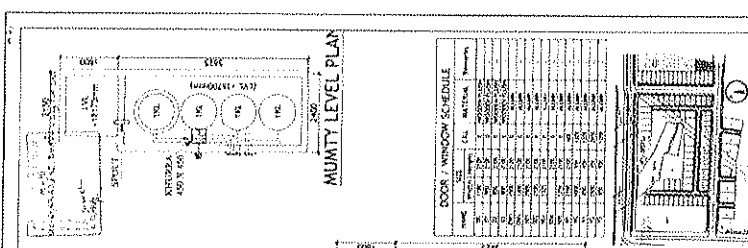
6. The building shall be constructed in accordance with the relevant energy efficiency regulations.

7. The building shall be constructed in accordance with the relevant sustainability regulations.

8. The building shall be constructed in accordance with the relevant social and community regulations.

9. The building shall be constructed in accordance with the relevant cultural and heritage regulations.

10. The building shall be constructed in accordance with the relevant health and safety regulations.



**GENERAL NOTES**

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL WALLS ARE 230 MM THICK UNLESS OTHERWISE SPECIFIED.
3. ALL FLOORS ARE TO BE FINISHED TO THE TOP OF THE FINISH FLOOR SLAB UNLESS OTHERWISE SPECIFIED.
4. ALL ROOFS ARE TO BE FINISHED TO THE TOP OF THE FINISH ROOF SLAB UNLESS OTHERWISE SPECIFIED.

**PROJECT TITLE**  
PROPOSED BUILDING PLAN FOR PLOT NO. 44-47  
FLOOR PLAN OF RESIDENTIAL BUILDING  
141 AMRYS AERIAL CEMENT NO. 64 OF 2010  
DATED 21.08.2018 IN SECTION 48.37.83  
BEING CONSTRUCTION OF A RESIDENTIAL BUILDING  
INFRASTRUCTURE PROJECT, PLOT NO. 44-47,  
SECTION 22, INSTITUTIONAL AREA,  
GODDARDIA.

**CLIENT'S NAME**  
MUMTY FOUNDATION

**DATE**  
15 JULY 2017

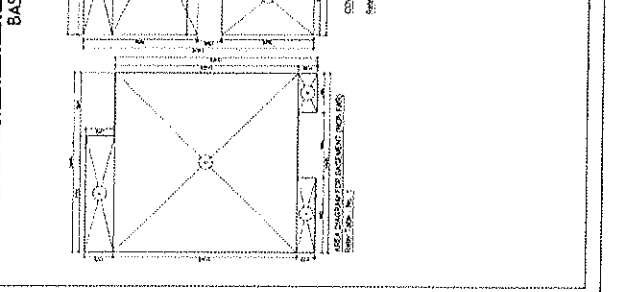
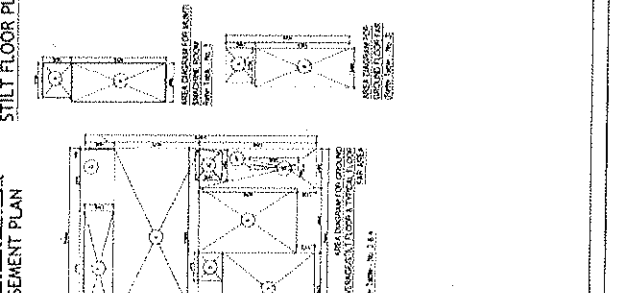
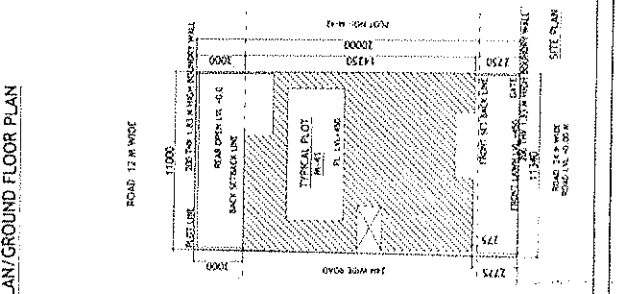
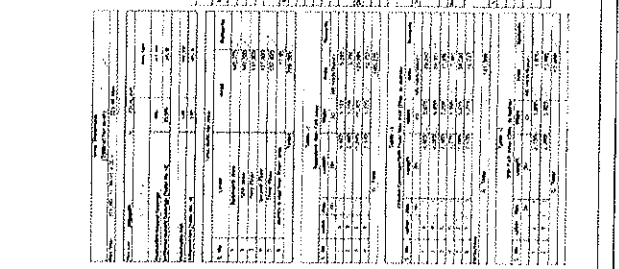
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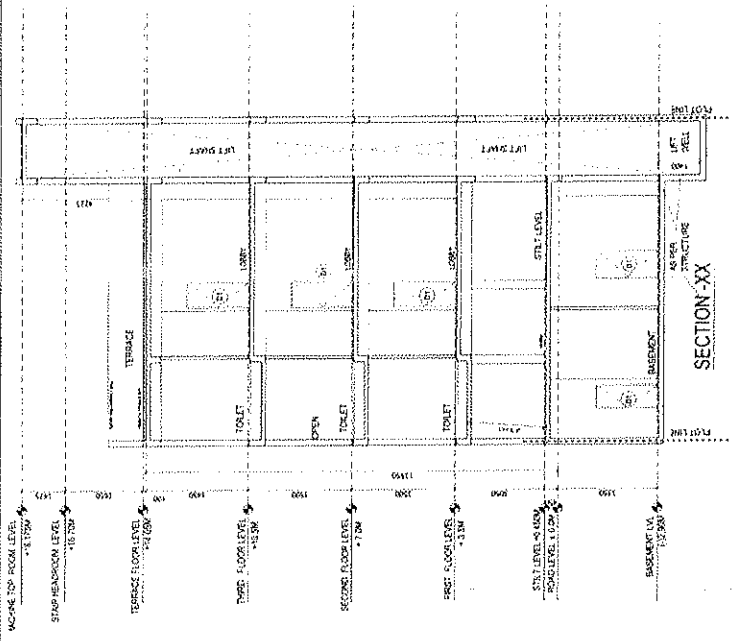
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S.N.	SYMBOL	DESCRIPTION
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2.	(Symbol)	1000 WASTE PIPE
3.	(Symbol)	150 VENT PIPE
4.	(Symbol)	1500 RAIN WATER
5.	(Symbol)	1000 BALCONY DRAIN
6.	(Symbol)	1000 DOMESTIC WATER SUPPLY
7.	(Symbol)	1000 DOMESTIC WATER SUPPLY
8.	(Symbol)	1000 DOMESTIC WATER SUPPLY
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75.	(Symbol)	1000 DOMESTIC WATER SUPPLY
76.	(Symbol)	1000 DOMESTIC WATER SUPPLY
77.	(Symbol)	1000 DOMESTIC WATER SUPPLY
78.	(Symbol)	1000 DOMESTIC WATER SUPPLY
79.	(Symbol)	1000 DOMESTIC WATER SUPPLY
80.	(Symbol)	1000 DOMESTIC WATER SUPPLY
81.	(Symbol)	1000 DOMESTIC WATER SUPPLY
82.	(Symbol)	1000 DOMESTIC WATER SUPPLY
83.	(Symbol)	1000 DOMESTIC WATER SUPPLY
84.	(Symbol)	1000 DOMESTIC WATER SUPPLY
85.	(Symbol)	1000 DOMESTIC WATER SUPPLY
86.	(Symbol)	1000 DOMESTIC WATER SUPPLY
87.	(Symbol)	1000 DOMESTIC WATER SUPPLY
88.	(Symbol)	1000 DOMESTIC WATER SUPPLY
89.	(Symbol)	1000 DOMESTIC WATER SUPPLY
90.	(Symbol)	1000 DOMESTIC WATER SUPPLY
91.	(Symbol)	1000 DOMESTIC WATER SUPPLY
92.	(Symbol)	1000 DOMESTIC WATER SUPPLY
93.	(Symbol)	1000 DOMESTIC WATER SUPPLY
94.	(Symbol)	1000 DOMESTIC WATER SUPPLY
95.	(Symbol)	1000 DOMESTIC WATER SUPPLY
96.	(Symbol)	1000 DOMESTIC WATER SUPPLY
97.	(Symbol)	1000 DOMESTIC WATER SUPPLY
98.	(Symbol)	1000 DOMESTIC WATER SUPPLY
99.	(Symbol)	1000 DOMESTIC WATER SUPPLY
100.	(Symbol)	1000 DOMESTIC WATER SUPPLY

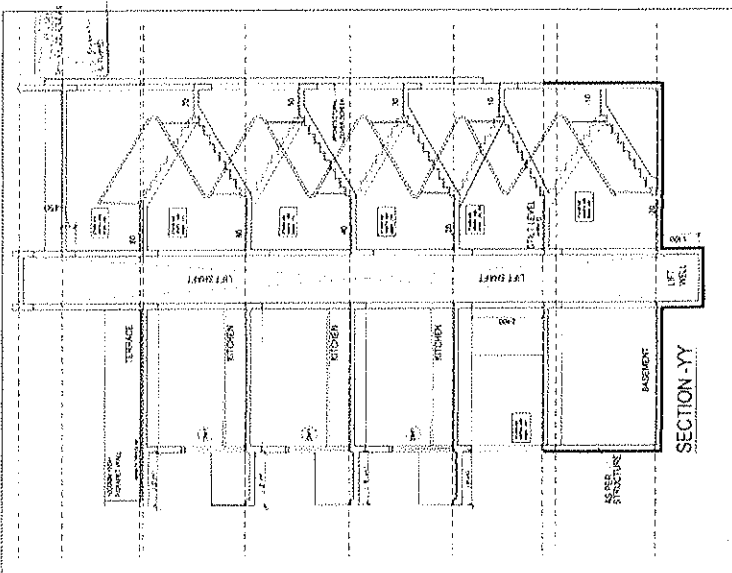
**GENERAL NOTES**

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. ALL WALLS ARE 230 MM THICK UNLESS OTHERWISE SPECIFIED.
3. ALL FLOORS ARE TO BE FINISHED TO THE TOP OF THE FINISH FLOOR SLAB UNLESS OTHERWISE SPECIFIED.
4. ALL ROOFS ARE TO BE FINISHED TO THE TOP OF THE FINISH ROOF SLAB UNLESS OTHERWISE SPECIFIED.

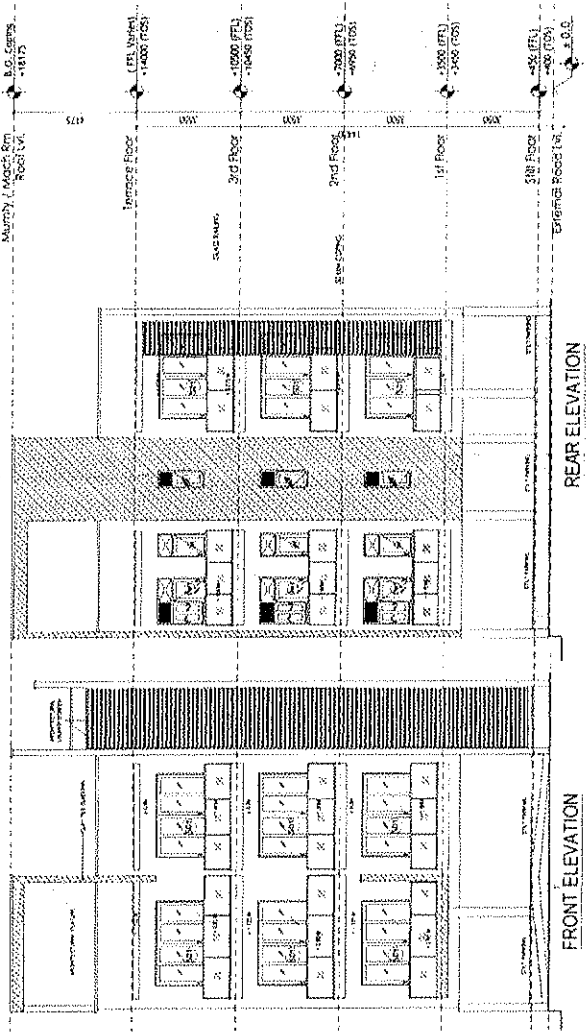




SECTION-XX



SECTION-YY

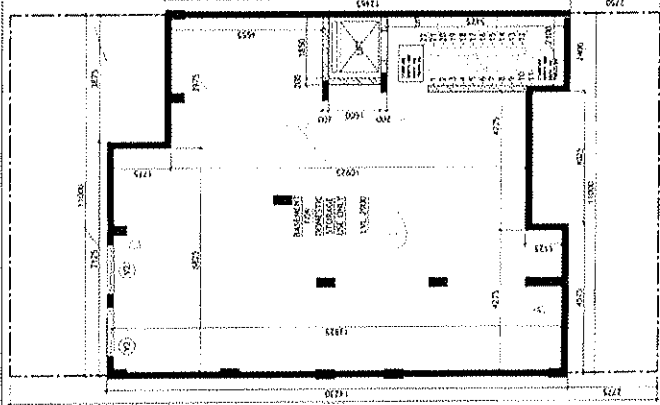


FRONT ELEVATION

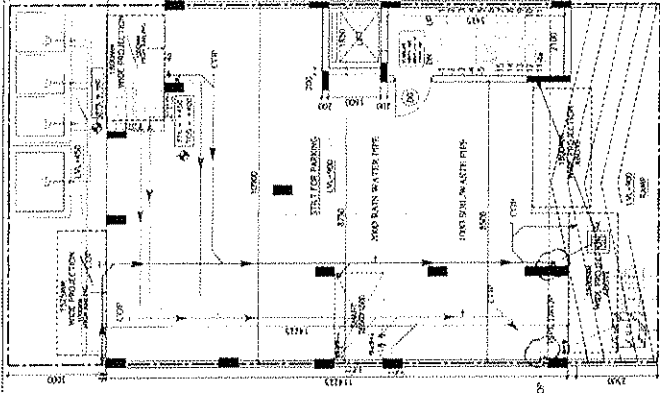
REAR ELEVATION

<p><b>GENERAL NOTES</b></p> <p>1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SANS 10400 SERIES.</p> <p>2. ALL MATERIALS SHALL BE OF GRADE AND APPROVED BY THE ARCHITECT.</p> <p>3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.</p> <p>4. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.</p> <p>5. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE SANS 10400 SERIES.</p> <p>6. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE SANS 10400 SERIES.</p> <p>7. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE SANS 10400 SERIES.</p> <p>8. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE SANS 10400 SERIES.</p> <p>9. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE SANS 10400 SERIES.</p> <p>10. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE SANS 10400 SERIES.</p>	<p><b>PROJECT TITLE</b></p> <p>PROJECT TITLE</p>	<p><b>ARCHITECT SIGNATURE</b></p> <p>ARCHITECT SIGNATURE</p>
	<p><b>DATE</b></p> <p>DATE: 15 JULY 2017</p>	<p><b>SCALE</b></p> <p>SCALE: 1:50</p>

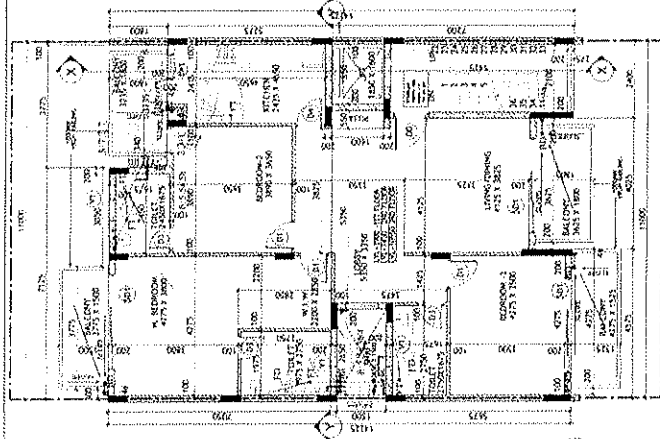
**GENERAL NOTES**  
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE SANS 10400 SERIES.  
 2. ALL MATERIALS SHALL BE OF GRADE AND APPROVED BY THE ARCHITECT.  
 3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.  
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 5. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE SANS 10400 SERIES.  
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 7. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE SANS 10400 SERIES.  
 8. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE SANS 10400 SERIES.  
 9. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE SANS 10400 SERIES.  
 10. ALL WORK SHALL BE SUBJECT TO THE REQUIREMENTS OF THE SANS 10400 SERIES.



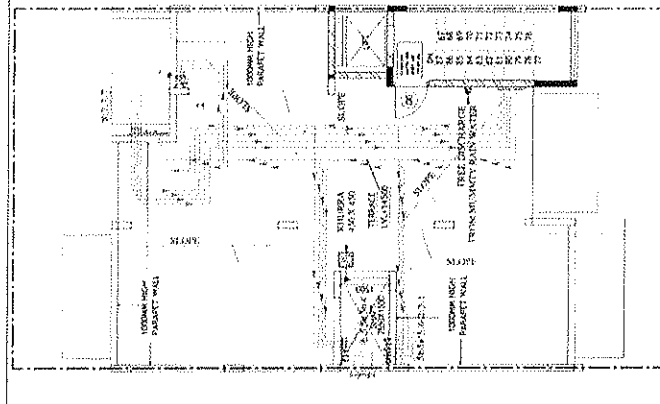
BASEMENT PLAN



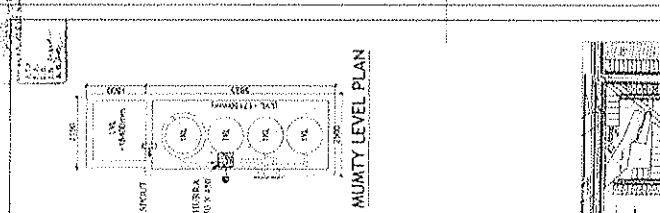
STILT FLOOR PLAN/GROUND FLOOR PLAN



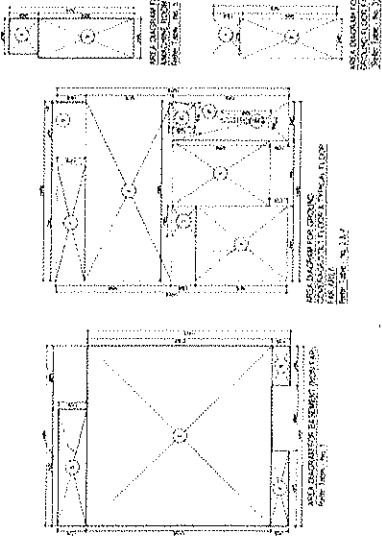
TYPICAL FLOOR PLAN  
FIRST, SECOND AND THIRD FLOOR PLAN



TERRACE PLAN



MUMTY LEVEL PLAN

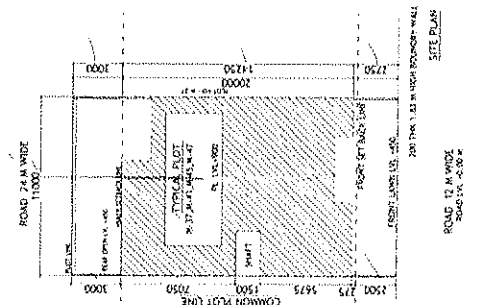


DOOR & WINDOW SCHEDULE

Sl. No.	Room	Door / Window	Material	Remarks
1	Living Dining	Door	Aluminum	
2	Kitchen	Door	Aluminum	
3	Bedroom	Door	Aluminum	
4	Living Dining	Window	Aluminum	
5	Kitchen	Window	Aluminum	
6	Bedroom	Window	Aluminum	

LEGEND

S.N.	SYMBOL	DESCRIPTION
1.	[Symbol]	1000 SOLI PIPE
2.	[Symbol]	1000 WASTE PIPE
3.	[Symbol]	150 VENT PIPE
4.	[Symbol]	1000 RAIN WATER
5.	[Symbol]	1000 RAINFALLY TRIN
6.	[Symbol]	100 DOMESTIC WATER SUPPLY
7.	[Symbol]	200 DOMESTIC WATER SUPPLY
8.	[Symbol]	FLUSHING WATER SUPPLY
9.	[Symbol]	DOMESTIC WATER RISER
10.	[Symbol]	FLUSHING WATER RISER
11.	[Symbol]	FLUSH TRAP
12.	[Symbol]	FLOOR DRAIN
13.	[Symbol]	MAIN DICE
14.	[Symbol]	GULLY TRAP
15.	[Symbol]	CATCH BASS



PROJECT TITLE: BUILDING SCHEDULE PLAN

DATE: 15.08.2024

SCALE: 1:50

DRIVING NO: SA-SC-11/11

PROJECT NO: 11/11/11/11/11

DATE: 15.08.2024

SCALE: 1:50

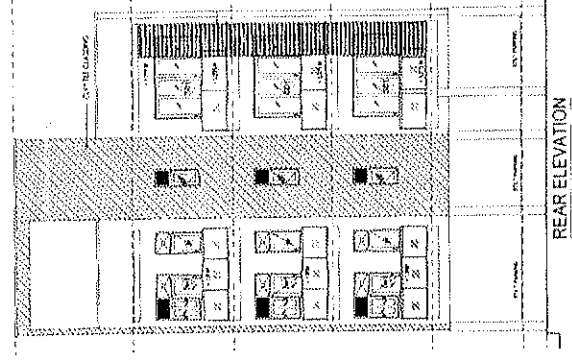
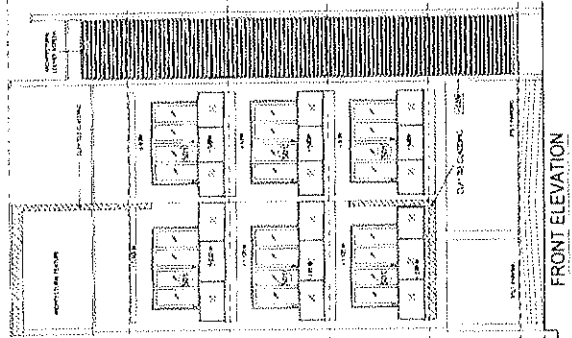
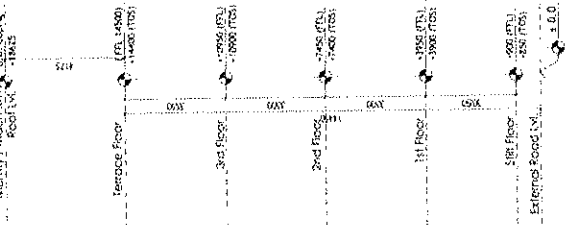
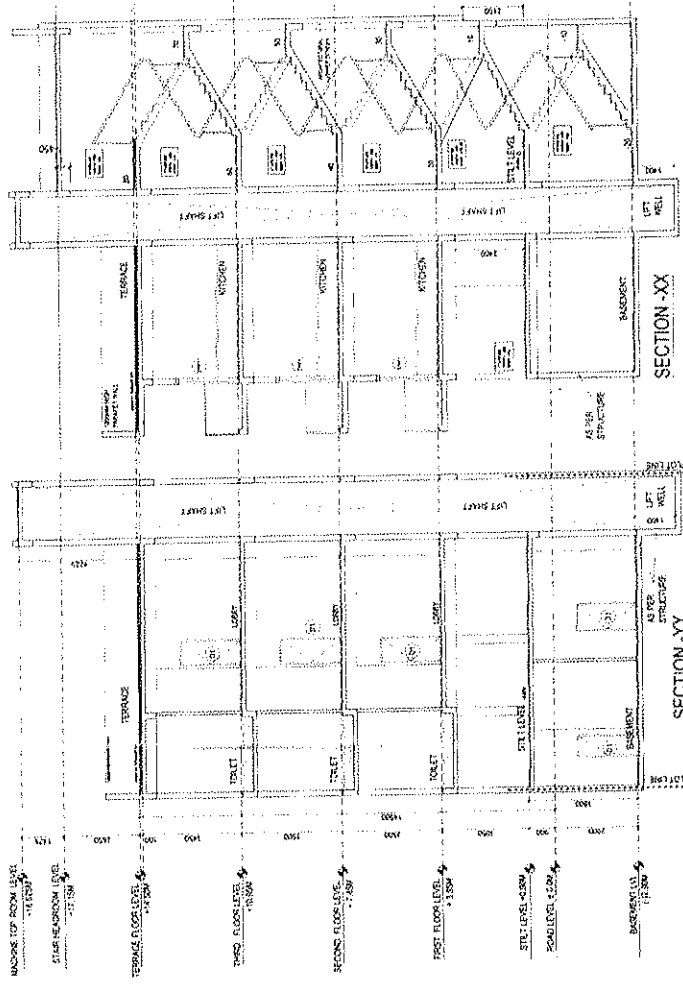
DRIVING NO: SA-SC-11/11

PLANNING NOTES:

- 1. ALL DIMENSIONS TO FACE UNLESS SPECIFIED OTHERWISE.
- 2. ALL WALLS TO BE FINISHED TO INTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 3. ALL FLOORS TO BE FINISHED TO TOP SURFACE UNLESS SPECIFIED OTHERWISE.
- 4. ALL ROOF TOPS TO BE FINISHED TO TOP SURFACE UNLESS SPECIFIED OTHERWISE.
- 5. ALL EXTERIOR WALLS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 6. ALL EXTERIOR DOORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 7. ALL EXTERIOR WINDOWS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 8. ALL EXTERIOR STAIRS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 9. ALL EXTERIOR BALCONIES TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 10. ALL EXTERIOR TERRACES TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 11. ALL EXTERIOR PATIOS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 12. ALL EXTERIOR DRIVEWAYS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 13. ALL EXTERIOR PARKING AREAS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 14. ALL EXTERIOR LANDSCAPING TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 15. ALL EXTERIOR LIGHTING TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 16. ALL EXTERIOR SECURITY SYSTEMS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 17. ALL EXTERIOR FENCE SYSTEMS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 18. ALL EXTERIOR GATE SYSTEMS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 19. ALL EXTERIOR SIGNAGE SYSTEMS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 20. ALL EXTERIOR MAILBOXES TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 21. ALL EXTERIOR UTILITY BOXES TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 22. ALL EXTERIOR ELECTRICAL PANELS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 23. ALL EXTERIOR TELEPHONE PANELS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 24. ALL EXTERIOR FIRE ALARMS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 25. ALL EXTERIOR SMOKE DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 26. ALL EXTERIOR CARBON MONOXIDE DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 27. ALL EXTERIOR THERMISTERS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 28. ALL EXTERIOR PHOTO EYE DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 29. ALL EXTERIOR MOTION DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 30. ALL EXTERIOR GLASS BREAK DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 31. ALL EXTERIOR VIBRATION DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 32. ALL EXTERIOR ACCELERATION DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 33. ALL EXTERIOR INFRARED DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 34. ALL EXTERIOR ULTRASONIC DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 35. ALL EXTERIOR LASER DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 36. ALL EXTERIOR RADIATION DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 37. ALL EXTERIOR NUCLEAR DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 38. ALL EXTERIOR PARTICLE DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 39. ALL EXTERIOR NEUTRON DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 40. ALL EXTERIOR GAMMA DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 41. ALL EXTERIOR X-RAY DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 42. ALL EXTERIOR ALPHA DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 43. ALL EXTERIOR BETA DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 44. ALL EXTERIOR POSITRON DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 45. ALL EXTERIOR ANTI-MATTER DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 46. ALL EXTERIOR GRAVITATIONAL DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 47. ALL EXTERIOR QUANTUM DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 48. ALL EXTERIOR SUPERCONDUCTING DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 49. ALL EXTERIOR SUPERFLUID DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.
- 50. ALL EXTERIOR SUPERNOVA DETECTORS TO BE FINISHED TO EXTERIOR SURFACE UNLESS SPECIFIED OTHERWISE.

PROJECT TITLE: [REDACTED]

<p>PROVIDER BUILDING PLAN FOR PLOT NO. [REDACTED] DURING PLAN BY MEASUREMENTS PLotted COLONY. AREA OF 2100 SQ. METERS (21000 SQ. FT.) TO BE USED FOR RESIDENTIAL PURPOSES. THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND STANDARDS OF THE MUNICIPALITY OF [REDACTED] AND THE NATIONAL AND INTERNATIONAL STANDARDS.</p>	<p>DATE: 22 Aug 2018</p>
<p>PROJECT TITLE: [REDACTED]</p>	<p>DATE: 22 Aug 2018</p>
<p>PROVIDER BUILDING PLAN FOR PLOT NO. [REDACTED] DURING PLAN BY MEASUREMENTS PLotted COLONY. AREA OF 2100 SQ. METERS (21000 SQ. FT.) TO BE USED FOR RESIDENTIAL PURPOSES. THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND STANDARDS OF THE MUNICIPALITY OF [REDACTED] AND THE NATIONAL AND INTERNATIONAL STANDARDS.</p>	<p>DATE: 22 Aug 2018</p>



MAJOR TOP ROOM LEVEL: 4.500  
 4TH FLOOR LEVEL: 4.500  
 TERRACE FLOOR LEVEL: 1.500  
 3RD FLOOR LEVEL: 3.500  
 2ND FLOOR LEVEL: 2.500  
 1ST FLOOR LEVEL: 1.500  
 0TH FLOOR LEVEL: 0.500  
 EXTERNAL ROAD LEVEL: 0.000

**BR-III**  
(See Rule 44 Act of 1963)

From

**Vaibhav Vashisht**  
Architect (CA/2007/41326)  
Plot No. 83, Sector 32, Gurugram

To

**M/s Achaleshwer Infrastructure Pvt. Ltd.**  
**Plot no. 83, Sector 32, Gurugram.**

Memo No. **V.V/A/221**

Dated. **16/10/18**

Sub:-

Approval of residential building plans in respect of Plot No. **M-49**, falling in residential plotted colony (Lic No. 64 of 2010 dated 21.08.2010) named as "Brahma City Pvt. Ltd. & others" at sector-60, 62, 63 & 65, Gurugram.

Ref:-

Your application No. \_\_\_\_\_ Dated \_\_\_\_\_.

Building plan Committee constituted vide DTCP Endst. No. 4593 Dated 15.4.1999 has approved your building plan subject to the conditions as under:-

- 1 That you will abide by the Punjab Scheduled Roads and Controlled Area restriction of Unregulated Development Act, 1963/Rules 1965 as well as HBC-2017.
- 2 The building plans shall be treated as cancelled if plot falls in unlicensed area.
- 3 The subject cited approval is valid for two years.
- 4 These plots belong to the NPPL category.
- 5 This plan is being approved without prejudice to the validity of the license of the colony.
- 6 You will get the setbacks of your building(s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
- 7 That you will get occupation certificate from competent authority before occupying the above said building.
- 8 That you will provide rain water harvesting system as proposed in the building plan.
- 9 That responsibility of the structural design & structural stability against the earthquake of the building block shall be solely of the Architect / Owner.
- 10 That the basement setback shall be minimum 8 feet from common wall in the event the adjoining plot is build up without basement.
- 11 That you will not use the proposed building other than residential purposes and shall not raise any further construction without getting the approval of competent authority otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
- 12 That you will not apply for occupation certificate till all the development works in the licensed colony are completed and functional.
- 13 Solar assisted water heating system shall have to be provided as per prevailing Government Policies / Norms.
- 14 That you shall abide by the conditions as declared in the affidavit. If you breach any of the conditions laid down in the said affidavit the approval of building plan deemed to be cancelled.
- 15 That you shall also comply with the conditions as approved/conveyed from time to time by the Govt.
- 16 That you shall adhere to the guidelines issued by Director General, Town & Country Planning on 14.05.2015 (Circulated by this office on 27.05.2015) in reference to orders dated 10.04.2015 of Hon'ble National Green Tribunal in O.A. No. 21 of 2014 i.e. Vardhman Kaushik Vs. Union of India & Ors.
- 17 This sanction will be void abinitio if any of the conditions mentioned above are not complied with.
- 18 That the colonizer shall not get any profit on the sale of plot other than the rates fixed by C.A. HSVP, Panchkula for the plot i.e. rate of sale of plot shall not exceed the rate fixed by HSVP, failing which, the said approval shall be considered null & void.
- 19 You shall submit the BR-III alongwith copy of plans duly signed by you related to all these plots in 15 days of this technical approval.
- 20 The rates of NPPL plots shall remain as per the approval of Competent Authority and applicant shall abide by the undertaking dated 14.09.2018 (for services) and undertaking dated 28.09.2018 for allotment rates of NPPL.
- 21 That you shall construct the plots in view of undertaking dated 28.09.2018 stating that you shall consider the plots value as per the rate prescribed /approved by the HSVP/DTCP even if floor-wise construction is done.
- 22 You shall convey the owner that he shall adhere to the guidelines issued by Director General, Town &

Country Planning on 14.05.2015 (Circulated by this office on 27.05.2015) in reference to orders dated 10.04.2015 of Hon'ble National Green Tribunal in O.A. No. 21 of 2014 i.e. Vardhman Kaushik Vs. Union of India & Ors and order dated 21.04.2017 passed by Commissioner, Municipal Corporation, Gurugram (MCG) regarding construction & demolition waste management at site.

This sanction will be void ab initio if any of the conditions mentioned above are not complied with. One copy of sanction plan is enclosed herewith for your further necessary action.

Encl: As above.



**Vaibhav Vashisht**  
Architect (CA/2007/41326)

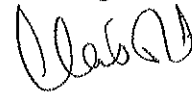
Vaibhav Vashisht, Architect

Endst. No.

Dated. Council of Architecture

A copy of the above is forwarded to the following for information and registration No. CA/2007/41326

1. The Dist. Town Planner, Gurugram.
2. The Dist. Town Planner (Enf.) Gurugram.
3. Brahma City Pvt. Ltd. & others
4. The Regional Officer (RO), Haryana State, Pollution Control Board, Gurugram.



**Vaibhav Vashisht**  
Architect (CA/2007/41326)



**BR-III**  
(See Rule 44 Act of 1963)

From

**Vaibhav Vashisht**  
Architect (CA/2007/41326)  
Plot No. 83, Sector 32, Gurugram

To

**M/s Achaleshwer Infrastructure Pvt. Ltd.**  
**Plot no. 83, Sector 32, Gurugram.**

Memo No. **V.V/A/196**

Dated. **16/10/18**

Sub:-

Approval of residential building plans in respect of Plot No. **M-41**, falling in residential plotted colony (Lic No. 64 of 2010 dated 21.08.2010) named as "Brahma City Pvt. Ltd. & others" at sector-60, 62, 63 & 65, Gurugram.

Ref:-

Your application No. \_\_\_\_\_ Dated \_\_\_\_\_.

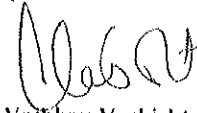
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- 1 That you will abide by the Punjab Scheduled Roads and Controlled Area restriction of Unregulated Development Act, 1963/Rules 1965 as well as HBC-2017.
- 2 The building plans shall be treated as cancelled if plot falls in unlicensed area.
- 3 The subject cited approval is valid for two years.
- 4 These plots belong to the NPNL category.
- 5 This plan is being approved without prejudice to the validity of the license of the colony.
- 6 You will get the setbacks of your building(s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
- 7 That you will get occupation certificate from competent authority before occupying the above said building.
- 8 That you will provide rain water harvesting system as proposed in the building plan.
- 9 That responsibility of the structural design & structural stability against the earthquake of the building block shall be solely of the Architect / Owner.
- 10 That the basement setback shall be minimum 8 feet from common wall in the event the adjoining plot is build up without basement.
- 11 That you will not use the proposed building other than residential purposes and shall not raise any further construction without getting the approval of competent authority otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
- 12 That you will not apply for occupation certificate till all the development works in the licensed colony are completed and functional.
- 13 Solar assisted water heating system shall have to be provided as per prevailing Government Policies / Norms.
- 14 That you shall abide by the conditions as declared in the affidavit. If you breach any of the conditions laid down in the said affidavit the approval of building plan deemed to be cancelled.
- 15 That you shall also comply with the conditions as approved/conveyed from time to time by the Govt.
- 16 That you shall adhere to the guidelines issued by Director General, Town & Country Planning on 14.05.2015 (Circulated by this office on 27.05.2015) in reference to orders dated 10.04.2015 of Hon'ble National Green Tribunal in O.A. No. 21 of 2014 i.e. Vardhman Kaushik Vs. Union of India & Ors.
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- 18 That the colonizer shall not get any profit on the sale of plot other than the rates fixed by C.A, HSVP, Panchkula for the plot i.e. rate of sale of plot shall not exceed the rate fixed by HSVP, failing which, the said approval shall be considered null & void.
- 19 You shall submit the BR-III alongwith copy of plans duly signed by you related to all these plots in 15 days of this technical approval.
- 20 The rates of NPNL plots shall remain as per the approval of Competent Authority and applicant shall abide by the undertaking dated 14.09.2018 (for services) and undertaking dated 28.09.2018 for allotment rates of NPNL.
- 21 That you shall construct the plots in view of undertaking dated 28.09.2018 stating that you shall consider the plots value as per the rate prescribed /approved by the HSVP/DTCP even if floor-wise construction is done.
- 22 You shall convey the owner that he shall adhere to the guidelines issued by Director General, Town &

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This sanction will be void abinitio if any of the conditions mentioned above are not complied with. One copy of sanction plan is enclosed herewith for your further necessary action.

Encl: As above.



**Vaibhav Vashisht**  
Architect (CA/2007/41326)

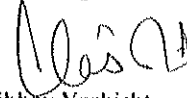
Vaibhav Vashisht, Architect  
Council of Architecture

Endst. No.

Dated.

A copy of the above is forwarded to the following for information and further necessary action.  
Registration No. CA/2007/41326

1. The Distt. Town Planner, Gurugram.
2. The Distt. Town Planner (Enf.) Gurugram.
3. Brahma City Pvt. Ltd. & others
4. The Regional Officer (RO), Haryana State, Pollution Control Board, Gurugram.



**Vaibhav Vashisht**  
Architect (CA/2007/41326)

**BR-III**  
(See Rule 44 Act of 1963)

From

**Vaibhav Vashisht**  
Architect (CA/2007/41326)  
Plot No. 83, Sector 32, Gurugram

To

**M/s Achaleshwer Infrastructure Pvt. Ltd.**  
**Plot no. 83, Sector 32, Gurugram.**

Memo No. **V.V/A/216**

Dated. **16/10/18**

Sub:-

Approval of residential building plans in respect of Plot No. **M-36**, falling in residential plotted colony (Lic No. 64 of 2010 dated 21.08.2010) named as "Brahma City Pvt. Ltd. & others" at sector-60, 62, 63 & 65, Gurugram.

Ref:-

Your application No. \_\_\_\_\_ Dated \_\_\_\_\_.


Building plan Committee constituted vide DTCP Endst. No. 4593 Dated 15.4.1999 has approved your building plan subject to the conditions as under:-

- 1 That you will abide by the Punjab Scheduled Roads and Controlled Area restriction of Unregulated Development Act, 1963/Rules 1965 as well as HBC-2017.
- 2 The building plans shall be treated as cancelled if plot falls in unlicensed area.
- 3 The subject cited approval is valid for two years.
- 4 These plots belong to the NPPL category.
- 5 This plan is being approved without prejudice to the validity of the license of the colony.
- 6 You will get the setbacks of your building(s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
- 7 That you will get occupation certificate from competent authority before occupying the above said building.
- 8 That you will provide rain water harvesting system as proposed in the building plan.
- 9 That responsibility of the structural design & structural stability against the earthquake of the building block shall be solely of the Architect / Owner.
- 10 That the basement setback shall be minimum 8 feet from common wall in the event the adjoining plot is build up without basement.
- 11 That you will not use the proposed building other than residential purposes and shall not raise any further construction without getting the approval of competent authority otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
- 12 That you will not apply for occupation certificate till all the development works in the licensed colony are completed and functional.
- 13 Solar assisted water heating system shall have to be provided as per prevailing Government Policies / Norms.
- 14 That you shall abide by the conditions as declared in the affidavit. If you breach any of the conditions laid down in the said affidavit the approval of building plan deemed to be cancelled.
- 15 That you shall also comply with the conditions as approved/conveyed from time to time by the Govt.
- 16 That you shall adhere to the guidelines issued by Director General, Town & Country Planning on 14.05.2015 (Circulated by this office on 27.05.2015) in reference to orders dated 10.04.2015 of Hon'ble National Green Tribunal in O.A. No. 21 of 2014 i.e. Vardhman Kaushik Vs. Union of India & Ors.
- 17 This sanction will be void ab initio if any of the conditions mentioned above are not complied with.
- 18 That the colonizer shall not get any profit on the sale of plot other than the rates fixed by C.A. HSVP, Panchkula for the plot i.e. rate of sale of plot shall not exceed the rate fixed by HSVP, failing which, the said approval shall be considered null & void.
- 19 You shall submit the BR-III alongwith copy of plans duly signed by you related to all these plots in 15 days of this technical approval.
- 20 The rates of NPPL plots shall remain as per the approval of Competent Authority and applicant shall abide by the undertaking dated 14.09.2018 (for services) and undertaking dated 28.09.2018 for allotment rates of NPPL.
- 21 That you shall construct the plots in view of undertaking dated 28.09.2018 stating that you shall consider the plots value as per the rate prescribed /approved by the HSVP/DTCP even if floor-wise construction is done.
- 22 You shall convey the owner that he shall adhere to the guidelines issued by Director General, Town &

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Encl: As above.

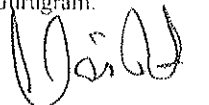
  
**Vaibhav Vashisht**  
Architect (CA/2007/41326)  
Council of Architecture  
Registration No. CA/2007/41326

Endst. No.

Dated.

A copy of the above is forwarded to the following for information and further necessary action.

1. The Dist. Town Planner, Gurugram.
2. The Dist. Town Planner (Enf.) Gurugram.
3. Brahma City Pvt. Ltd. & others
4. The Regional Officer (RO), Haryana State, Pollution Control Board, Gurugram.

  
**Vaibhav Vashisht**  
Architect (CA/2007/41326)

**BR-III**  
(See Rule 44 Act of 1963)

From

**Vaibhav Vashisht**  
Architect (CA/2007/41326)  
Plot No. 83, Sector 32, Gurugram

To

**M/s Achaleshwer Infrastructure Pvt. Ltd.**  
**Plot no. 83, Sector 32, Gurugram.**

Memo No. **V.V/A/201**

Dated. **16/10/18**

Sub:-

Approval of residential building plans in respect of Plot No. **M-39**, falling in residential plotted colony (Lic No. 64 of 2010 dated 21.08.2010) named as "Brahma City Pvt. Ltd. & others" at sector-60, 62, 63 & 65, Gurugram.

Ref:-

Your application No. \_\_\_\_\_ Dated \_\_\_\_\_.


Building plan Committee constituted vide DTCP Endst. No. 4593 Dated 15.4.1999 has approved your building plan subject to the conditions as under:-

- 1 That you will abide by the Punjab Scheduled Roads and Controlled Area restriction of Unregulated Development Act, 1963/Rules 1965 as well as HBC-2017.
- 2 The building plans shall be treated as cancelled if plot falls in unlicensed area.
- 3 The subject cited approval is valid for two years.
- 4 These plots belong to the NPPL category.
- 5 This plan is being approved without prejudice to the validity of the license of the colony.
- 6 You will get the setbacks of your building(s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
- 7 That you will get occupation certificate from competent authority before occupying the above said building.
- 8 That you will provide rain water harvesting system as proposed in the building plan.
- 9 That responsibility of the structural design & structural stability against the earthquake of the building block shall be solely of the Architect / Owner.
- 10 That the basement setback shall be minimum 8 feet from common wall in the event the adjoining plot is build up without basement.
- 11 That you will not use the proposed building other than residential purposes and shall not raise any further construction without getting the approval of competent authority otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
- 12 That you will not apply for occupation certificate till all the development works in the licensed colony are completed and functional.
- 13 Solar assisted water heating system shall have to be provided as per prevailing Government Policies / Norms.
- 14 That you shall abide by the conditions as declared in the affidavit. If you breach any of the conditions laid down in the said affidavit the approval of building plan deemed to be cancelled.
- 15 That you shall also comply with the conditions as approved/conveyed from time to time by the Govt.
- 16 That you shall adhere to the guidelines issued by Director General, Town & Country Planning on 14.05.2015 (Circulated by this office on 27.05.2015) in reference to orders dated 10.04.2015 of Hon'ble National Green Tribunal in O.A. No. 21 of 2014 i.e. Vardhman Kaushik Vs. Union of India & Ors.
- 17 This sanction will be void abnatio if any of the conditions mentioned above are not complied with.
- 18 That the colonizer shall not get any profit on the sale of plot other than the rates fixed by C.A, HSVP, Panchkula for the plot i.e. rate of sale of plot shall not exceed the rate fixed by HSVP, failing which, the said approval shall be considered null & void.
- 19 You shall submit the BR-III alongwith copy of plans duly signed by you related to all these plots in 15 days of this technical approval.
- 20 The rates of NPPL plots shall remain as per the approval of Competent Authority and applicant shall abide by the undertaking dated 14.09.2018 (for services) and undertaking dated 28.09.2018 for allotment rates of NPPL.
- 21 That you shall construct the plots in view of undertaking dated 28.09.2018 stating that you shall consider the plots value as per the rate prescribed /approved by the HSVP/DTCP even if floor-wise construction is done.
- 22 You shall convey the owner that he shall adhere to the guidelines issued by Director General, Town &

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This sanction will be void abnito if any of the conditions mentioned above are not complied with. One copy of sanction plan is enclosed herewith for your further necessary action.

Encl: As above.



**Vaibhav Vashisht**  
Architect (CA/2007/41326)

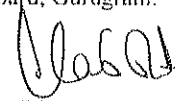
Endst. No.

Dated.

Vaibhav Vashisht, Architect  
Council of Architecture  
Registration. No. CA/2007/41326

A copy of the above is forwarded to the following for information and further necessary action.

1. The Distt. Town Planner, Gurugram.
2. The Distt. Town Planner (Enf.) Gurugram.
3. Brahma City Pvt. Ltd. & others
4. The Regional Officer (RO), Haryana State, Pollution Control Board, Gurugram.



**Vaibhav Vashisht**  
Architect (CA/2007/41326)

**BR-III**  
(See Rule 44 Act of 1963)

From

**Vaibhav Vashisht**  
Architect (CA/2007/41326)  
Plot No. 83, Sector 32, Gurugram

To

**M/s Achaleshwer Infrastructure Pvt. Ltd.**  
**Plot no. 83, Sector 32, Gurugram.**

Memo No. **V.V/A/206**

Dated. **16/10/18**

Sub:-

Approval of residential building plans in respect of Plot No. **M-38, M-42, M-44, M-46 & M-48**, falling in residential plotted colony (Lic No. 64 of 2010 dated 21.08.2010) named as "Brahma City Pvt. Ltd. & others" at sector-60, 62, 63 & 65, Gurugram.

Ref:-

Your application No. \_\_\_\_\_ Dated \_\_\_\_\_.

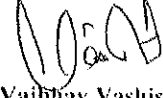
Building plan Committee constituted vide DTCP Endst. No. 4593 Dated 15.4.1999 has approved your building plan subject to the conditions as under:-

- 1 That you will abide by the Punjab Scheduled Roads and Controlled Area restriction of Unregulated Development Act, 1963/Rules 1965 as well as HBC-2017.
- 2 The building plans shall be treated as cancelled if plot falls in unlicensed area.
- 3 The subject cited approval is valid for two years.
- 4 These plots belong to the NPPL category.
- 5 This plan is being approved without prejudice to the validity of the license of the colony.
- 6 You will get the setbacks of your building(s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
- 7 That you will get occupation certificate from competent authority before occupying the above said building.
- 8 That you will provide rain water harvesting system as proposed in the building plan.
- 9 That responsibility of the structural design & structural stability against the earthquake of the building block shall be solely of the Architect / Owner.
- 10 That the basement setback shall be minimum 8 feet from common wall in the event the adjoining plot is build up without basement.
- 11 That you will not use the proposed building other than residential purposes and shall not raise any further construction without getting the approval of competent authority otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
- 12 That you will not apply for occupation certificate till all the development works in the licensed colony are completed and functional.
- 13 Solar assisted water heating system shall have to be provided as per prevailing Government Policies / Norms.
- 14 That you shall abide by the conditions as declared in the affidavit. If you breach any of the conditions laid down in the said affidavit the approval of building plan deemed to be cancelled.
- 15 That you shall also comply with the conditions as approved/conveyed from time to time by the Govt.
- 16 That you shall adhere to the guidelines issued by Director General, Town & Country Planning on 14.05.2015 (Circulated by this office on 27.05.2015) in reference to orders dated 10.04.2015 of Hon'ble National Green Tribunal in O.A. No. 21 of 2014 i.e. Vardhman Kaushik Vs. Union of India & Ors.
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- 18 That the colonizer shall not get any profit on the sale of plot other than the rates fixed by C.A, HSVP, Panchkula for the plot i.e. rate of sale of plot shall not exceed the rate fixed by HSVP, failing which, the said approval shall be considered null & void.
- 19 You shall submit the BR-III alongwith copy of plans duly signed by you related to all these plots in 15 days of this technical approval.
- 20 The rates of NPPL plots shall remain as per the approval of Competent Authority and applicant shall abide by the undertaking dated 14.09.2018 (for services) and undertaking dated 28.09.2018 for allotment rates of NPPL.
- 21 That you shall construct the plots in view of undertaking dated 28.09.2018 stating that you shall consider the plots value as per the rate prescribed /approved by the HSVP/DTCP even if floor-wise construction is done.
- 22 You shall convey the owner that he shall adhere to the guidelines issued by Director General, Town &

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This sanction will be void abinitio if any of the conditions mentioned above are not complied with. One copy of sanction plan is enclosed herewith for your further necessary action.

Encl: As above.



**Vaibhav Vashisht**

Vaibhav Vashisht, Architect (CA/2007/41326)

Council of Architecture

Dated.

Registration No. CA/2007/41326

Endst. No.

A copy of the above is forwarded to the following for information and further necessary action.

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2. The Distt. Town Planner (Enf.) Gurugram.
3. Brahma City Pvt. Ltd. & others
4. The Regional Officer (RO), Haryana State, Pollution Control Board, Gurugram.



**Vaibhav Vashisht**

Architect (CA/2007/41326)



**BR-III**  
(See Rule 44 Act of 1963)

From

**Vaibhav Vashisht**  
Architect (CA/2007/41326)  
Plot No. 83, Sector 32, Gurugram

To

**M/s Achaleshwer Infrastructure Pvt. Ltd.**  
**Plot no. 83, Sector 32, Gurugram.**

Memo No. **V.V/A/211**

Dated. **16/10/18**

Sub:-

Approval of residential building plans in respect of Plot No. **M-58**, falling in residential plotted colony (Lic No. 64 of 2010 dated 21.08.2010) named as "Brahma City Pvt. Ltd. & others" at sector-60, 62, 63 & 65, Gurugram.

Ref:-

Your application No. \_\_\_\_\_ Dated \_\_\_\_\_.

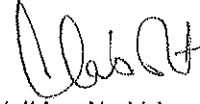
Building plan Committee constituted vide DTCP Endst. No. 4593 Dated 15.4.1999 has approved your building plan subject to the conditions as under:-

- 1 That you will abide by the Punjab Scheduled Roads and Controlled Area restriction of Unregulated Development Act, 1963/Rules 1965 as well as HBC-2017.
- 2 The building plans shall be treated as cancelled if plot falls in unlicensed area.
- 3 The subject cited approval is valid for two years.
- 4 These plots belong to the NPPL category.
- 5 This plan is being approved without prejudice to the validity of the license of the colony.
- 6 You will get the setbacks of your building(s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
- 7 That you will get occupation certificate from competent authority before occupying the above said building.
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- 9 That responsibility of the structural design & structural stability against the earthquake of the building block shall be solely of the Architect / Owner.
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- 11 That you will not use the proposed building other than residential purposes and shall not raise any further construction without getting the approval of competent authority otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
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- 13 Solar assisted water heating system shall have to be provided as per prevailing Government Policies / Norms.
- 14 That you shall abide by the conditions as declared in the affidavit. If you breach any of the conditions laid down in the said affidavit the approval of building plan deemed to be cancelled.
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- 19 You shall submit the BR-III alongwith copy of plans duly signed by you related to all these plots in 15 days of this technical approval.
- 20 The rates of NPPL plots shall remain as per the approval of Competent Authority and applicant shall abide by the undertaking dated 14.09.2018 (for services) and undertaking dated 28.09.2018 for allotment rates of NPPL.
- 21 That you shall construct the plots in view of undertaking dated 28.09.2018 stating that you shall consider the plots value as per the rate prescribed approved by the HSVP/DTCP even if floor-wise construction is done.
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**Vaibhav Vashisht**  
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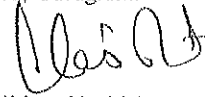
Endst. No.

Dated.

Vaibhav Vashisht, Architect  
Council of Architecture  
Registration. No. CA/2007/41326

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**Vaibhav Vashisht**  
Architect (CA/2007/41326)

**BR-III**  
(See Rule 44 Act of 1963)

From

**Vaibhav Vashisht**  
Architect (CA/2007/41326)  
Plot No. 83, Sector 32, Gurugram

To

**M/s Achaleshwer Infrastructure Pvt. Ltd.**  
Plot no. 83, Sector 32, Gurugram.

Memo No. V.V/A/191

Dated. 16/10/18

Sub:-

Approval of residential building plans in respect of Plot No. **M-37, M-43, M-45 & M-47**, falling in residential plotted colony (Lic No. 64 of 2010 dated 21.08.2010) named as "Brahma City Pvt. Ltd. & others" at sector-60, 62, 63 & 65, Gurugram.

Ref:-

Your application No. \_\_\_\_\_ Dated \_\_\_\_\_.

Building plan Committee constituted vide DTCP Endst. No. 4593 Dated 15.4.1999 has approved your building plan subject to the conditions as under:-

- 1 That you will abide by the Punjab Scheduled Roads and Controlled Area restriction of Unregulated Development Act, 1963/Rules 1965 as well as HBC-2017.
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**Vaibhav Vashisht**  
Architect (CA/2007/41326)

Endst. No.

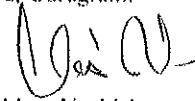
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Vaibhav Vashisht, Architect

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3. Brahma City Pvt. Ltd. & others
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Consultant  
Architecture  
Registration. No. CA/2007/41326



**Vaibhav Vashisht**  
Architect (CA/2007/41326)