

		SITE FAR AREA CHART				
5	1	X	3.985	X	10.980	= 43.76
6	1	X	3.500	X	8.500	= 29.75
SITE FAR AREA						73.51
		SITE NON FAR AREA CHART				
1	1	X	2.560	X	6.765	= 17.32
2	1	X	6.765	X	2.440	0.5 = 18.25
3	1	X	10.450	X	1.650	= 17.24
4	1	X	2.100	X	8.125	= 17.06
SITE NON FAR AREA						59.88
TOTAL		73.51 +		59.88 =		133.38

[illegible]

ROOM AREA DIAGRAM

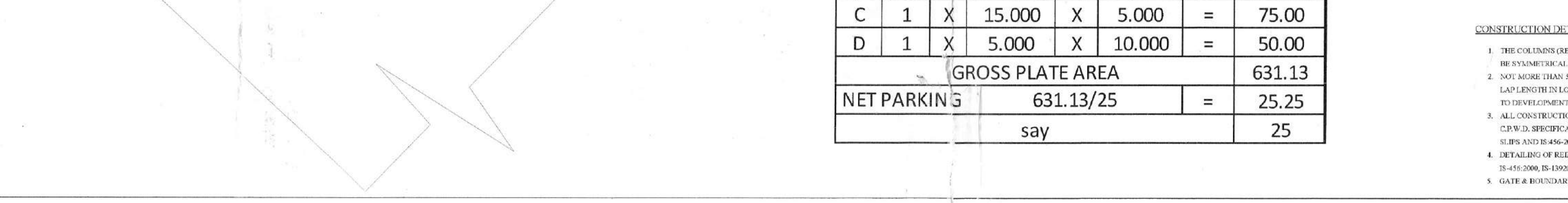
92.20

10

OPEN

CLUB-5 STORAGE 10'
(10'6" x 50'0" AM)

ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISION OF NBC.
FIRE-FIGHTING / SAFETY PROVISIONS WILL BE AS PER RELEVANT NBC PROVISIONS.
BASEMENT AREA SHALL HAVE MECHANICALLY VENTILATED AS PER RELEVANT CODE.
ALL TOILETS ARE VENTILATED AS PER MARYANA BUILDING CODE 2017.
BUILDING HAS AUTOMATIC SPRINKLER SYSTEM WHEREVER REQUIRED BY NBC.
BUILDING WILL BE DESIGNED (STRUCTURES) AS PER RELEVANT I.S. CODES FOR
EARTHQUAKE RESISTANCE.
SOLAR PANELS OF REQUIRED CAPACITY SHALL BE PROVIDED ON ROOF TOP AS PER



GROUND COVERAGE	NO. OF FLOORS	TERRACE HEIGHT OF BUILDING	REFUGE
5016.12		10.100	
204			
-	G+34	123.95M	2 NOS. (LVL.+61.850 M. & 92
-	G+34	123.95M	2 NOS. (LVL.+61.850 M. & 92
369.85	S+4	14.95M	NIL
106.04	G	4.650 M.	NIL
24.00	G	3.00 M.	NIL

PARKING CALCULATION	
DESCRIPTION	TOTAL DUS
Total Main Dwelling Units	270
PROVIDED CAR PARKING	
DESCRIPTION	PARKING AREA
BASEMENT-1	8011.24
BASEMENT-2	8196.07
BASEMENT-3	9545.540
OPEN SITE CAR PARKING BAYS PROVIDED	651.13/25
EWS CAR PARKING BAYS PROVIDED	326.82/28
TOTAL CAR PARKING BAYS PROVIDED	

INVENTORY OF UNITS															
TYPE	4BHK-UTILITY TYPE01F	4BHK-UTILITY TYPE02F	4BHK-UTILITY TYPE01E	3BHK+SERVICE PERSON UNIT	4BHK-UTILITY TYPE02E	3BHK+STUDY+ UTILITY TYPE03	3BHK+STUDY+ UTILITY TYPE01F	3BHK+STUDY+ UTILITY TYPE02F	3BHK+STUDY+ UTILITY TYPE01E	3BHK+STUDY+ UTILITY TYPE02E	2BHK+STUDY+ UTILITY TYPE04	5BHK+PENT HOUSE	4BHK+PENT HOUSE	TOTAL	EWS
TOWER -1	2	2	62	28	34	4	-	-	-	-	-	2	-	134	-
TOWER -2	-	-	-	-	-	-	2	2	62	62	4	-	2	134	-
EWS	-	-	-	-	-	-	-	-	-	-	-	-	-	48	-
TOTAL	2	2	62	28	34	4	2	2	62	62	4	-	-	288	48
TOTAL INVENTORY (INCLUDING EWS)															316

3. **PLANNING AND PRELIMINARY DESIGN:** The architect shall be responsible for the preparation of the preliminary design and the preparation of the preliminary construction documents. The architect shall be responsible for the preparation of the preliminary construction documents, including the preliminary site plan, the preliminary floor plan, the preliminary section, and the preliminary elevation. The architect shall be responsible for the preparation of the preliminary construction documents, including the preliminary site plan, the preliminary floor plan, the preliminary section, and the preliminary elevation.

4. **DESIGN DEVELOPMENT:** The architect shall be responsible for the preparation of the design development documents, including the design development site plan, the design development floor plan, the design development section, and the design development elevation. The architect shall be responsible for the preparation of the design development documents, including the design development site plan, the design development floor plan, the design development section, and the design development elevation.

5. **CONSTRUCTION DOCUMENTS:** The architect shall be responsible for the preparation of the construction documents, including the construction documents site plan, the construction documents floor plan, the construction documents section, and the construction documents elevation. The architect shall be responsible for the preparation of the construction documents, including the construction documents site plan, the construction documents floor plan, the construction documents section, and the construction documents elevation.

6. **CONSTRUCTION ADMINISTRATION:** The architect shall be responsible for the preparation of the construction administration documents, including the construction administration site plan, the construction administration floor plan, the construction administration section, and the construction administration elevation. The architect shall be responsible for the preparation of the construction administration documents, including the construction administration site plan, the construction administration floor plan, the construction administration section, and the construction administration elevation.

7. **POST-CONSTRUCTION:** The architect shall be responsible for the preparation of the post-construction documents, including the post-construction site plan, the post-construction floor plan, the post-construction section, and the post-construction elevation. The architect shall be responsible for the preparation of the post-construction documents, including the post-construction site plan, the post-construction floor plan, the post-construction section, and the post-construction elevation.

FOR CHS Promoters & Developers Pvt. Ltd.

N
Superintending Engineer (HQ)
for Chief Engineer

VT.LTD,
OMOTERS AND

For HCBS Promoters & Developers Pvt. Ltd.