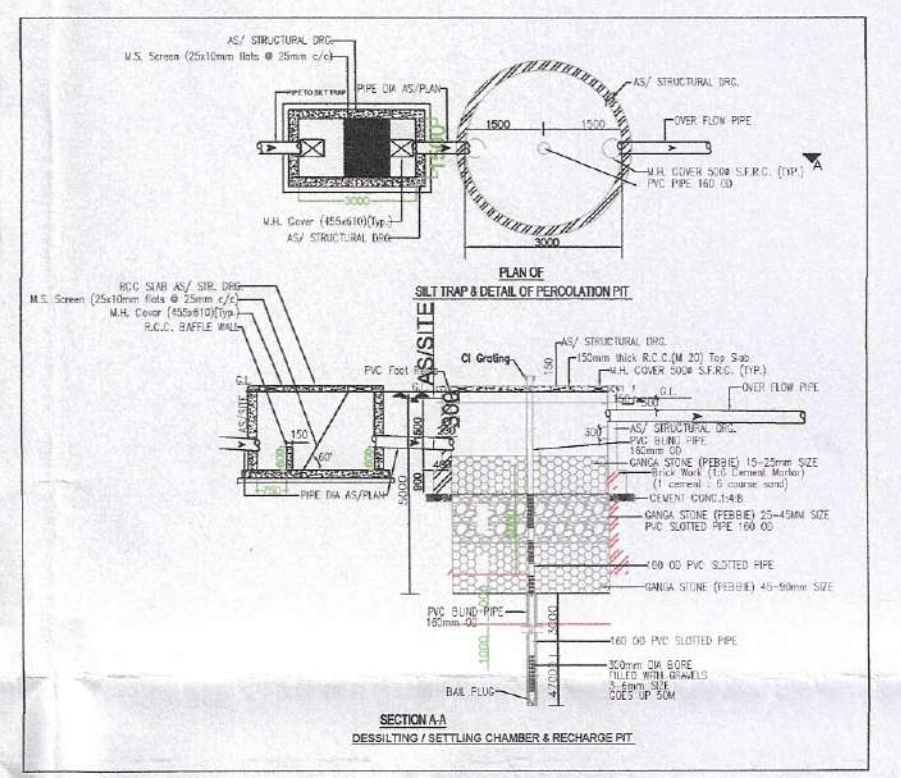


SECTOR-89

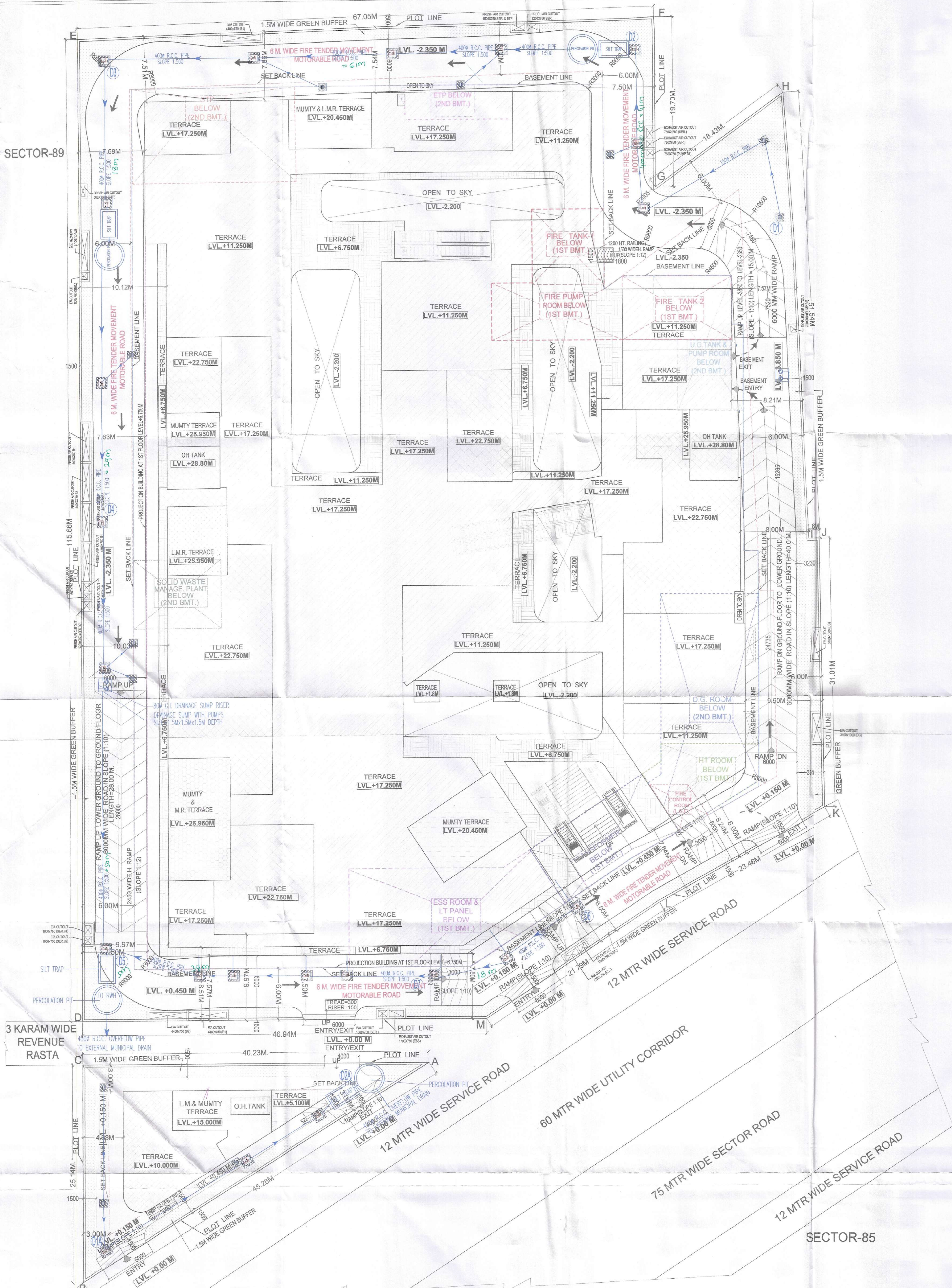
S.T.P. (H)
Member Secretary
B.P.A.C.
S.T.P. (G)
C.T.P. (H)
Chairman
B.P.A.C.
AD
PA
ATP
Ram Avtar Bhatti
J.D.(H)

SANCTIONED
TO BE READ WITH THIS OFFICE
MEMO NO.:
DATED:

LEGEND FOR PLUMBING
DRAINAGE MANHOLE
CATCH BASIN
DRAINAGE LINE



Checked and found ok for
Signature of
In forwarding to the
18/05/22
Superintending Engineer (HQ)
for Chief Engineer-I
HSVP, Panikula



SECTOR-85

PARKING DETAIL			
ECS REQUIRED:-			
PARKING REQUIREMENT FOR COMMERCIAL AREA 1 EQ. CAR SPACE PER 50 SQM. OF FAR AREA.			
TOTAL FAR AREA =	17061.773 SQM.		
PARKING REQUIRED =	$\frac{17061.773 \times 1}{50}$	=	341.235 ECS
SAY ECS		=	341 ECS
ECS AVAILABLE :-			
1ST BASEMENT PARKING PROVIDED = (X)			131 ECS
2ND BASEMENT PARKING PROVIDED = (Y)			221 ECS
NET PARKING AVAILABLE (X+Y)		=	352 ECS
PARKING BAYS PROVIDED :-			
1ST BASEMENT :-			
SINGLE CAR BAYS	=	106	BAYS
HANDICAPPED BAYS	=	2	BAYS
TWO WHEELER BAYS	=	72	BAYS
TOTAL BAYS 1ST BASEMENT	=	180	BAYS
2ND BASEMENT :-			
SINGLE CAR BAYS	=	32	BAYS
DOUBLE STACK BAYS (83X2)	=	166	BAYS
TWO WHEELER BAYS	=	72	BAYS
TOTAL BAYS 2ND BASEMENT	=	270	BAYS

AREA CALCULATION			
TOTAL PLOT AREA (2.36875 ACRES)			9585.976
PERMISSIBLE GROUND COVERAGE @ 60%			5751.586
PERMISSIBLE F.A.R @ 175% (X)			16775.458
ADDITIONAL 3% FAR OF PLOT AREA FOR INSTALLING SOLID WASTE MANAGEMENT PLANT (Y)			287.579
NET PERMISSIBLE F.A.R @ 178% = (X+Y)			17063.037
PROPOSED GROUND COVERAGE @ 52.895 %			5070.535
PROPOSED F.A.R. @ 177.986 %			17061.773
S.NO.	FLOORS	FAR AREA (A)	NON FAR AREA (B)
1	2ND. BASEMENT FLOOR	6489.574	6489.574
2	1ST. BASEMENT FLOOR	6601.909	6601.909
3	LOWER GROUND FLOOR	4069.367	5272.637
4	UPPER GROUND FLOOR	5070.535	5478.692
5	MEZZANINE GROUND FLOOR	395.463	428.038
6	FIRST FLOOR	3881.531	4397.873
7	SECOND FLOOR	2767.327	3150.441
9	THIRD FLOOR	877.550	1197.762
10	MUMITY, M. ROOM & O.H. WATER TANK	461.131	461.131
	TOTAL AREA	17061.773	33478.058

NOTES:-
THIS DEVELOPMENT HAS BEEN CONCEIVED, DESIGNED AND DRAFTED ON THE BASIS OF THE FOLLOWING:
1. ALL USEABLE OFFICE SPACES (RETAIL SPACES LIKE SHOP AREAS, ENTERTAINMENT) WILL BE AIR-CONDITIONED. THEREFORE NO PROVISION HAS BEEN MADE FOR NATURAL VENTILATION OF SPACES.
2. ALL TOILETS/KITCHENS WILL BE MECHANICALLY VENTILATED CONDITIONED AIR FROM THE FLOOR WILL BE SUCKED IN TO THE TOILETS/KITCHENS AND VENTED OUT THROUGH A VENT SHAFT.
3. ALL SPACES (OFFICE SPACES, RETAIL SPACES, SERVICE AREAS, PARKING BASEMENT, ETC) WILL BE ARTIFICIALLY LIT. ANY NATURAL LIGHT WHICH IS AVAILABLE IN THE OFFICE SPACES IS ONLY INCIDENTAL AND NOT ESSENTIAL TO THE FUNCTIONING OF THE BUILDING.
4. 100% STANDBY GENERATING CAPACITY WILL BE PROVIDED FOR THE ENTIRE ELECTRICAL REQUIREMENT OF THE TOTAL SCHEME. THIS THEREFORE INCLUDE STANDBY GENERATION FOR ALL COMMON SERVICES, FIRE SERVICES, LIFTS ETC. AND ALSO THE ENTIRE ELECTRICAL LOAD FOR VENTILATION, AIR-CONDITIONING, LIGHTS AND ALL OFFICE EQUIPMENT.
5. BASEMENT WILL BE VENTILATED.
6. THIS BUILDING WILL BE SPRINKLED AS PER NBC NORMS.
7. HANDICAP RAMP WITH RAILING

Checked subject to Compliance in form No. 6/378-D/22/4/2022 and notes Attached
For Receptive Buildwell LLP
Authorized Signatory
For Receptive Buildwell LLP
Authorized Signatory

For Receptive Buildwell LLP
Authorized Signatory
GIAN P. MATHUR
B. Arch., I.T.A.
CA No. 80/5769
OWNER'S SIGN
ARCHITECT'S SIGN

PROJECT:- PROPOSED BUILDING PLAN OF COMMERCIAL COLONY AREA MEASURING 2.36875 ACRES (LICENCE NO. 48 DATED 18-04-2022) IN SECTOR-89, GURUGRAM BEING DEVELOPED BY RECEPTIVE BUILDWELL LLP.	
TITLE: SITE PLAN & AREA CALCULATION	DRG NO.: SB-01
DATE: 02/05/2022	SCALE: 1:500
DESIGNER: R.S.	DATE: 02/05/2022
CHECKED: A.S.	

GIAN P. MATHUR
B. Arch., I.T.A.
CA No. 80/5769

Excise Engineer
HSVP Div. No. V
GURUGRAM

For service plan estimate only
Superintending Engineer
HSVP Circle-4, Gurgaon
Director
Town & Country Planning
Haryana, Chandigarh

