

Government of National Capital Territory of Delhi

Certificate No.	: IN-DL03056926761089W
Certificate Issued Date	: 16-Dec-2024 12:44 PM
Account Reference	: IMPACC (IV)/ dl897403/ DELHI/ DL-DLH
Unique Doc. Reference	: SUBIN-DL DL89740352657712177014W
Purchased by	: SPJ PROPERTIES PVT LTD
Description of Document	: Article 4 Affidavit
Property Description	: Not Applicable
Consideration Price (Rs.)	: 0 (Zero)
First Party	: SPJ PROPERTIES PVT LTD
Second Party	: Not Applicable
Stamp Duty Paid By	: SPJ PROPERTIES PVT LTD
Stamp Duty Amount(Rs.)	: 50 (Fifty only)



Please write or type below this line



For SPJ PROPERTIES PVT. LTD.

Authorised Sign./Director

Statutory Alert:

1. The authenticity of this Stamp certificate should be verified at 'www.shcilestamp.com' or using e-Stamp Mobile App of Stock Holding. Any discrepancy in the details on this Certificate and as available on the website / Mobile App renders it invalid.
2. The onus of checking the legitimacy is on the users of the certificate.
3. In case of any discrepancy please inform the Competent Authority.

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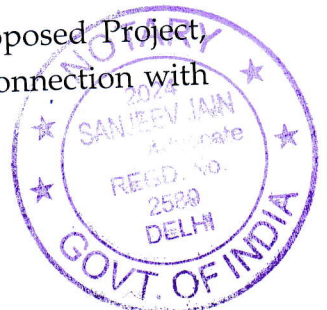
AFFIDAVIT

I, **Hitesh Garg** S/o Shri Ashok Kumar R/o B-601, Welcome Apartment, VTC Rohini Sector-9, Delhi-110085, Authorised signatory of **SPJ PROPERTIES PRIVATE LIMITED** having its registered office at UGF-6 Antriksh Bhawan 22, K.G Marg, Connaught Place, New Delhi-110001, Promoter for setting up a proposed Commercial Colony in the name of "**VEDATAM**" on land measuring 4.15625 acres located at Revenue Estate of Village Gurugram, Sector-14, Gurugram, Haryana ("Said Project") vide License No 101 of 2024 Dated 29 July 2024 (after migration from license no. 125 of 2023) duly authorised to vide its Board Resolution dated 24.08.2024, do hereby undertake and state as under:-

1. That there is no requirement of obtaining a Natural Conservation Zone NOC as the District Town Planner, Town and Country Planning Department verify the zone at the time of issuance of licence for the Project. If the subject land falls under NCZ, licence would not have been granted by the department.
2. That there is no High Tension wires/power line wires are going over or around the said project and thus there arise no need to obtain any approval from the concerned department.
3. That there is no tree in Said Project land, hence no requirement of obtaining a Tree Cutting NOC from Forest Department.
4. That the said project falls outside the preview of the forest area demarcated by the Government and thus there is no need arises to obtain any approval from the forest department for carrying the development work at the said project and no need to taken wild life clearance as well.
5. That the main road is already connected with the Proposed Project, therefore we don't need to take permission for Road Connection with the department.

For SPJ PROPERTIES PVT. LTD.

Authorised Sign./Director



6. That we will transfer 10% of total receipts in Project RERA account in the state treasury account until it is fully paid in respect of EDC.

This Affidavit is prepared for submission with HARERA for RERA registration of the project.

For SPJ PROPERTIES PVT. LTD.


Authorised Sign./Director

Deponent

Verification

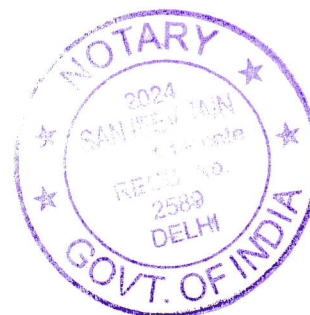
The content of the above affidavit are true and correct and nothing material has been concealed by me there from.

For SPJ PROPERTIES PVT. LTD.


Authorised Sign./Director

Deponent

Verified at New Delhi on 16th Day of December 2024.



ATTESTED


Notary Public Delhi

16 DEC 2024