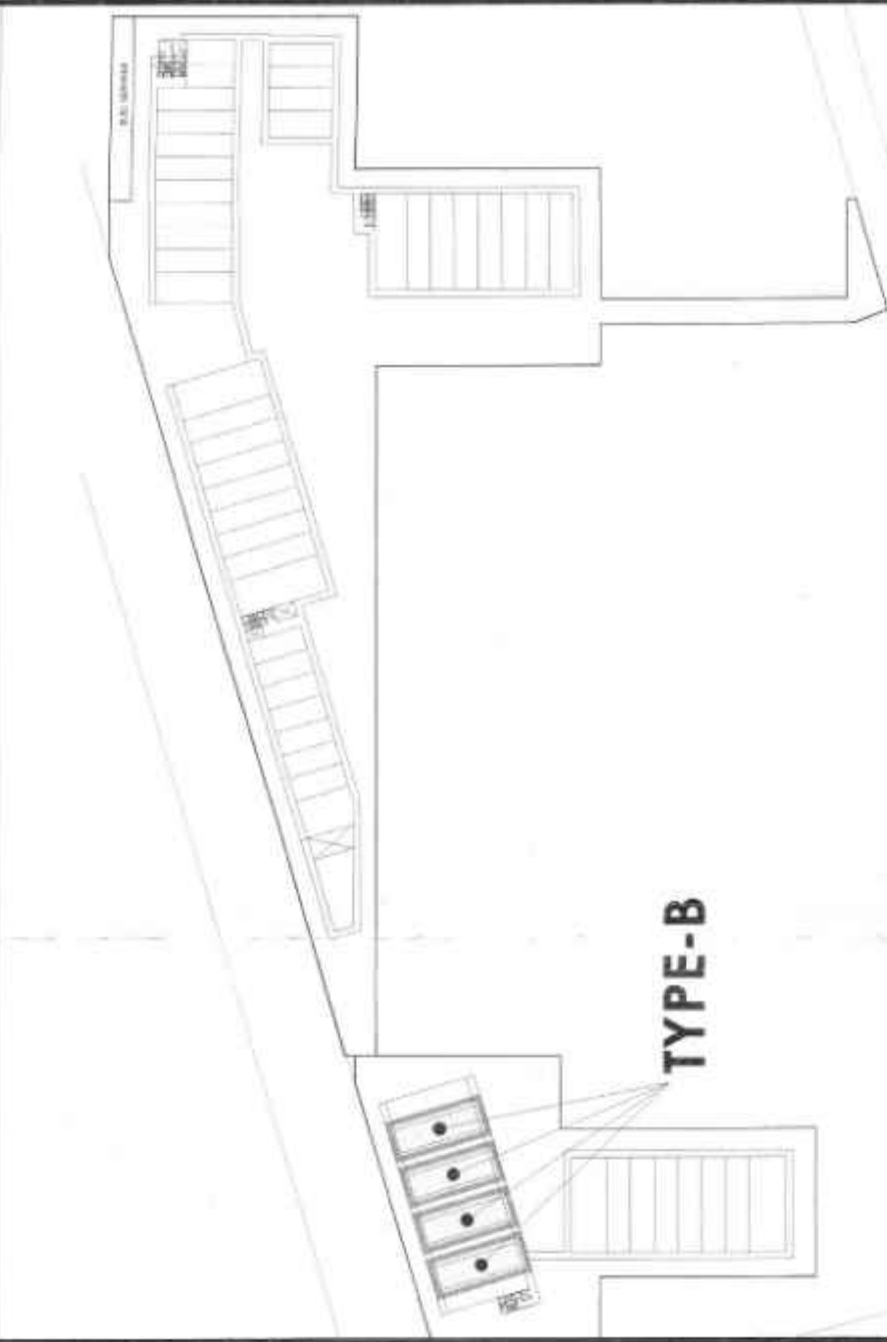


OWNER MIS REACH PROMOTERS PVT. LTD. IN COLABORATION WITH REALBIZ REALTY LLP
Standard Colony over an area measuring 6.25 acres (after migration of area measuring 4.1125 acres from Licence No.150 of 2022 dated 28.09.2022, area measuring 0.1688 acres from Licence No.17 of 2010 & Fresh area measuring 1.9688 acres) in the revenue estate of village Badshahpur in commercial belt of Sector 68, Gurugram. Being Developed by Reach Promoters Pvt. Ltd.



NOTES:

- ALL BLOCKWORK IS 200/100MM & BRICKWORK IS 230/115 MM THICK UNLESS MENTIONED OTHERWISE. BE READ IN CONJUNCTION WITH RESPECTIVE STRUCTURE & MEP DRAWINGS.
- STAIRCASE AND LIFT MASONRY TO BE AS PER RESPECTIVE DETAILS.
- ALL BLOCKWORK AND BRICKWORK SHALL BE IN CONJUNCTION WITH THE RESPECTIVE SHOP/DRIVE DRAWINGS.
- ALL THE OUTLET FOR THE SERVICES IN BLOCK WORK TO BE AS PER DRAWING.
- THE BLOCKWORK FOR THE MEP EQUIPMENT TO BE AS PER RESPECTIVE DETAILS.
- ALL BLOCKWORK IS 200/100MM & BRICKWORK IS 230/115 MM THICK UNLESS MENTIONED OTHERWISE.
- STAIRCASE AND LIFT MASONRY TO BE AS PER RESPECTIVE DETAILS.
- STRUCTURE & MEP DRAWINGS TO BE READ IN CONJUNCTION WITH RESPECTIVE STRUCTURE & MEP DRAWINGS.
- STAIRCASE AND LIFT MASONRY TO BE AS PER RESPECTIVE DETAILS.
- ELEVATION DETAILS TO BE AS PER THE APPROVED DETAILED ELEVATION.
- GLASS AND CLADDING SHALL BE AS PER THE APPROVED DETAILED ELEVATION.
- PAINTS ARE FULLY VENTILATEDLY VENTILATED.

MATERIAL LEGEND

- CONVENTIONAL GLASSING
- ROOF CLADDING-AS APPROVED
- CLADDING-GLASSING OR EQUIVALENT MATERIAL
- SS RAILING SYSTEM
- SS RAILING
- GLASS RAILING
- CLADDING-AS APPROVED
- PLASTER & PAINT
- METAL JAALI
- PERGOLA
- BULKHEAD-AS APPROVED
- CLADDING-AS APPROVED

S.NO.	TYPE	SIZE	S.L.	LL
1.	D1	1200X2400	00	2400
2.	D2	750X2400	00	2400
3.	FD	1200X2400	00	2400
4.	FH	900X2300	100	2400
5.	FH1	1600X2300	100	2400
6.	WT	2100X1300	1000	2400
7.	GL	2000/AS EL X2400	00	2400
8.	V	450X900	1500	2400

PRINCIPAL ARCHITECT:

ACPL

ISO 9001:2015

Architectural
Management
Planning

ACPL Design Ltd

ISO 9001:2015

Architectural
Management
Planning

Dr. P. S. DTP - DTP (Vidya) Dr. 28-1-15

(NARENDER KUMAR)
DTP (HQ)

(HTESH SHARMA)
STP (HQ)

(AMIT KATRI) AS
DTP (HR)

(RANJAN KUMAR)
ATP (HQ)

(DINESH KUMAR)
PA (HQ)

(RANJAN KUMAR)
ATP (HQ)

(DINESH KUMAR)
PA (HQ)

(RANJAN KUMAR)
ATP (HQ)

(DINESH KUMAR)
PA (HQ)

(RANJAN KUMAR)
ATP (HQ)

(DINESH KUMAR)
PA (HQ)

(RANJAN KUMAR)
ATP (HQ)

(DINESH KUMAR)
PA (HQ)

(RANJAN KUMAR)
ATP (HQ)

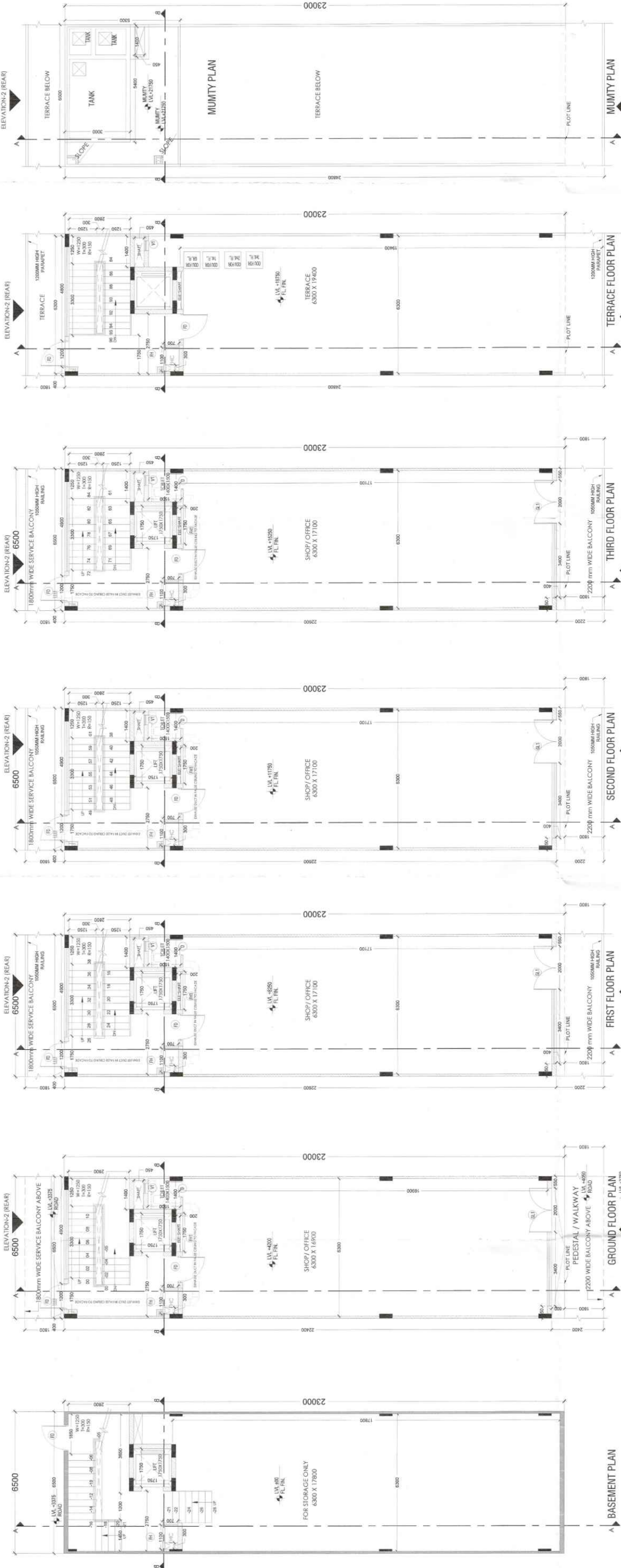
(DINESH KUMAR)
PA (HQ)

(RANJAN KUMAR)
ATP (HQ)

(DINESH KUMAR)
PA (HQ)

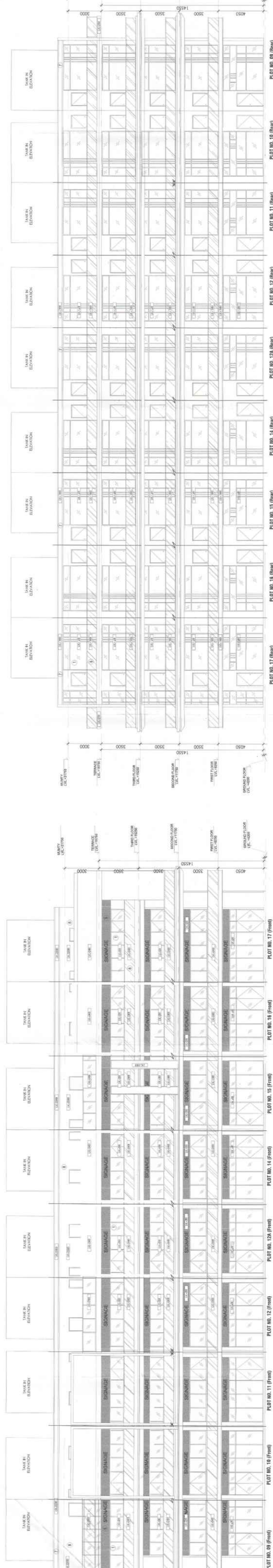
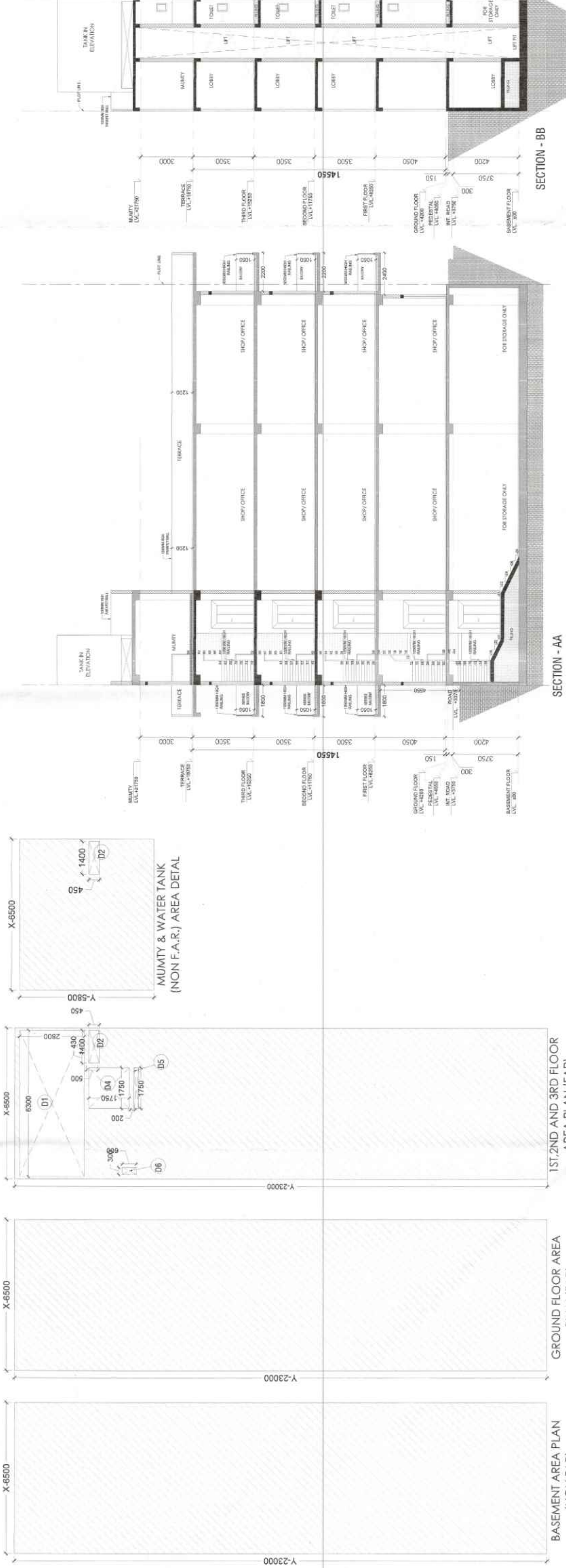
(RANJAN KUMAR)
ATP (HQ)

(DINESH KUMAR)
PA (HQ)



AREA DETAIL SUMMARY (sq.mt.)	
Plot Area	149,500
Perm. F.A.R. (4.285)	640.61
Proposed F.A.R.	532.414
Balanced F.A.R.	108.184
Ground Coverage	149,500

FLOORS	
Basement	149,500
Ground Floor	149,500
1st Floor	149,500
2nd Floor	149,500
3rd Floor	149,500
Terrace	149,500
Total	532,414



ARCHITECTURAL CONTROL SHEET

TYPES - B (6500X2300), Plot no-10,12,14&16

TOTAL NO. OF FLOORS: 4

FLOOR PLANS SECTION ELEVATION & AREA DETAIL

B-103

SCALE: 1 : 125