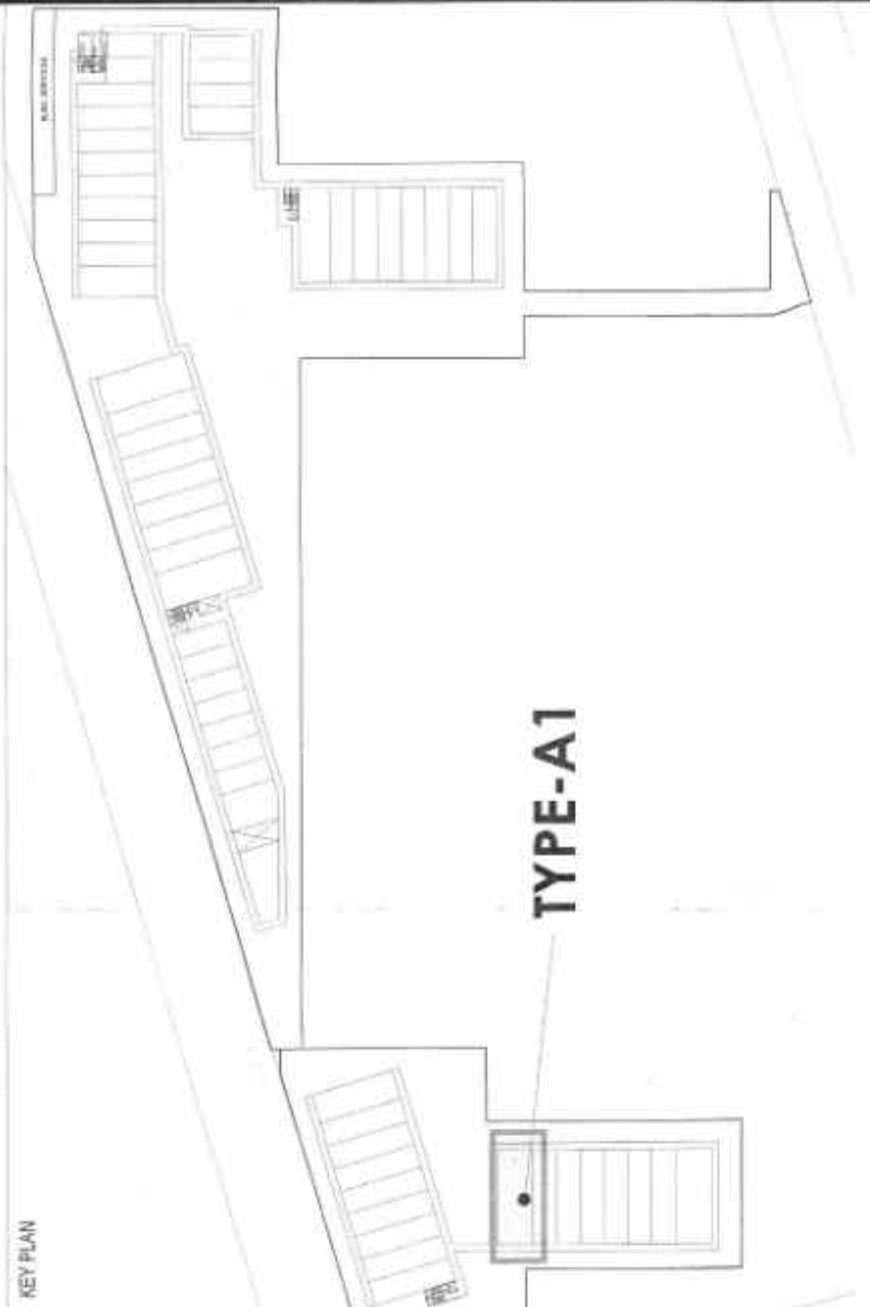


OWNER M/S REACH PROMOTERS PVT. LTD. IN COLABORATION WITH REALBIZ REALTY LLP

Standard Design of SCO's in Commercial Plotted Colony over an area measuring 6.25 acres (after migration of area measuring 4.1125 acres from Licence No.150 of 2022 dated 28.09.2022, area measuring 0.1688 acres from Licence No.17 of 2010 & Fresh area measuring 1.9688 acres) in the revenue estate of village Badshahpur in commercial belt of Sector 68, Gurugram. Being Developed by Reach Promoters Pvt. Ltd.



TYPE-A1

NOTES:

1. ALL DIMENSIONS IN 200/10MM & BRICKWORK IS 230/115 MM THICK UNLESS MENTIONED OTHERWISE.
2. THE DRAWINGS SHOULD BE READ IN CONJUNCTION WITH RESPECTIVE STRUCTURE & MEP DRAWINGS. TO BE AS PER RESPECTIVE DETAILS.
3. ALL WALL OPENINGS FOR THE SERVICES SHOULD BE IN CONJUNCTION WITH THE RESPECTIVE SHOP/OFFICE DRAWINGS.
4. ALL WALL OPENINGS FOR THE SERVICES SHOULD BE IN CONJUNCTION WITH THE RESPECTIVE SHOP/OFFICE DRAWINGS.
5. THE CUTOUT FOR THE SERVICES IN BLOCK WORK TO BE AS PER DRAWINGS.
6. FOOTING FOR THE MEQ EQUIPMENT TO BE AS RESPECTIVE VENDOR.
7. ALL BLOCKWORK IS 200/10MM & BRICKWORK IS 230/115 MM THICK UNLESS MENTIONED OTHERWISE.
8. THE DRAWING SHOULD BE READ IN CONJUNCTION WITH RESPECTIVE STRUCTURE & MEP DRAWINGS.
9. STAIRCASE AND LIFT MASONRY TO BE AS PER RESPECTIVE DETAILS.
10. ALL DIMENSIONS TO BE AS PER THE APPROVED DETAILED ELEVATION DESIGN ELEMENTS.
11. ALL DETAILS ARE TO BE MECHANICALLY VENTILATED.

MATERIAL LEGEND

1. CONVENTIONAL GLAZING
2. ACP CLADDING-AS APPROVED
3. DRY STONE CLADDING OR EQUIVALENT MATERIAL
4. SS RAILING SYSTEM
5. SIGNAGES
6. GLASS RAILING
7. CLADDING AS APPROVED
8. PLASTER & PAINT
9. PLASTER & PAINT AS APPROVED
10. CLADDING AS APPROVED
11. Paving

SCHEDULE OF OPENINGS

S.NO.	TYPE	SIZE	S.L	L.L
1.	D1	1200X2400	00	2400
2.	D2	7500X2400	00	2400
3.	FD	1200X2400	00	2400
4.	FH	900X2300	100	2400
5.	FH1	1600X2300	100	2400
6.	W1	2100X1300	1000	2400
7.	GL1	2000XAS EL X2400	00	2400
8.	V	4300X800	1500	2400

PRINCIPAL ARCHITECT

ACPL

ISO 9001:2015

Architecture
Engineering
Planning

ACPL Design Ltd

24, W-8, DTPH (V) DABO, 28-7-15

(NAME) (DTP) (HQ)
(NAME) (DTP) (HQ)
(NAME) (DTP) (HQ)
(NAME) (DTP) (HQ)

(NAME) (DTP) (HQ)
(NAME) (DTP) (HQ)
(NAME) (DTP) (HQ)

ARCHITECT'S SIGN.

ARCHITECT'S SIGN.

DRAWING NO.

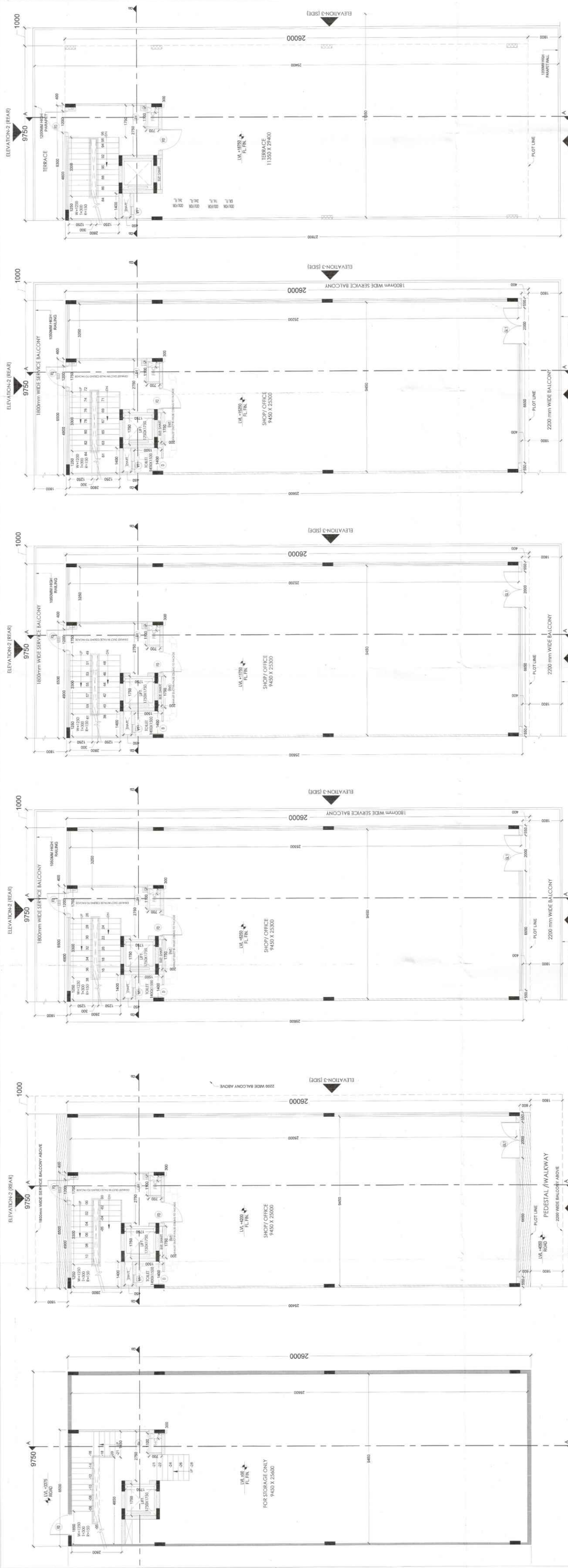
ARCHITECTURAL CONTROL SHEET

TOTAL NO OF PLOT-1

FLOOR PLANS, SECTION, ELEVATION & AREA DETAIL

A-004

SCALE : 1 : 150



GROUND FLOOR PLAN

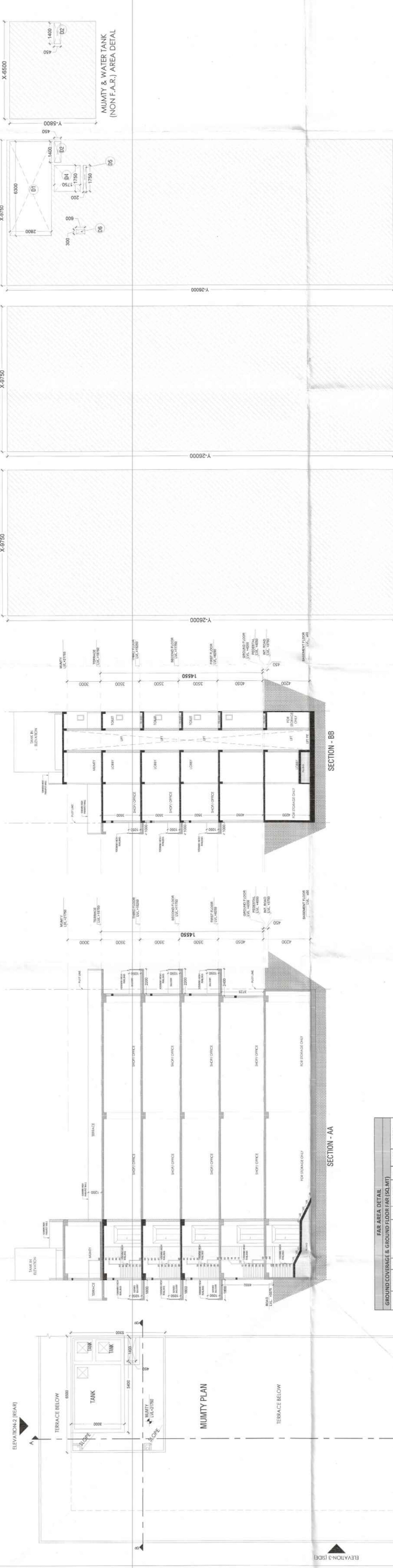
FIRST FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

TERRACE FLOOR PLAN

BASEMENT PLAN



AREA DETAIL SUMMARY (sqm)	
ITEM	AREA
1. FLOOR AREA	253.500
2. TERRACE AREA	253.500
3. BALCONY AREA	253.500
4. TOTAL AREA	760.500

FLOORS	
FLOORS	AREA
1. FLOOR	253.500
2. FLOOR	253.500
3. FLOOR	253.500
4. TOTAL	760.500

GROUND FLOOR AREA PLAN	
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