

**AREA CALCULATIONS - SCO NO A-01 & A-04 - CORNER PLOTS**

**AREA CALCULATION FOR TYPICAL SCO**

**BASEMENT AREA** = A  
 $= (7.00 \times 18.00)$   
 $= 126.00 \text{ Sq M}$

**GROUND FLOOR AREA** = A  
 $= (7.00 \times 18.00)$   
 $= 126.00 \text{ Sq M}$

**FIRST FLOOR** = A + [B + C + D + E + F]  
 $= (7.00 \times 18.00) + [(1.20 \times 6.1) + (5.10 \times 6.1) + (1.55 \times 1.60) + (0.60 \times 1.20) + (7.00 \times 1.10)]$   
 $= 126.00 + [0.72 + 14.28 + 2.48 + 0.72 + 7.70]$   
 $= 126.00 + 25.90$   
 $= 151.90 \text{ Sq M}$

**SECOND FLOOR** = A - [B + C + D + E]  
 $= (7.00 \times 18.00) - [(1.20 \times 6.1) + (5.10 \times 6.1) + (1.55 \times 1.60) + (0.60 \times 1.20)]$   
 $= 126.00 - [0.72 + 14.28 + 2.48 + 0.72]$   
 $= 126.00 - 18.20$   
 $= 107.80 \text{ Sq M}$

**THIRD FLOOR** = A - [B + C + D + E]  
 $= (7.00 \times 18.00) - [(1.20 \times 6.1) + (5.10 \times 6.1) + (1.55 \times 1.60) + (0.60 \times 1.20)]$   
 $= 126.00 - [0.72 + 14.28 + 2.48 + 0.72]$   
 $= 126.00 - 18.20$   
 $= 107.80 \text{ Sq M}$

**FOURTH FLOOR** = A - [B + C + D + E]  
 $= (7.00 \times 18.00) - [(1.20 \times 6.1) + (5.10 \times 6.1) + (1.55 \times 1.60) + (0.60 \times 1.20)]$   
 $= 126.00 - [0.72 + 14.28 + 2.48 + 0.72]$   
 $= 126.00 - 18.20$   
 $= 107.80 \text{ Sq M}$

**MUMTY AREA** =  $3.50 \times 7.25 + 1.90 \times 2.40$   
 $= 27.26 \text{ Sq M}$

**STAIRCASE AREA** =  $12.80 \times 5.10 \times 4$   
 $= 57.12 \text{ Sq M}$

**TOTAL FAR AREA PER PLOT = 549.50 Sq M**

SCO NO A-01 & A-04					
FLOOR	WIDTH (M)	DEPTH (M)	DEDUCTION (LIFT, STAIRCASE AND SHAFT) (SQ. M)	FAR AREA (SQ.M)	BUILT UP AREA (SQ.M)
BASEMENT	7	18	126	—	126
GROUND FLOOR	7	18	126	126	126
FIRST FLOOR	7	18	126	25.9	100.1
SECOND FLOOR	7	18	126	18.2	107.8
THIRD FLOOR	7	18	126	18.2	107.8
FOURTH FLOOR	7	18	126	18.2	107.8
MUMTY	—	—	—	27.26	27.26
STAIRCASE	—	—	—	57.12	57.12
DETAIL OF AREA PER PLOT FOR SCOs				<b>549.5</b>	<b>740.38</b>
TOTAL AREA DEDUCT FOR SCOs (2 HCs)				<b>1099</b>	<b>1520.76</b>

**APPROVAL OF BUILDING PLAN FOR SCO NO'S A-01 & A-04 EACH WITH A SIZE OF 7 M X 18 M, ARE LOCATED WITHIN THE COMMERCIAL SHOPPING SCO (2.11 ACRES) AT DLF VALLEY PANCHKULA, SECTOR 3, PINJORE KALKA URBAN COMPLEX BEING DEVELOPED BY DLF HOMES PANCHKULA PRIVATE LIMITED.**

- PLUMBING LEGENDS**
- 110 OD SOIL PIPE
  - 80 OD WASTE PIPE
  - COLD WATER SUPPLY ON TAKE PIPE 3/2" RWP
  - FLUSHING WATER SUPPLY ON TAKE PIPE 3/2" RWP
  - COLD WATER SUPPLY RISER PIPE TO TANK FILLING 3/2" RWP
  - FLUSHING WATER SUPPLY RISER PIPE TO TANK FILLING 3/2" RWP
  - OVERFLOW FROM FIRE TANK TO DOOM 3/2" RWP
  - 75 OD RWP FOR MUMTY ROOF
  - 110 OD RWP FOR TERRACE

**SCHEDULE OF JOINERY**

TYPE	SIZE	QTY	UNIT
GL1	1.20 X 2.13	00	2.13
GL2	1.00 X 2.13	00	2.13
D1	0.75 X 2.13	00	2.13
D2	0.65 X 2.13	00	2.13
D3	1.00 X 2.13	00	2.13
W1	5.10 X 2.13	00	2.13
W2	6.70 X 2.13	00	2.13
W3	2.42 X 1.37	07	2.13
W4	1.60 X 1.37	07	2.13
W5	3.00 X 1.37	07	2.13

**DLF HOMES PANCHKULA PVT. LTD.**

- GENERAL NOTES**
- ALL H.C.P. PASSES THROUGH SLEEVE PIPES
  - ALL SANITARY WORK SHALL BE DONE BY REG. PLUMBER
  - MINI SLOPE FOR H.C.P. = 1:40
  - CAP OF CISTERN 1547W/C
  - ALL SIZE OF ICF = 40X40
  - GT AND R.W. HOEL = 30X30
  - IC WITH 80X80
  - R.W. KHURRA = 60X60
  - ALL H.C.P. AND GIP NOT ALLOWED IN COMM. WALL

**ARCHITECT:**  
**SANDEEP AGRAWA ARCHITECT**  
 SCO-48, 2ND FLOOR, SHIV NAGAR  
 PEER MACHALLA, ZIRAKPUR  
 PHONE: 9711556563  
 OFFICE: 8901435557

Authorized Signatory: *Manoj*  
 Architect's Signature: *Sandeep Agrawa*

**SHEET TITLE**  
 SCO No A-01 & A-04  
 PLAN, AREA DIAGRAM, SECTION, ELEVATIONS

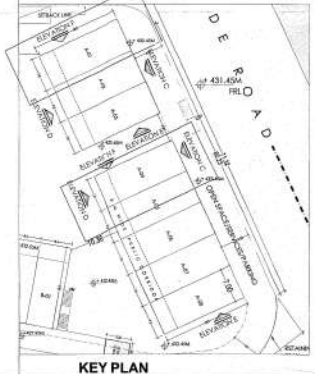
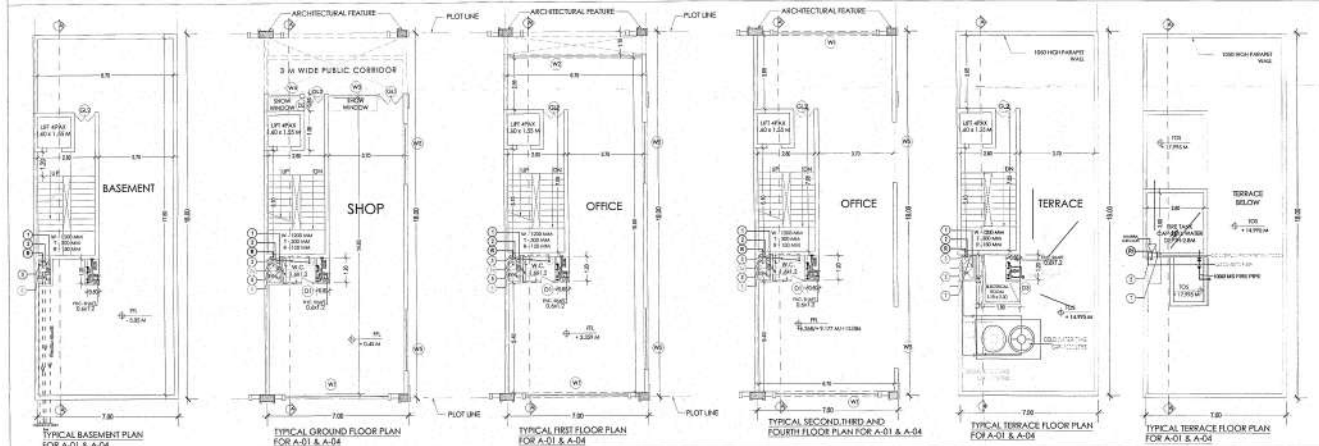
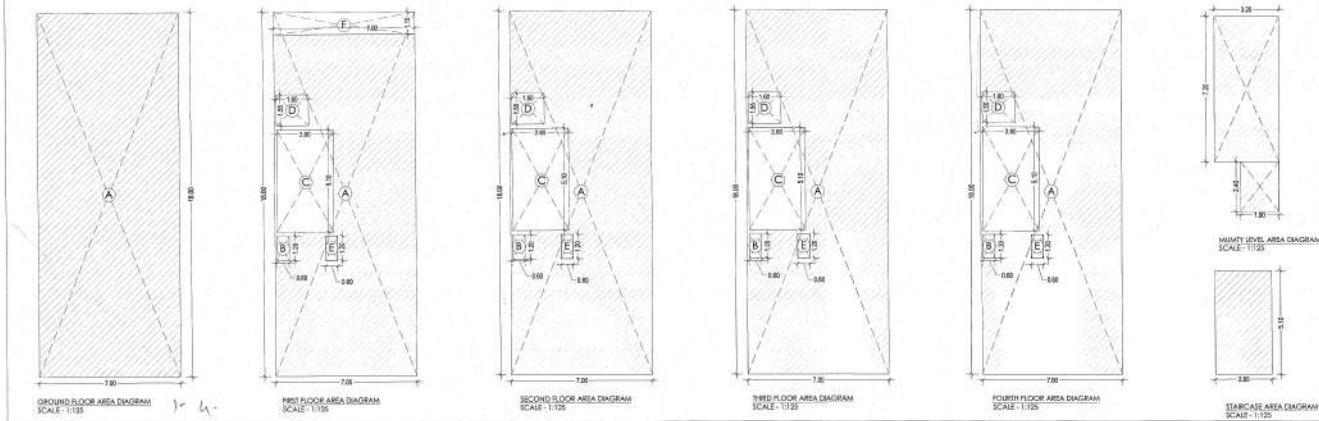
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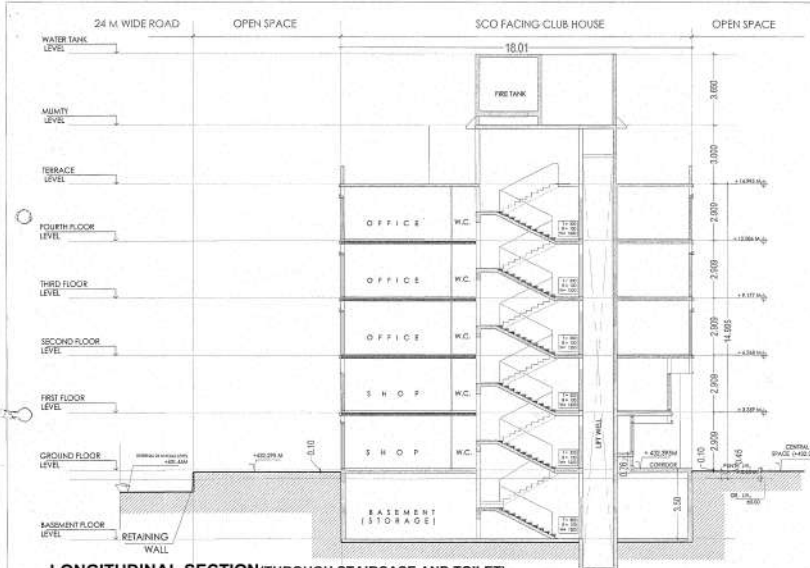
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 Drawn by: A.P.  
 Checked by: R.S.

DRAWING NUMBER: **AR 01**  
 Revision No: \_\_\_\_\_

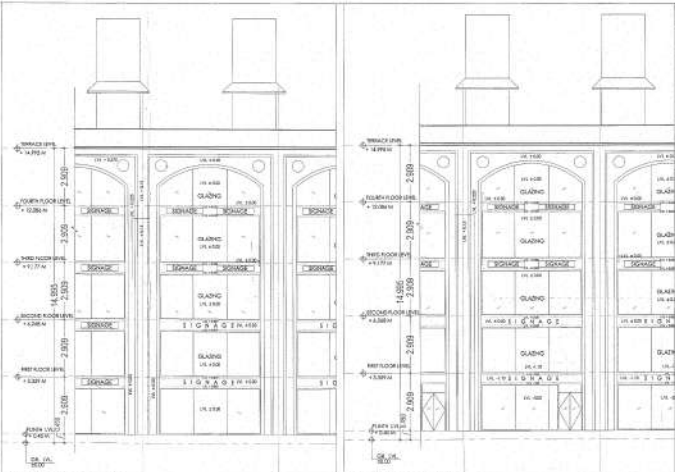
**AUTHORITY:**  
**DLF 53522**

Plans are O.K. from P.H. Services Point of View  
*Sandeep Agrawa*  
 Executive Engineer  
 District Town Planner, PANCHKULA  
 TO BE READ WITH MEMO NO. 3522 DATED 21/11/2023





LONGITUDINAL SECTION (THROUGH STAIRCASE AND TOILET)



ELEVATION AT C (TOWARDS CLUB)

ELEVATION AT D (TOWARDS CENTRAL OPEN SPACE)

**FLUISING LEGENDS**

- (1) 110 OD BSKL PIPE
- (2) 80 OD WASTE PIPE
- (3) COLD WATER SUPPLY ON TANK PIPE 3/2" dia
- (4) PLUMBING WATER SUPPLY ON TANK PIPE 3/2" dia
- (5) COLD WATER SUPPLY FREE PIPE TO TANK FILLING 3/2" dia
- (6) PLUMBING WATER SUPPLY FREE PIPE TO TANK FILLING 3/2" dia
- (7) OVERFLOW FROM FIRE TANK TO DOOM 3/2" dia
- (8) 75 OD RWP FOR MUMMY ROOF
- (9) 110 OD RWP FOR TERRACE

**SCHEDULE OF JOINERY**

TYPE	SIZE	CILL	LINTEL
GL1	1.20 X 2.13	00	2.13
GL2	1.00 X 2.13	00	2.13
D1	0.75 X 2.13	00	2.13
D2	0.65 X 2.13	00	2.13
D3	1.00 X 2.13	00	2.13
W1	5.10 X 2.13	00	2.13
W2	6.70 X 2.13	00	2.13
W3	2.42 X 1.37	0.76	2.13
W4	1.80 X 1.37	0.76	2.13

**AREA CALCULATIONS - SCO NO A-02, A-05, A-06 & A-07**

**AREA CALCULATION FOR TYPICAL SCO**

**BASMENT AREA** = A = (7.00x18.00) = 126.00 Sq M

**GROUND FLOOR AREA** = A = (7.00x18.00) = 126.00 Sq M

**FIRST FLOOR** = A - [B + C + D + E + F] = (7.00x18.00) - [(1.20x4.40) + (5.10x2.80) + (1.55x1.40) + (0.60x1.20) + (7.00x1.10)] = 126.00 - [5.28 + 14.28 + 2.17 + 0.72 + 7.70] = 126.00 - 30.15 = 95.85 Sq M

**SECOND FLOOR** = A - [B + C + D + E] = (7.00x18.00) - [(1.20x4.40) + (5.10x2.80) + (1.55x1.40) + (0.60x1.20)] = 126.00 - [5.28 + 14.28 + 2.17 + 0.72] = 126.00 - 22.45 = 103.55 Sq M

**THIRD FLOOR** = A - [B + C + D + E] = (7.00x18.00) - [(1.20x4.40) + (5.10x2.80) + (1.55x1.40) + (0.60x1.20)] = 126.00 - [5.28 + 14.28 + 2.17 + 0.72] = 126.00 - 22.45 = 103.55 Sq M

**FOURTH FLOOR** = A - [B + C + D + E] = (7.00x18.00) - [(1.20x4.40) + (5.10x2.80) + (1.55x1.40) + (0.60x1.20)] = 126.00 - [5.28 + 14.28 + 2.17 + 0.72] = 126.00 - 22.45 = 103.55 Sq M

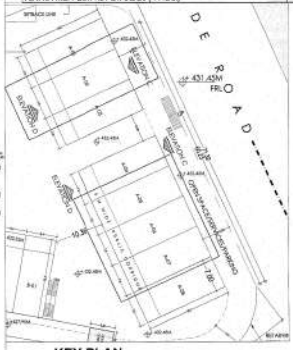
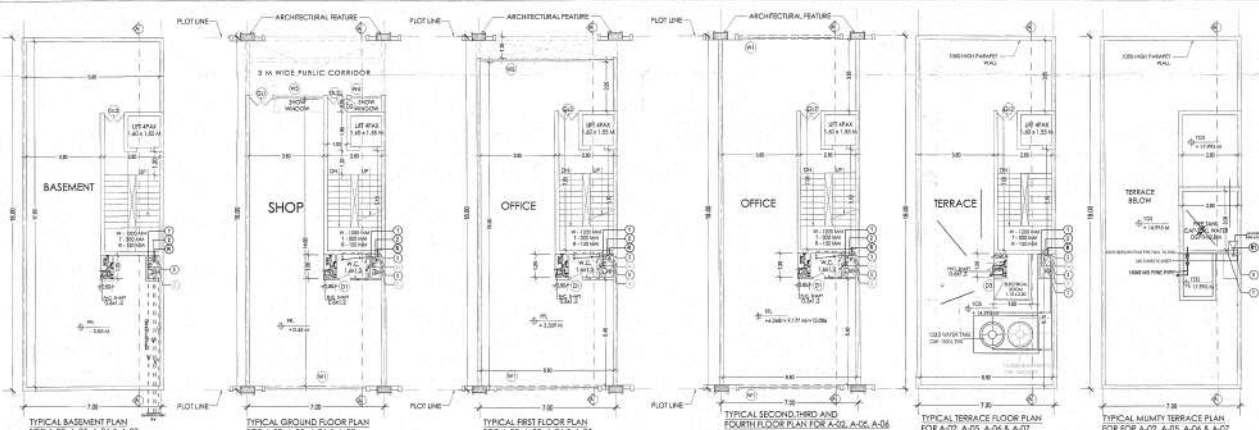
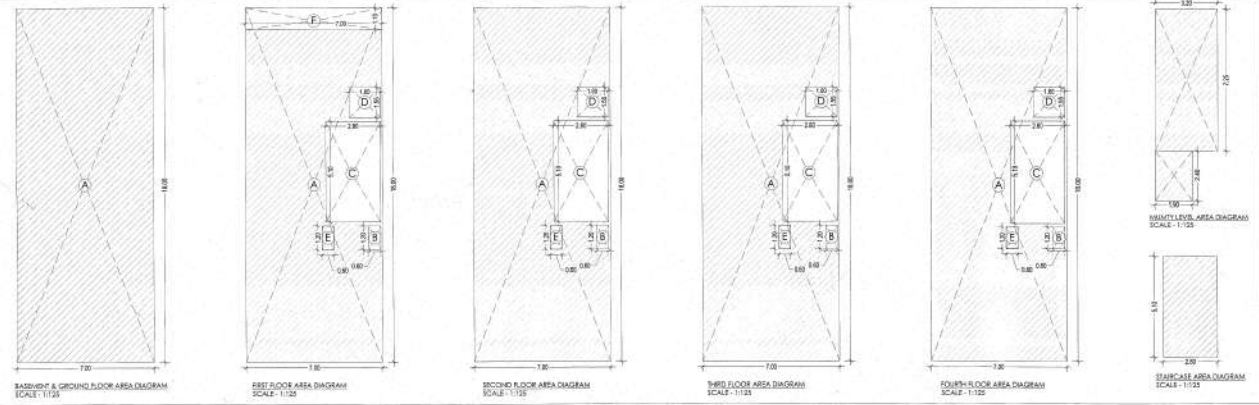
**MUMMY AREA** = 3.20 X 2.25 = 7.20 Sq M

**STAIRCASE AREA** = (2.80x1.50) X 4 = 16.80 Sq M

**TOTAL FAR AREA PER PLOT - 549.50 Sq M**

**SCO NO A-02, A-05, A-06, A-07**

FLOOR	WIDTH (M)	DEPTH (M)	FLOT AREA (SQ. M)	DEDUCTION (LIFT, STAIRCASE AND SHAFT) (SQ. M)	FAR AREA (SQ. M)	BUILT UP AREA (SQ. M)
BASMENT	7	18	126	---	126	126
GROUND FLOOR	7	18	126	---	126	126
FIRST FLOOR	7	18	126	25.9	100.1	100.1
SECOND FLOOR	7	18	126	18.2	107.8	107.8
THIRD FLOOR	7	18	126	18.2	107.8	107.8
FOURTH FLOOR	7	18	126	18.2	107.8	107.8
MUMMY	---	---	---	---	7.20	7.20
STAIRCASE	---	---	---	---	16.80	16.80
<b>DETAIL OF AREA PER PLOT FOR SCOs</b>	---	---	---	---	<b>549.50</b>	<b>740.38</b>
<b>TOTAL AREA DETAIL FOR SCOs (4 NOS.)</b>	---	---	---	---	<b>2198</b>	<b>3041.52</b>



APPROVAL OF BUILDING PLAN FOR SCO NO'S A-02, A-05, A-06 & A-07 EACH WITH A SIZE OF 7 M X 18 M, ARE LOCATED WITHIN THE COMMERCIAL SHOPPING SCO (2.11 ACRES) AT DLF VALLEY PANCHKULA, SECTOR 3, PINJORE KALKA URBAN COMPLEX BEING DEVELOPED BY DLF HOMES PANCHKULA PRIVATE LIMITED.

**DLF HOMES PANCHKULA PVT. LTD.**

- GENERAL NOTES**
- ALL HCP PASS THROUGH SLEEVE PIPES
  - ALL SANITARY WORK SHALL BE DONE BY REG. PLUMBER
  - MIN SLOPE IN HCP = 1/40
  - CAP OF CISTERN 1547WC
  - ALL SIZE OF ID = 40X.46
  - GT AND R.H. HCD = 30X.30
  - IC WITH 85X.85
  - R.W. KHURRA = 80X.80
  - ALL HCP AND GIP NOT ALLOWED IN COMM. WALL

**ARCHITECT:**  
**SANDEEP AGRAWA ARCHITECT**  
 SCO-49, 2ND FLOOR, SHIV NAGAR  
 PEER MUGHALLA, ZIRAKPUR  
 PHONE: 9711559663  
 OFFICE: 8901435557

Authorised Signatory: *(Signature)*  
 Architect's Signature: *(Signature)*

**SHEET TITLE**  
**SCO No A-02, A-05, A-06 & A-07**  
**PLAN, AREA DIAGRAM, SECTION, ELEVATIONS**

Document Release Type  
**SUBMISSION DRAWING**

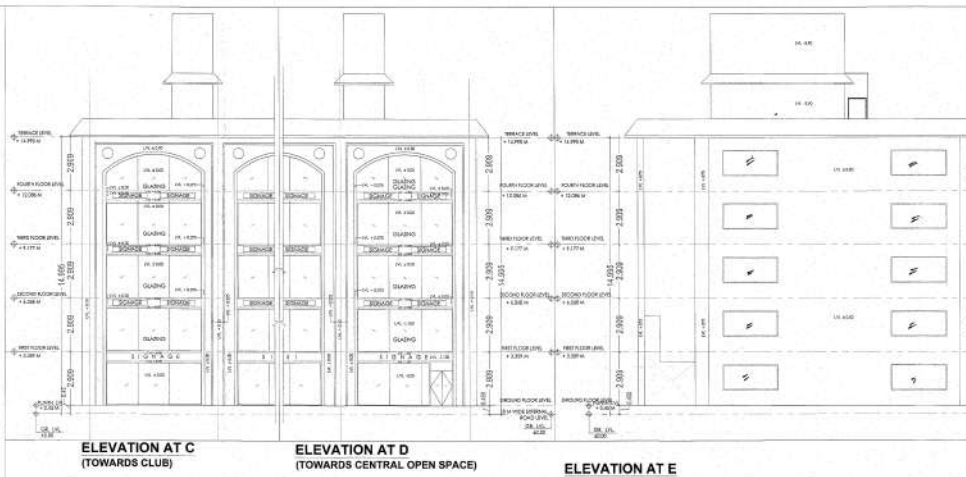
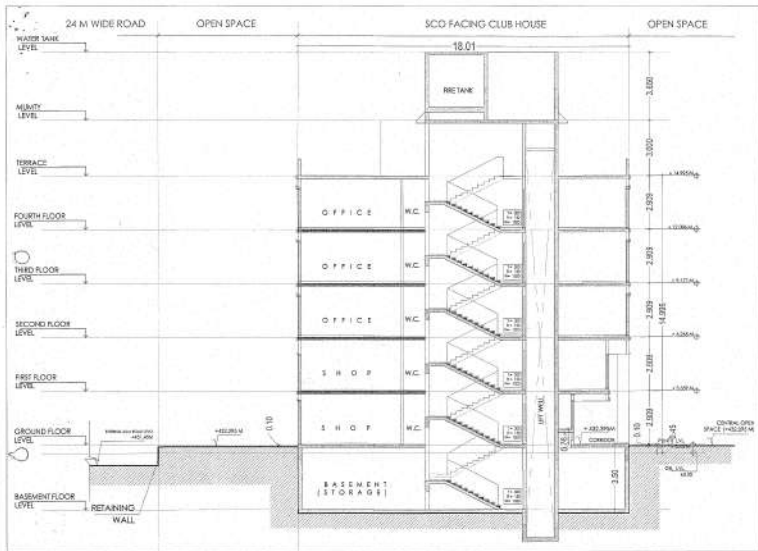
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 Checked by: R.S.

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 Revision No: \_\_\_\_\_

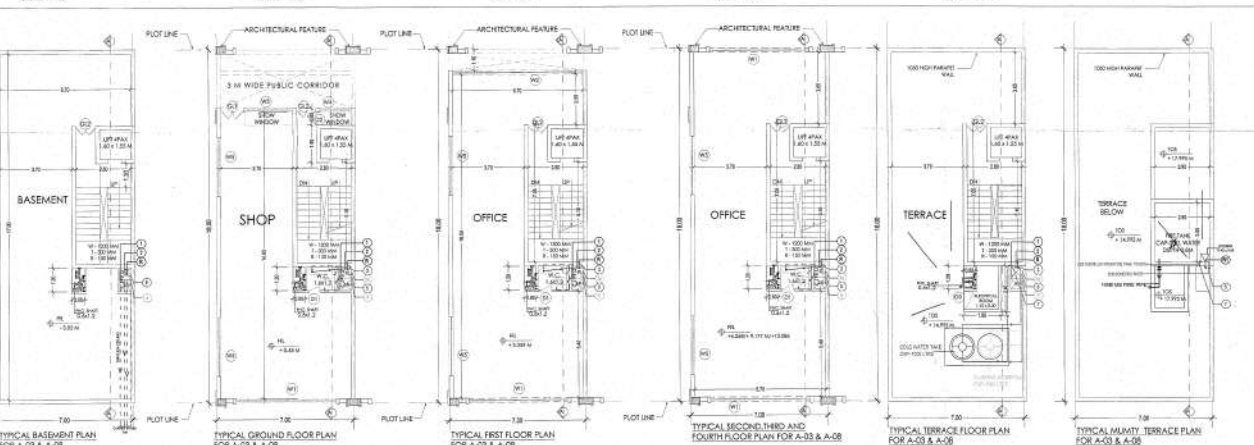
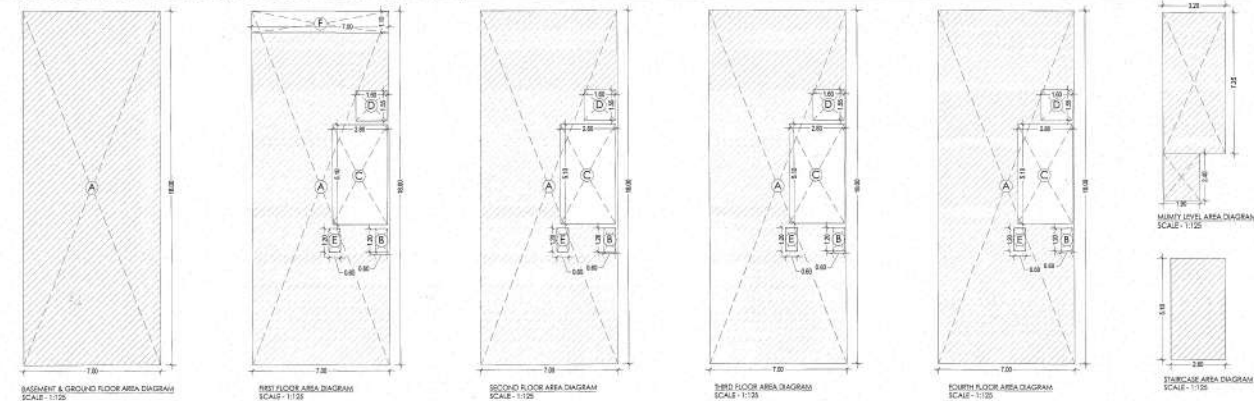
**AUTHORITY:**  
**DLF 53523**

Plans are O.K. from  
 P.H. Services Point of View  
 SIGNED OFFICER: *(Signature)*  
 Executive Engineer  
 DISTRICT TOWN PLANNER, PANCHKULA  
 TO BE READ WITH MEMO NO. 5522 DATED 07.11.2023



LONGITUDINAL SECTION (THROUGH STAIRCASE AND TOILET)

ELEVATION AT C (TOWARDS CLUB) ELEVATION AT D (TOWARDS CENTRAL OPEN SPACE) ELEVATION AT E



AREA CALCULATIONS - SCO NO A-03 & A-08 - CORNER PLOTS

AREA CALCULATION FOR TYPICAL SCO

BASEMENT AREA = A = (7.00x18.00) = 126.00 Sq M

GROUND FLOOR AREA = A = (7.00x18.00) = 126.00 Sq M

FIRST FLOOR = A - (B + C + D + E + F) = (7.00x18.00) - [(1.20x0.4) + (5.10x2.80) + (1.35x1.40) + (0.60x1.20) + (7.00x1.30)] = 126.00 - (0.72 + 14.28 + 1.89 + 0.72 + 9.10) = 100.10 Sq M

SECOND FLOOR = A - (B + C + D + E + F) = (7.00x18.00) - [(1.20x0.4) + (5.10x2.80) + (1.35x1.40) + (0.60x1.20)] = 126.00 - (0.72 + 14.28 + 1.89 + 0.72) = 107.80 Sq M

THIRD FLOOR = A - (B + C + D + E + F) = (7.00x18.00) - [(1.20x0.4) + (5.10x2.80) + (1.35x1.40) + (0.60x1.20)] = 126.00 - (0.72 + 14.28 + 1.89 + 0.72) = 107.80 Sq M

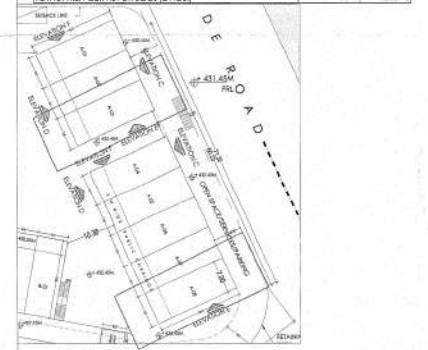
FOURTH FLOOR = A - (B + C + D + E + F) = (7.00x18.00) - [(1.20x0.4) + (5.10x2.80) + (1.35x1.40) + (0.60x1.20)] = 126.00 - (0.72 + 14.28 + 1.89 + 0.72) = 107.80 Sq M

MUMTY AREA = 3.20 x 7.25 + 1.90 x 2.40 = 27.74 Sq M

STAIRCASE AREA = (2.80) x (10) x 4 = 112.00 Sq M

TOTAL FAR AREA PER PLOT = 549.50 Sq M

SCO NO A-03 & A-08					
FLOOR	WIDTH (M)	DEPTH (M)	PLOT AREA (SQ. M.)	DEDUCTION (LIFT, STAIRCASE AND SHAFT) (SQ. M.)	BUILT UP AREA (SQ. M.)
BASEMENT	7	18	126	---	126
GROUND FLOOR	7	18	126	---	126
FIRST FLOOR	7	18	126	26.9	100.1
SECOND FLOOR	7	18	126	18.2	107.8
THIRD FLOOR	7	18	126	18.2	107.8
FOURTH FLOOR	7	18	126	18.2	107.8
MUMTY			27.74	---	27.74
STAIRCASE			112.00	---	112.00
DETAIL OF AREA PER PLOT FOR SCO			549.5		762.38
TOTAL AREA DETAIL FOR SCO (2 NOS)			1099		1524.76



KEY PLAN

APPROVAL OF BUILDING PLAN FOR SCO NO'S A-03 & A-08 EACH WITH A SIZE OF 7 M X 18 M, ARE LOCATED WITHIN THE COMMERCIAL SHOPPING SCO (2.11 ACRES) AT DLF VALLEY PANCHKULA, SECTOR 3, PINJORE KALKA URBAN COMPLEX BEING DEVELOPED BY DLF HOMES PANCHKULA PRIVATE LIMITED.

PLUMBING LEGENDS

1	1/2" OD SOIL PIPE
2	80 OD WASTE PIPE
3	COLD WATER SUPPLY ON TAKE PIPE 8mm
4	1/2" COLD WATER SUPPLY ON TAKE PIPE 8mm
5	COLD WATER SUPPLY RISER PIPE TO TANK SLING 4mm
6	ALUMINUM WASTE DRAIN PIPE TO TANK SLING 4mm
7	OVERFLOW FROM FIRE TANK TO DDM 25mm
8	75 OD RWP FOR MUMTY ROOF
9	110 OD RWP FOR TERRACE

SCHEDULE OF JOINERY

TYPE	SIZE	CILL	LINTEL
GL1	1.20 X 2.13	00	2.13
GL2	1.00 X 2.13	00	2.13
D1	0.75 X 2.13	00	2.13
D2	0.65 X 2.13	00	2.13
D3	1.00 X 2.13	00	2.13
W1	5.10 X 2.13	00	2.13
W2	6.70 X 2.13	00	2.13
W3	2.42 X 1.37	0.76	2.13
W4	1.60 X 1.37	0.76	2.13
W5	3.00 X 1.37	0.76	2.13

DLF HOMES PANCHKULA PVT. LTD.

GENERAL NOTES

- ALL HCP PASS THROUGH SLEEVE PIPES
- ALL SANITARY WORK SHALL BE DONE BY REG. PLUMBER
- MIN SLOPE IN HCP = 1/40
- CAP OF CISTERN 1547/MC
- ALL SIZE OF I.C. 40X40
- ST AND R.W. HOOD = 30X30
- I.C WITH 80X60
- R.W. KHURDA = 80X60
- ALL HCP AND GIP NOT ALLOWED IN COMM. WALL

ARCHITECT: SANDEEP AGRAWA ARCHITECT  
SCO-03, 2ND FLOOR, SHY NAGAR  
PEER MACHALLA, ZIRAKPUR  
PHONE : 9711558583  
OFFICE : 8901435557

Authorised Signatory: *(Signature)*  
Architect's Signature: *(Signature)*

SHEET TITLE: SCO No A-03 & A-08 PLAN, AREA DIAGRAM, SECTION, ELEVATIONS

Submission Release Type: SUBMISSION DRAWING

Job No: \_\_\_\_\_

Scale: 1:125 ON A1 SHEET

Date: 25 SEP, 2023

Drawn by: A.P.

Checked by: R.S.

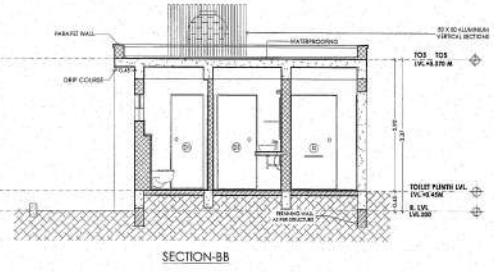
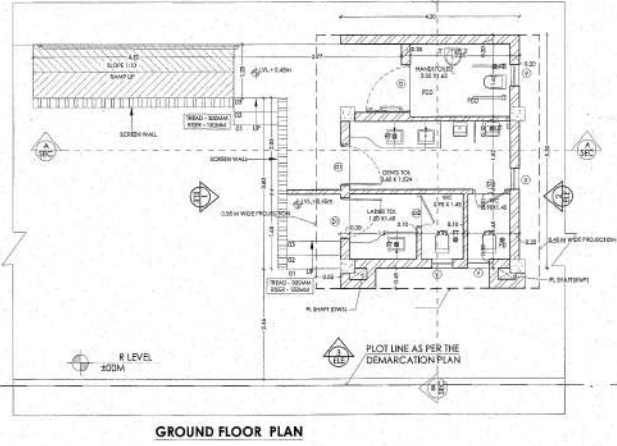
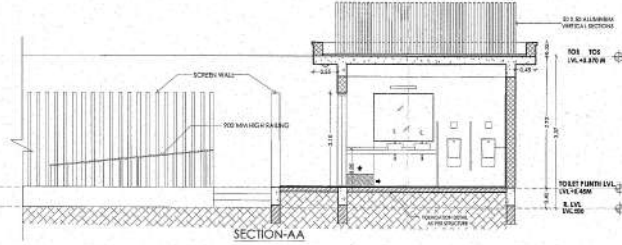
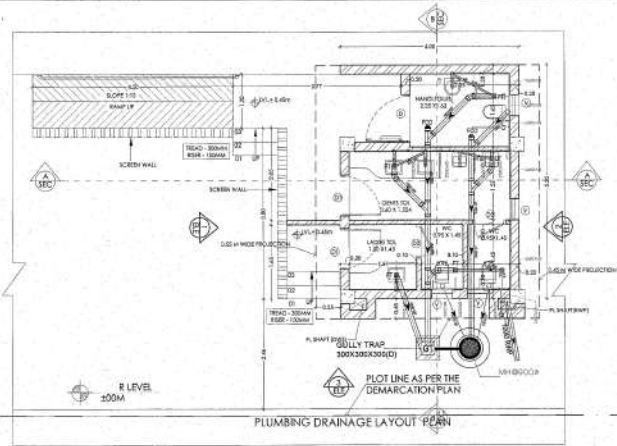
Authority: DLF 53524

Plans are O.K. from P.H. Services Point of View

Executive Engineer (9/11/2023)

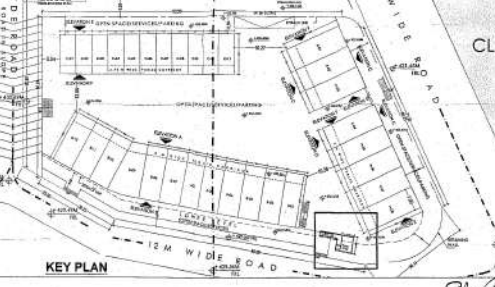
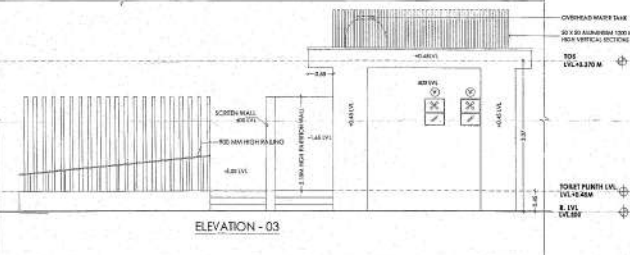
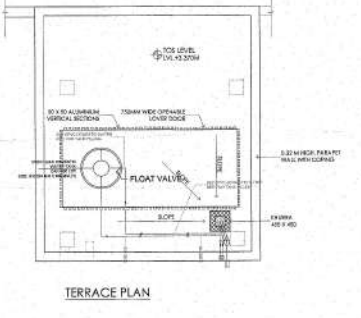
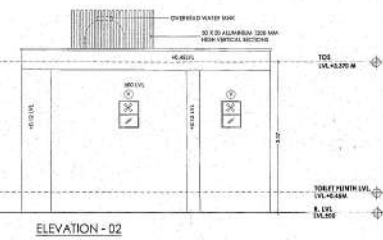
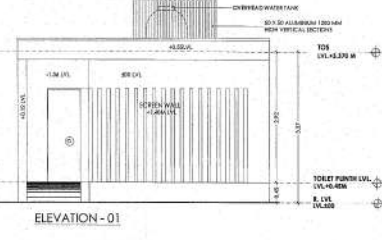
Sanctioned District Town Planner, PANCHKULA TO BE READ WITH MEMO NO. 11-11-13 DATED 22/02/2022





PLUMBING LEGEND:

S.N.C	DESCRIPTION	SYMBOL
1.	100Ø PVC RAIN WATER PIPE	—○—
2.	30Ø DOMESTIC WATER SUPPLY DOWN TAKE PIPE	—□—
3.	30Ø DOMESTIC WATER SUPPLY RISEN PIPE	—■—
4.	100Ø PVC SOIL PIPE	—○—
5.	100Ø PVC WASTE PIPE	—○—



APPROVAL OF BUILDING PLAN FOR PUBLIC TOILET WITH A SIZE OF 4 M X 5.2 M, IS LOCATED WITHIN THE COMMERCIAL SHOPPING SCO (2.11 ACRES) AT DLF VALLEY PANCHKULA, SECTOR 3, PINJORE KALKA URBAN COMPLEX BEING DEVELOPED BY DLF HOMES PANCHKULA PRIVATE LIMITED.

AREA CALCULATION FOR PUBLIC TOILET  
GROUND FLOOR AREA = 4.00 X 5.20  
= 20.80 Sq M

**DLF 53525**

JOINERY SCHEDULE

TAG	SIZE	CLL	LINTEL
D	1000 X 2100	600	+2100
D1	900 X 2100	600	+2100
D2	750 X 2100	600	+2100
V	450 X 800	+1500	+2100

**DLF HOMES PANCHKULA PVT. LTD.**

GENERAL NOTES  
1. ALL HCP PASS THROUGH SLEEVE PIPES  
2. ALL SANITARY WORK SHALL BE DONE BY REG. PLUMBER  
3. MIN SLOPE IN HCP = 1:40  
4. CAP OF SYSTEM 150/100/75  
5. ALL SIZE OF C/P - 80X48  
6. OT AND R.W. HOOI = 30X30  
7. IC WITH 80X55  
8. R.W. KHURRA = 60X60  
9. ALL HCP AND GIP NOT ALLOWED IN COMM. WALL

ARCHITECT

**SANDEEP AGRAWA ARCHITECT**  
SCO-49, 2ND FLOOR, SHIV NAGAR  
PEER MUGHALLA, ZIRAKPUR  
PHONE : 9711555553  
OFFICE : 9801435557

Authorized Signatory  
*Sandeep Agrawa*  
(Handwritten Signature)



SHEET TITLE  
**PUBLIC TOILET PLAN, AREA DIAGRAM, SECTION, ELEVATIONS**

DOCUMENT PREPARED BY

SUBMISSION DRAWING

Job No.

Scale

1:125 ON A1 SHEET

Date

25 SEP, 2023

Drawn by

A.P.

Checked by

R.S.



DRAWING NUMBER

AR 04

Revision No.

AUTHORITY:

*Sandeep Agrawa*  
JP PA ATP DTL  
SANCTIONED  
DISTRICT TOWN PLANNER, PANCHKULA  
TO BE READ WITH MEMO NO. 5222 DATED 07/11/2023

Plans are O.K. from  
P.H. Services Point of View

*Sandeep Agrawa*  
Executive Engineer, 01/10/23

*Sandeep Agrawa*  
REGISTERED ARCHITECT  
PANCHKULA