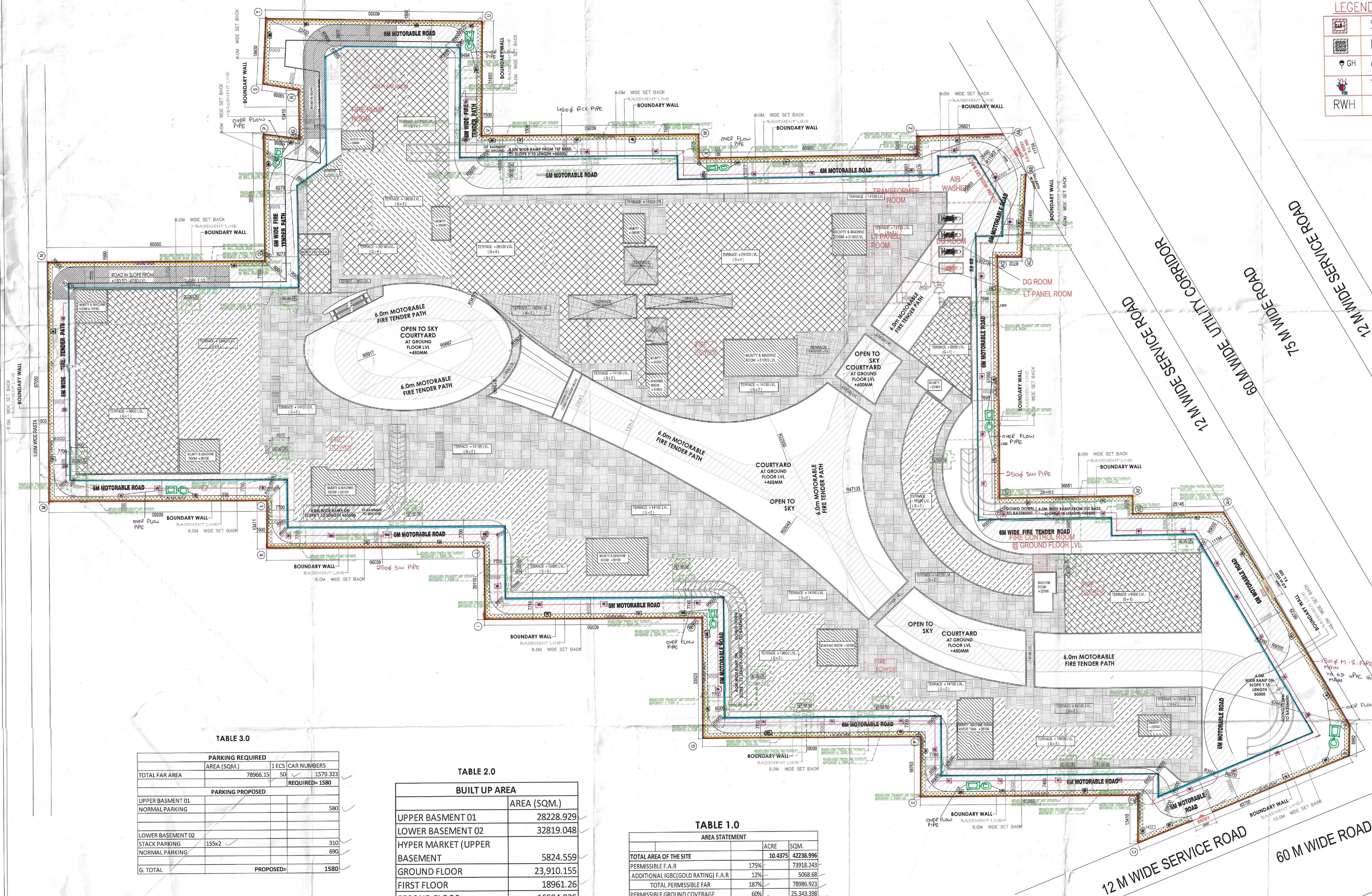




LEGEND	
	SEWERAGE MANHOLE
	DRAINAGE MANHOLE
 GH	GARDEN HYDRANT
	YARD HYDRANT
RWH	RAIN WATER HARVESTING

TABLE 3.0

	PARKING REQUIRED		
	AREA (SQ.M.)	1 ECS	CAR NUMBERS
TOTAL FAR AREA	7896.15	50	1579.32
			REQUIRED= 1580
PARKING PROPOSED			
UPPER BASMENT 01			
NORMAL PARKING			58
LOWER BASEMENT 02			
STACK PARKING	155x2 ✓		31
NORMAL PARKING			69
G TOTAL		PROPOSED=	1580

TABLE 2.0

BUILT UP AREA	
	AREA (SQM.)
UPPER BASMENT 01	28228.929
LOWER BASEMENT 02	32819.048
HYPER MARKET (UPPER BASEMENT	5824.559
GROUND FLOOR	23,910.155
FIRST FLOOR	18961.26
SECOND FLOOR	16594.935
THIRD FLOOR	9265.343
FOURTH FLOOR	5249.918
MUMTY & MACHINE ROOM	3611.526
TOTAL BUILT UP AREA	144465.673
NON FAR AREA	
	AREA (SQM.)
UPPER BASMENT 01	28228.929
LOWER BASEMENT 02	32819.048
MUMTY & MACHINE ROOM	3611.526
TOTAL	64,659.503

TABLE 1.0

AREA STATEMENT			ACRE	SQM.
TOTAL AREA OF THE SITE			10.4375	4232.998
PERMISSIBLE F.A.R.	175%			7391.243
ADDITIONAL IGBG (GOLD RATING) F.A.R.	12%			508.68
TOTAL PERMISSIBLE FAR	187%	✓		7899.923
PERMISSIBLE GROUND COVERAGE	60%			25.343
PROPOSED				
GROUND COVERAGE	56.60%	✓		23.910
PROPOSED FAR	186.951%			7896.15
FAR AREA				
HYPER MARKET LOWER BASEMENT-01				5824.55
GROUND FLOOR AREA				2383.35
FIRST FLOOR AREA				1899.38
SECOND FLOOR AREA				1656.86
THIRD FLOOR AREA				8530.8
FOURTH FLOOR AREA				5249.91
TOTAL FAR AREA				7896.15
PROPOSED BASEMENT AREA				
1ST. BASEMENT AREA				2822.92
2ND. BASEMENT AREA				32819.04
TOTAL BASEMENT AREA				61047.97

NOTES:

- NOTES:**
1. ALL DIMENSIONS ARE IN MM.
 2. GATE AND BOUNDARY WALL SHALL BE AS PER STANDARD DESIGN.
 3. SPRINKLERS WILL BE PROVIDED IN ENTIRE BUILDING INCLUDING BASEMENT AS PER N.C.C.
 4. RAIN WATER HARVESTING SYSTEM WILL BE PROVIDED AS PER APPLICABLE NORMS.
 5. 100% POWER BACK UP WILL BE PROVIDED FOR LIFTS & ESSENTIAL SERVICE AREAS.
 6. DISABLED RAMP @ 1:12 SLOPE WITH 900MM HIGH RAILING.
 7. ALL BUILDINGS ARE MECHANICALLY VENTILATED
 8. BUILDING WILL BE DESIGNED (STRUCTURES) AS PER RELEVANT I.S.CODES FOR EARTHQUAKE RESISTANCE.

This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public

 Architect (HQ)
  STP (HQ)
Member Secretary
  STP (G)
Member
  STP (H)
Chairman

BPAL BPAL BPAL

03

DIRECTOR

DDP (HQ)
Member
BPAC

R

OK for Public Health
only a comment on comments in
the file

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Architecture Management Planning

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E	SCALE	NORTH:-
N	1:300	N 

	1.200	






ARCHITECT'S SIGNATURE