

TYPICAL FLOOR AREA				
AREA CALCULATION				
ADDITION AREA (A) = (X × Y)				
=	27.77' X	15.25'		422.80
DEDUCTION AREA (B)				
S.NO.	LENGTH	BREADTH	NO	TOTAL
1	1.850	X	5.240	9.69
2	2.4.355	X	1.800	2.38
3	6.320	X	0.480	3.09
4	1.350	X	1.525	2.08
5	5.115	X	2.010	4.83
6	6.530	X	4.140	24.13
7	1.780	X	4.625	17.39
8	2.135	X	5.375	22.95
9	3.155	X	4.600	29.03
10	1.850	X	3.565	6.60
11	1.590	X	1.100	1.75
12	1.450	X	1.100	1.60
13	15.155	X	2.010	30.62
14	15.155	X	1.100	16.67
TOTAL				181.80

NON FAR AREA AT TYPICAL FLOOR					
S NO.	LENGTH		BREADTH	NO	TOTAL
9	3.155	X	4.600	2	29.03
13	3.155	X	2.000	2	12.62
TOTAL					41.65
TOTAL FAR + NON FAR AREA AT TYPICAL FLOOR					
241	+	41.65	=		282.65
TOTAL					282.65
MUMITY / MACHINE ROOM					
ADDITION AREA (C)					
S NO.	LENGTH		BREADTH	NO	TOTAL
1	9.080	X	8.620	1	78.27
TOTAL					78.27
DEDUCTION AREA (D)					
S NO.	LENGTH		BREADTH	NO	TOTAL
2	1.850	X	3.350	1	6.20
TOTAL					6.20
NET AREA MUMITY / MACHINE ROOM					=
ADDITION AREA (C) - DEDUCTION - (D)					72.07

TOTAL PROPOSED COVD. AREA AT TOWER-7, 9, 10 & 11 (G+31)			
FLOOR	FAR	NON AREA'	TOTAL
GROUND FLOOR	322.610	0	322.61
TYPICAL FLOOR 31 NOS.	7471.000	1291.15	8762.15
MUMTY/M.ROOM & TANKS		144.140	144.14
<b>TOTAL</b>	<b>7793.610</b>	<b>1435.290</b>	<b>9228.90</b>
<b>TOTAL NOS. OF TOWER - 4</b>			<b>36915.60</b>

TOTAL PROPOSED COVD. AREA AT TOWER-8 (G+30)			
FLOOR	FAR	NON FAR AREA	TOTAL
GROUND FLOOR	322.610	0	322.61
TYPICAL FLOOR 30 NOS.	7230.000	1249.50	8479.50
MUMTY/M ROOM & TANKS		144.140	144.14
<b>TOTAL</b>	<b>7552.610</b>	<b>1393.640</b>	<b>8946.25</b>

PLUMBING IMPORTANT NOTES:-	
1.	ALL HORIZONTAL SOIL AND WASTE PIPES SHALL BE LAID TO A SLOPE NOT FLATTER THAN 1:20 AND NOT STEEPER THAN 1:40 UNLESS SPECIFIED OTHERWISE.
2.	WATER INLETS AND WASTE OUTLETS FROM SANITARY WARE SHALL BE ARRANGED TO SUIT REQUIREMENTS OF SELECTED MAKES AND MODELS.
3.	NO PIPE WORK SHALL BE CONCEALED IN WALLS OR BURIED IN FLOORS WITHOUT BEING SUBJECTED TO WATER TESTING AS PER THE DIRECTION OF THE SITE ENGINEER.

PIPE LEGEND:	
	1500 M.S. FIRE WET RISER PIPE USED FOR SPRINKLE TO 1ST FLOOR
	1500 M.S. PIPE WET RISER PIPE USED FOR 2ND FLOOR TO TERRACE
	1500 M.S. PIPE USED FOR LAMPING TO 14 TH FLOOR
	1500 M.S. SPRINKLER RISER PIPE USED FOR 1ST FLOOR TO 2ND FLOOR
	1500 M.S. SPRINKLER RISER PIPE USED FOR 2ND FLOOR TO TERRACE
	1500 M.S. SPRINKLER ALTERNATE RISER PIPE USED FOR LOW RISE
	1500 M.S. SPRINKLER ALTERNATE RISER PIPE USED FOR HIGH RISE
	MS DRAIN PIPE
	100 D.S. SLOPED FOR TO AND FROM
	1500 D.S. SLOPED FOR TO AND FROM
	1500 D.S. SLOPED FOR TO AND FROM
	PIPE W/OUT COUPLER
	FLOW SWITCH ASSEMBLY WITH BUTTER FLY VALVE
	SPRINKLER TYPE SPRINKLER
	MINOR, SIDE WALL, THICK - 0.2 m
	EXTENDED SIDE WALL, THICK - 0.2 m
	SPRINKLER HEAD LINE
NOTE:	1500 S. DISCHARGE FROM MAIN AT BELOW THE ROOF

PLUMBING NOTES:	
1.	WARM WATER TO FLOOR TRAMP (7) 1/2" 40 PSI MAX/PIPS
2.	HOTCHILLER TO FLOOR TRAMP (7) 1/2" 40 PSI MAX/PIPS
3.	FLOOR DRAIN (7) TO FLOOR TRAMP (7) 1/2" 40 PSI MAX/PIPS
4.	100% HIPS PIPE USED FOR GAS & VENT
5.	1100 HIPS PIPE USED FOR THERMAL WATER
6.	1100 HIPS PIPE USED FOR BALCONY
SCHEDULE OF PIPES:	
ITEM NO	DESCRIPTION
1	100% HIPS GAS & VENT PIPE
2	100% HIPS WATER & VENT PIPE
3	712 HIPS HOT/INT-DISPERGENCE PIPE
4	1100 HIPS THERMAL WATER PIPE
5	100% HIPS GAS/VENT WATER PIPE
6	1100 HIPS GAS/VENT WATER PIPE
7	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
8	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
9	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
10	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
11	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
12	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
13	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
14	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
15	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
16	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
17	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
18	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
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31	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
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95	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
96	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
97	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
98	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
99	DOMESTIC WATER SUPPLY/DRY TAIL PIPE
100	DOMESTIC WATER SUPPLY/DRY TAIL PIPE

TO BE READ WITH THIS OFFICE  
MEMO NO.: 10769  
DATED: 27-3-24

Checked and found OK for Public Health  
(initials) Service only when in agreement to  
in forwarding letter to:

This is a "PROVISIONAL BUILDING PLAN"  
approved only for the purpose of inviting  
objections from the general public

*[Handwritten signature]*

Supervising Engineer (H/O)  
for Chief Engineer-I  
11/9/97, Kolkata

*[Handwritten signature]*

D.T.P. (H/O)	S.T.P. (H/O)	S.T.P. (G)	S.T.P. (Ht)
Member	Member Secretary	Member	Member
B.P.A.C.	B.P.A.C.	B.P.A.C.	B.P.A.C.

*[Handwritten signature]*

Consultant  
Architect

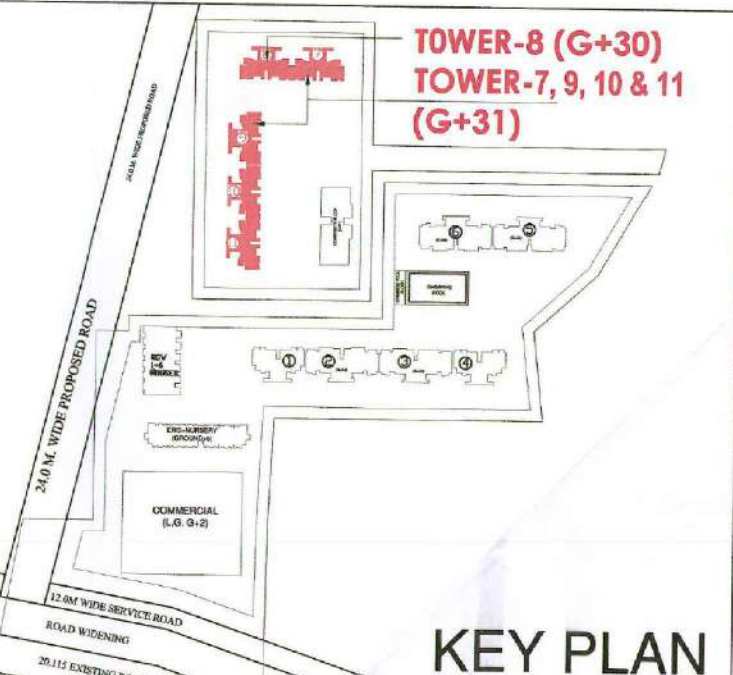
ATP(HQ)

Varinder Kumar  
AD(HQ)

J.D.

A.T.P.

PHASE-1	
TOWER NO.	9,10 &11



SR.	NO	TYPE	SIZE	SIL.	UNTEL	REMARKS
1	D1	800	X	-	2100	
2	D2	900	X	-	2100	
3	D3	1100	X	-	2400	1 HR FIRE RATED DOOR
4	DW1	1650	X	-	2400	
5	DW2	1800	X	-	2400	
6	DW3	1250	X	-	2400	
7	V1	650	X	1200	2400	
8	W1	1200	X	1200	2400	
9	FD1	750	X	-	2100	
10	FD	1150	X	-	2100	
11	FD2	1100	X	-	2100	2 HR FIRE RATED DOOR

NOTES	
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2.	ALL DIMENSIONS ARE IN MM.
3.	ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISIONS OF NBC.
4.	FIRE FIGHTING SAFETY PROVISIONS WILL BE AS PER RELEVANT NBC PROVISIONS.
5.	BOUNDARY WALL AND GATE AS PER STANDARDS.
6.	ALL ARE 230/200/115 MM THK. BRICK WALL.
7.	RAIN WATER HARVESTING SYSTEM SHALL BE PROVIDED AS PER CENTRAL GROUND WATER AUTHORITY NORMS/HARYANA GOVT.
8.	ALL WINDOWS & VENTILATORS ARE OPENABLE.
9.	ALL MECHANICALLY VENTILATED & ARTIFICIALLY LIT TLOT PROVIDED WITH 24hr POWER BACKUP.

DEVELOPED BY:

DEVELOPED BY

REVISÉD SUBMISSION DRAWING

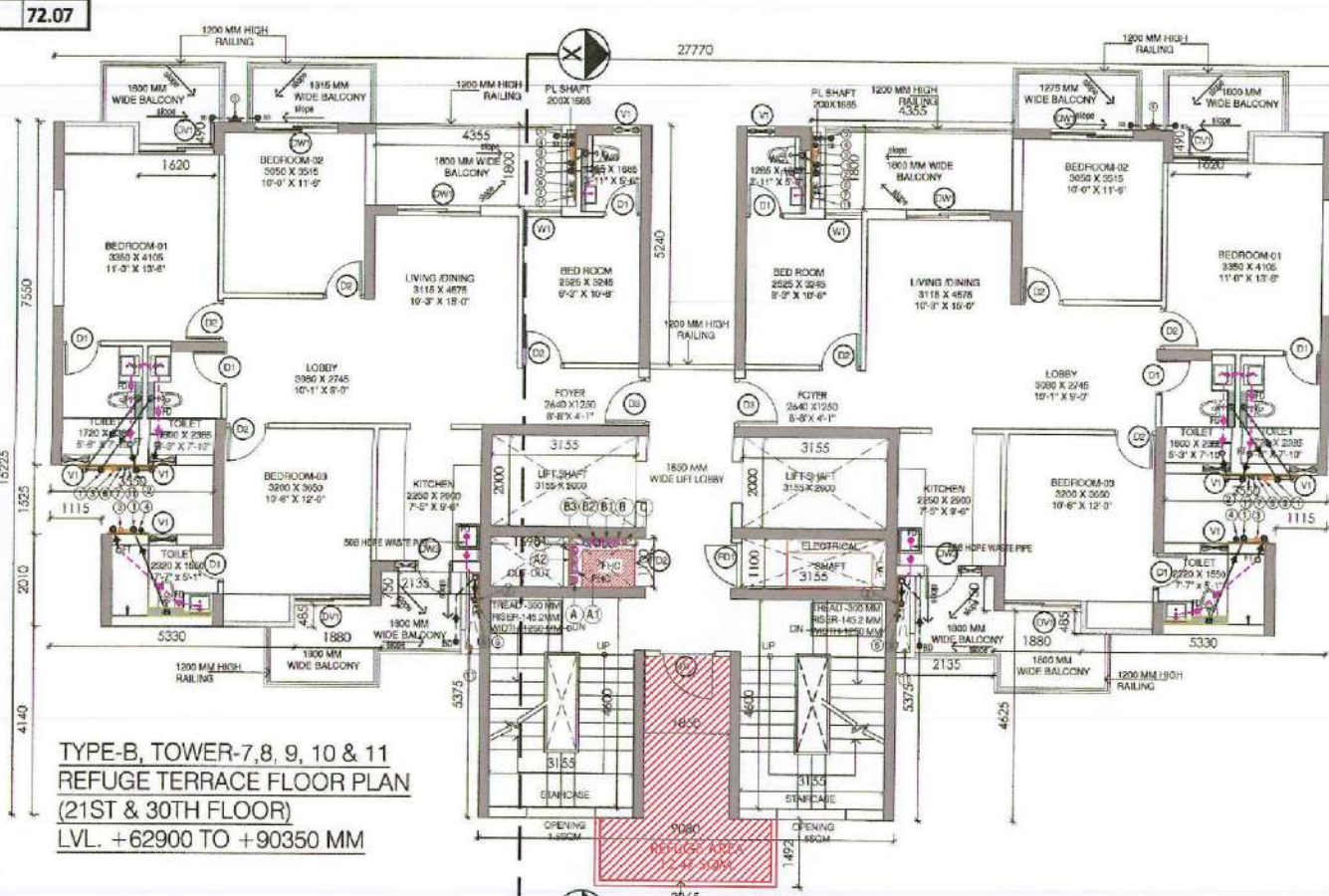
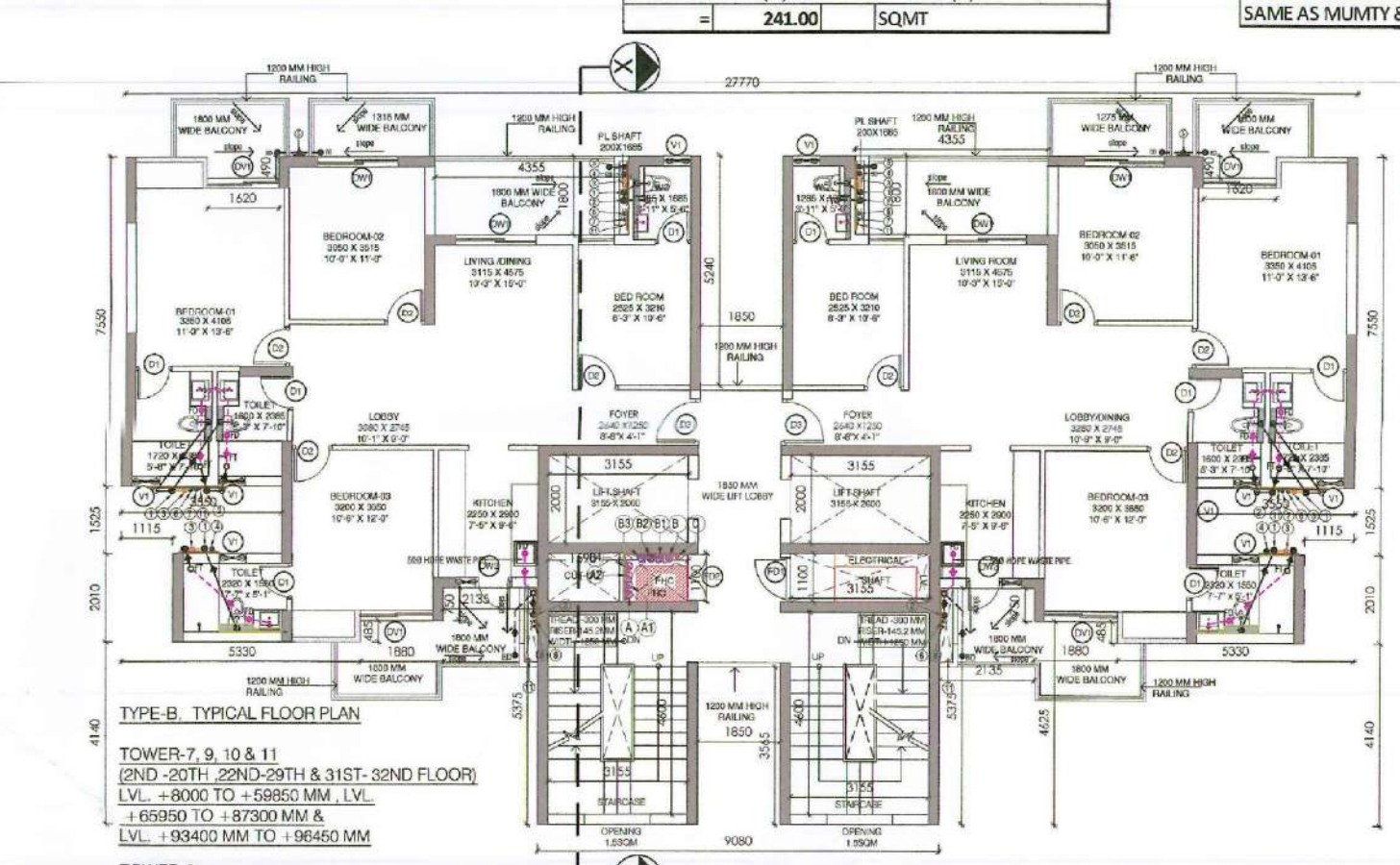
PROJECT:  
REVISED BUILDING PLAN OF MIX LAND USE  
COLONY (88% RESIDENTIAL COMPONENT & 12%  
COMMERCIAL COMPONENT) UNDER TRANSIT  
ORIENTED DEVELOPMENT (TOD) POLICY FOR THE  
AREA MEASURING 7.0553 ACRES (FALLING WITHIN  
TRANSITION ZONE) PART OF GROUP HOUSING  
COLONY MEASURING 13.078 ACRES (LICENCE NO.  
127 OF 2012 DATED 27.12.2012) IN SECTOR- 105  
GURUGRAM MANESAR URBAN COMPLEX BEING  
DEVELOPED BY SH. KANWAR SINGH & OTHERS IN  
COLLABORATION WITH 1000 TREES HOUSING  
PRIVATE LIMITED, (NEW KNOWAN AQ ARE  
MANESAR PRIVATE LIMITED)

DRAWING TITLE : <b>TYPE-B ,TOWER-7, 9, 10 &amp; 11 (G+31:PHYSICAL FLOORS)</b> GROUND,1ST FLOOR,TYPICAL & TERRACE FLOOR PLANS & AREA DIAGRAMS <b>TYPE-B, TOWER-8 (G+30:PHYSICAL FLOORS)</b> GROUND,1ST FLOOR,TYPICAL FLOOR PLANS & AREA DIAGRAMS	<b>TYPE-B</b>
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DEALT BY	SCALE 1:100	DRG. NO. AR-B-3.3
CHECKED BY	DATE 04-04-2023	SHEET NO. 12/22
THROUGH: AUTHORIZED: _____		

THROUGH: AUTHORISED SIGNATORY	
www.bharatnagar.com	

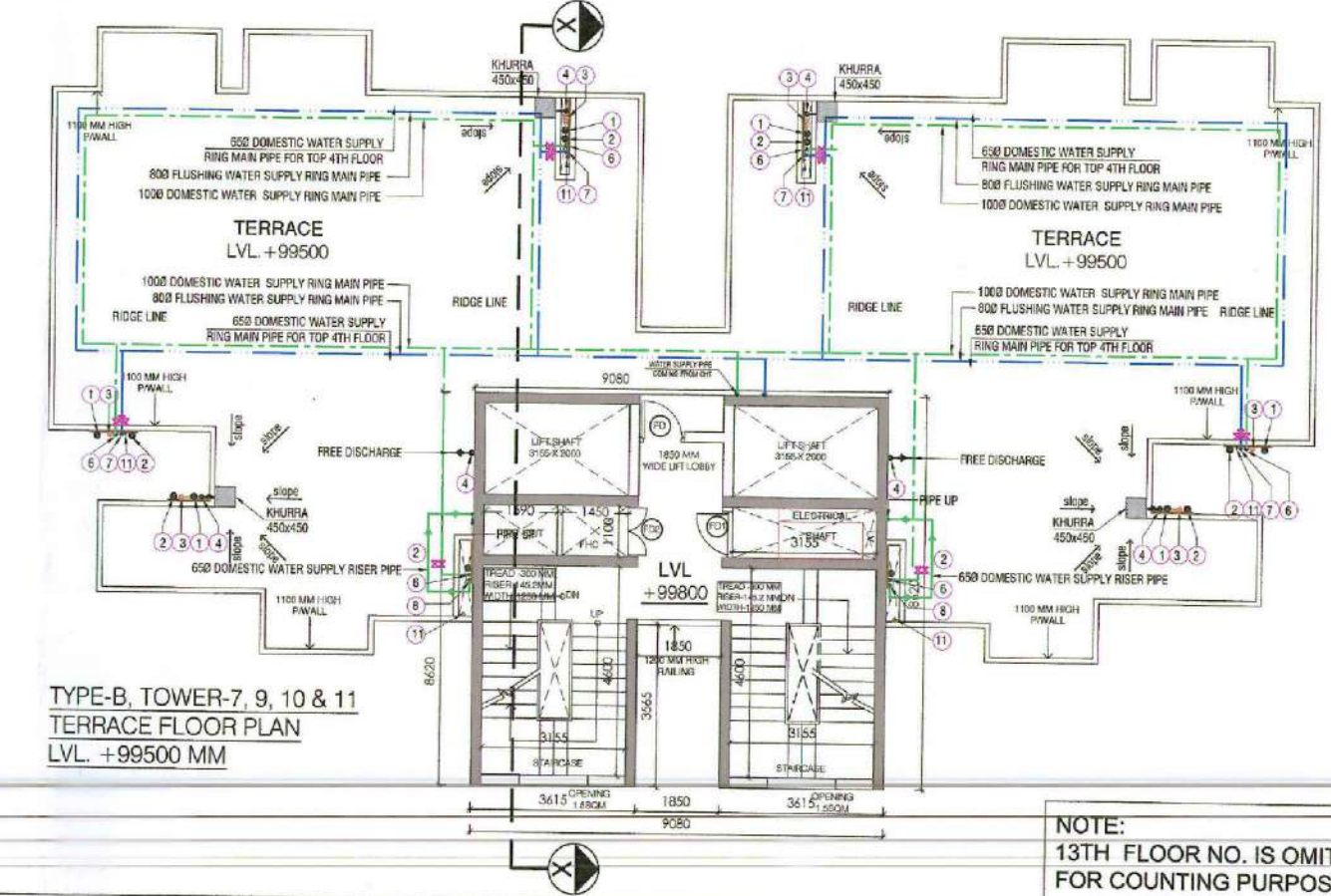
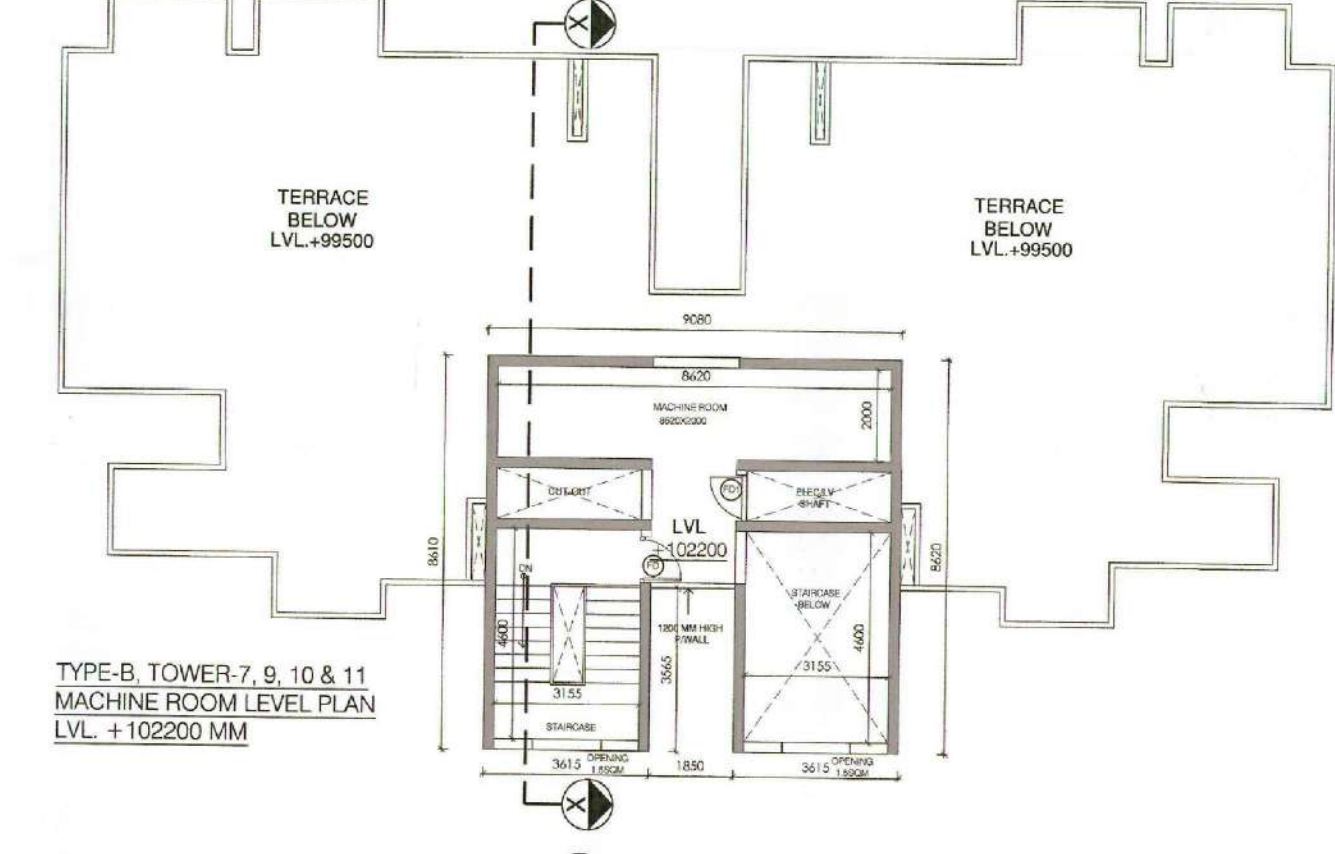
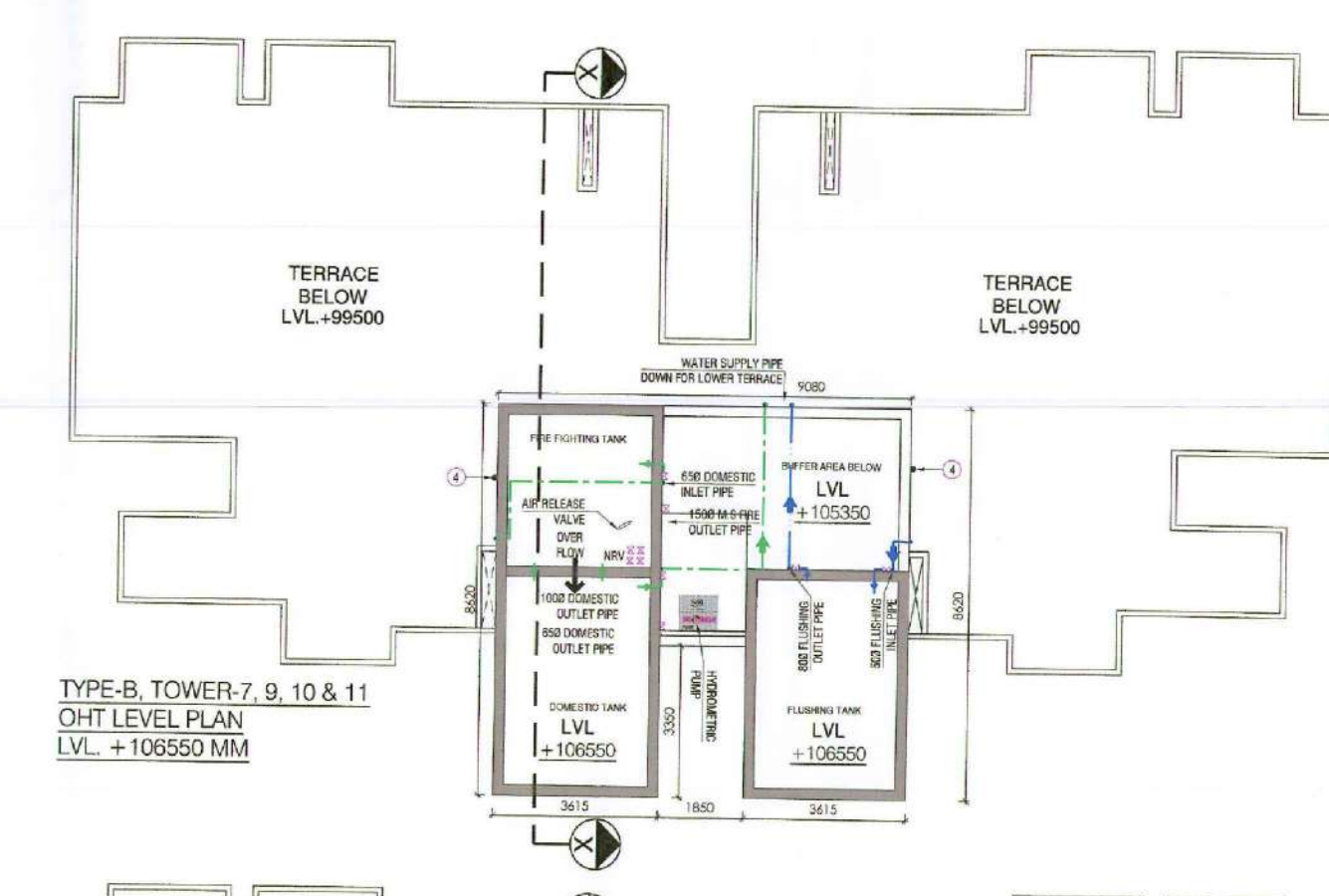
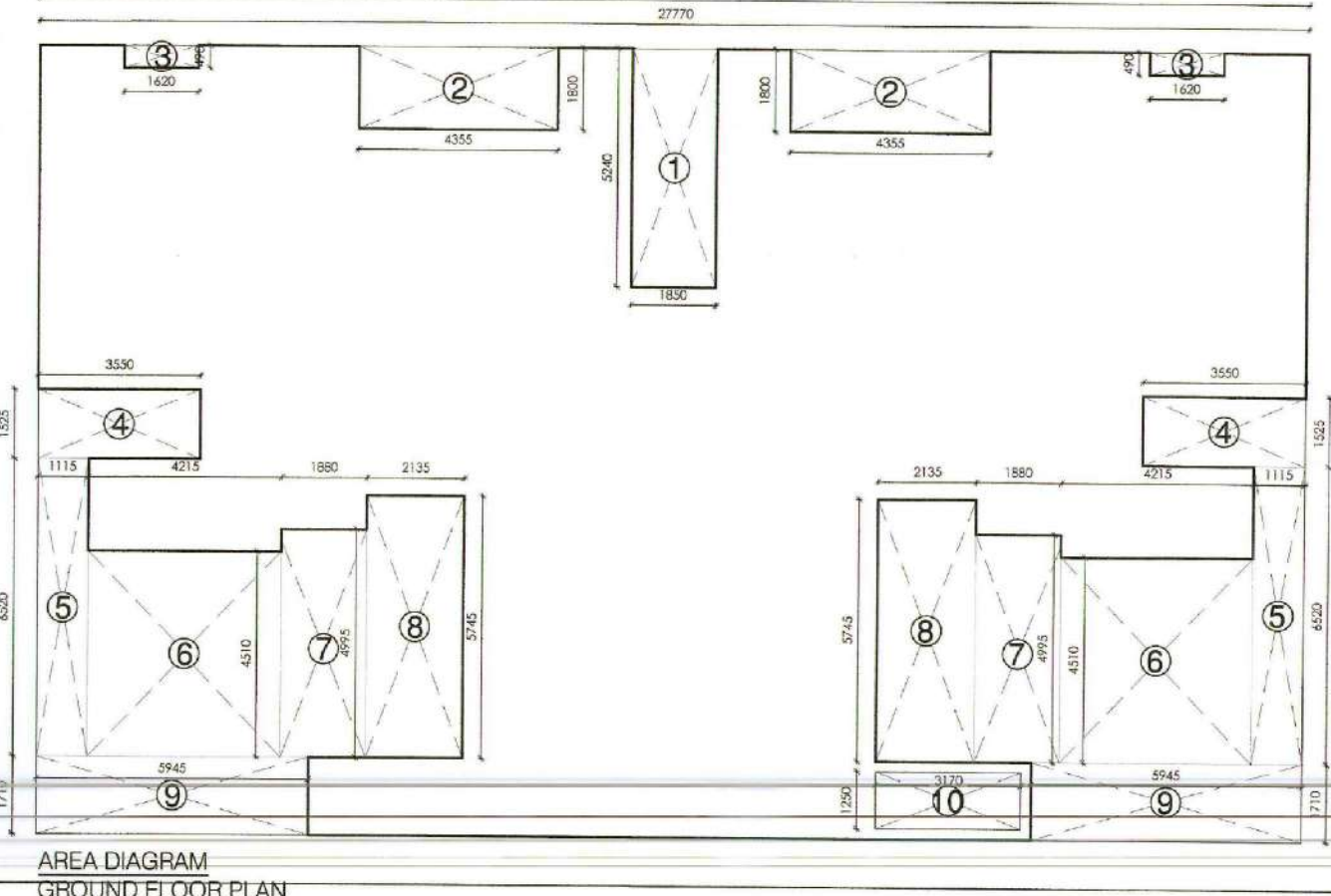
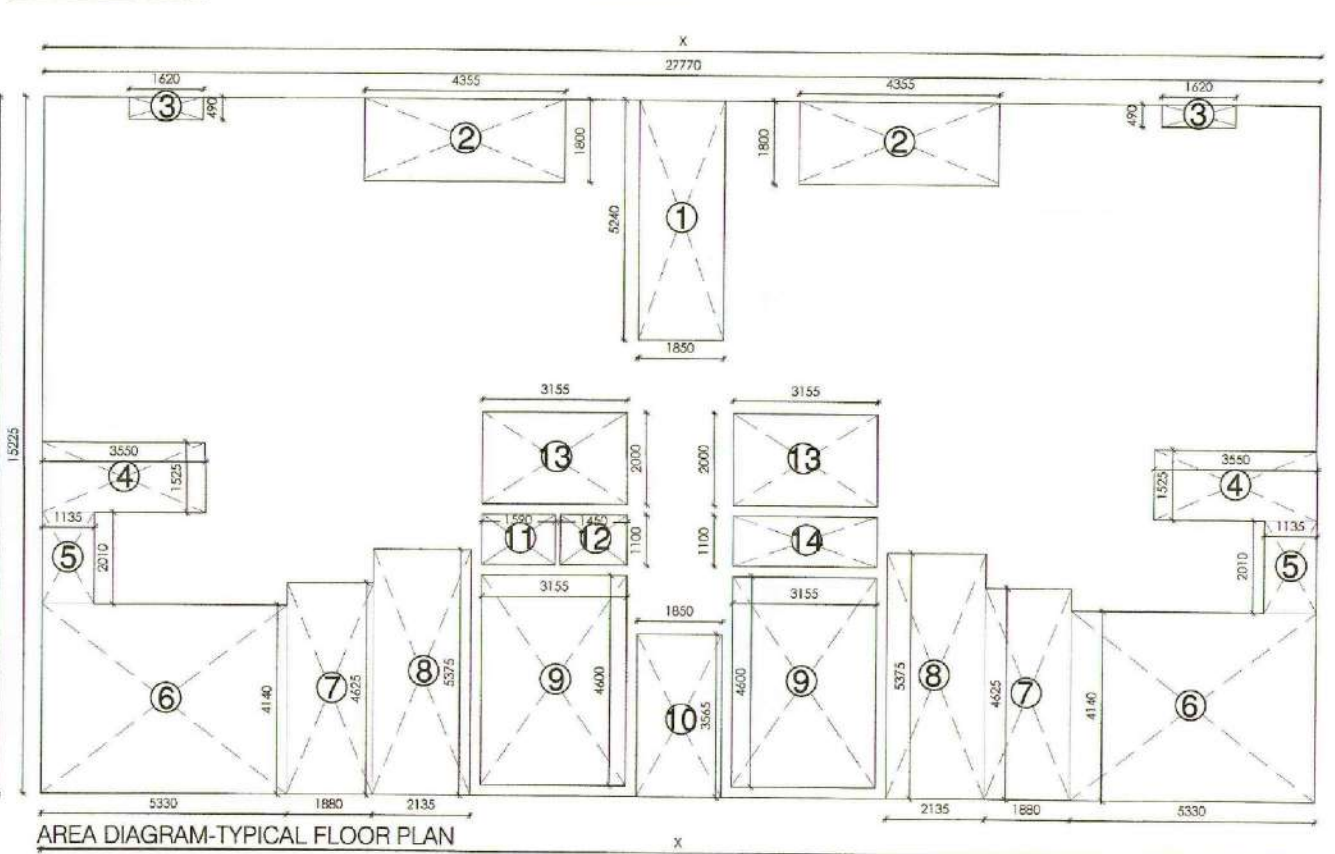
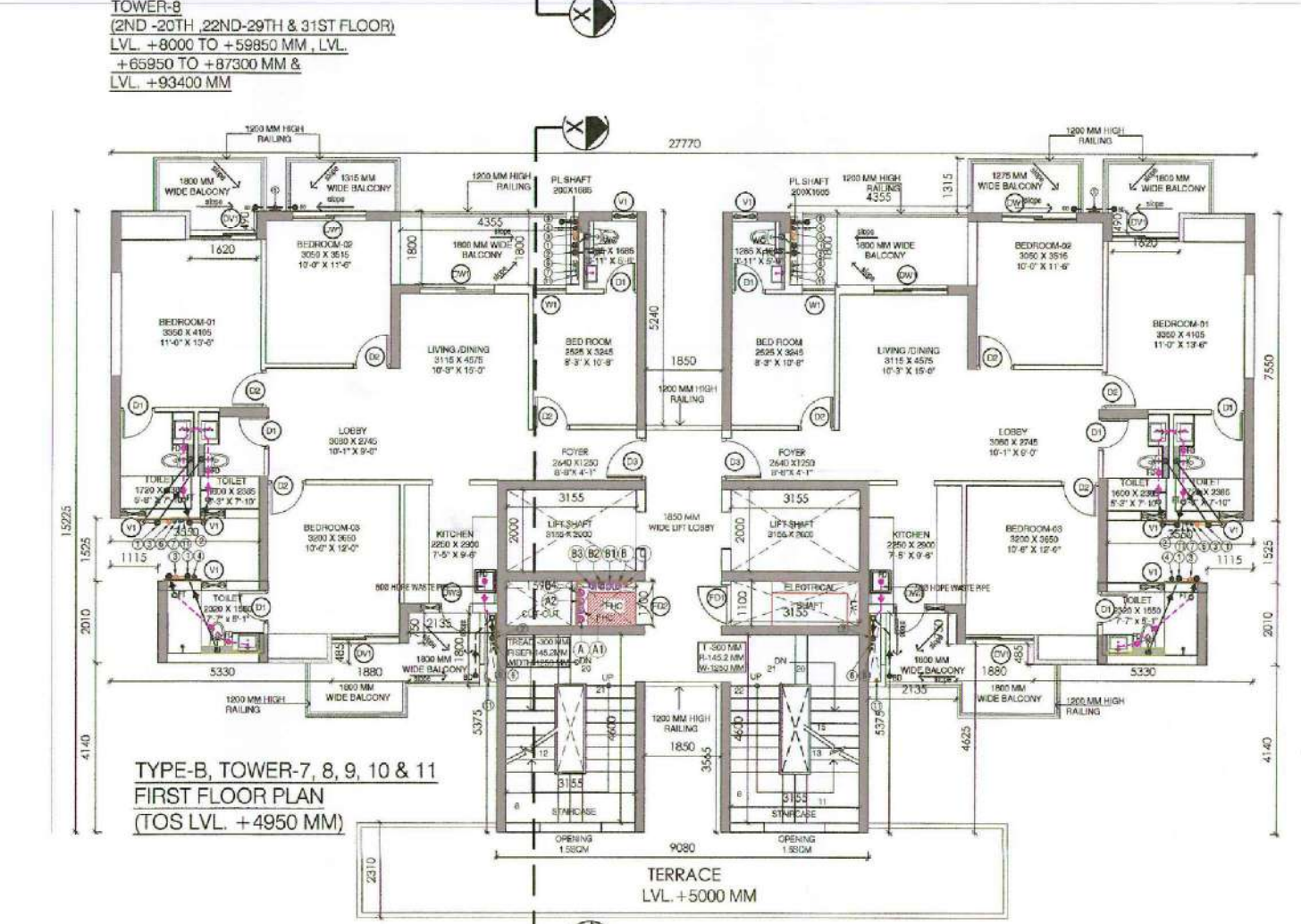
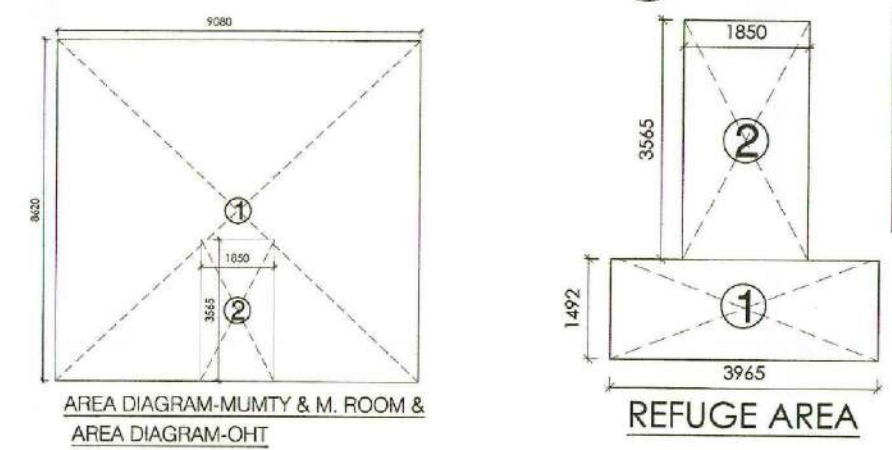
<p>ATS Measures Pvt. Ltd.</p> <p><i>[Signature]</i></p> <p>Authorised Signatory</p> <p>1002 Deep Housing Pvt Ltd LTD</p> <p><i>[Signature]</i></p> <p>Authorised Signatory</p> <p><b>OWNER'S SIGN</b></p>	<p><i>[Signature]</i></p> <p>ARCHITECT</p> <p>KAUSHIK KUMAR MODI</p> <p>CAY200646567</p> <p><b>ARCHITECT'S SIGN.</b></p>
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REQUIRED REFUGE AREA CALCULATION  

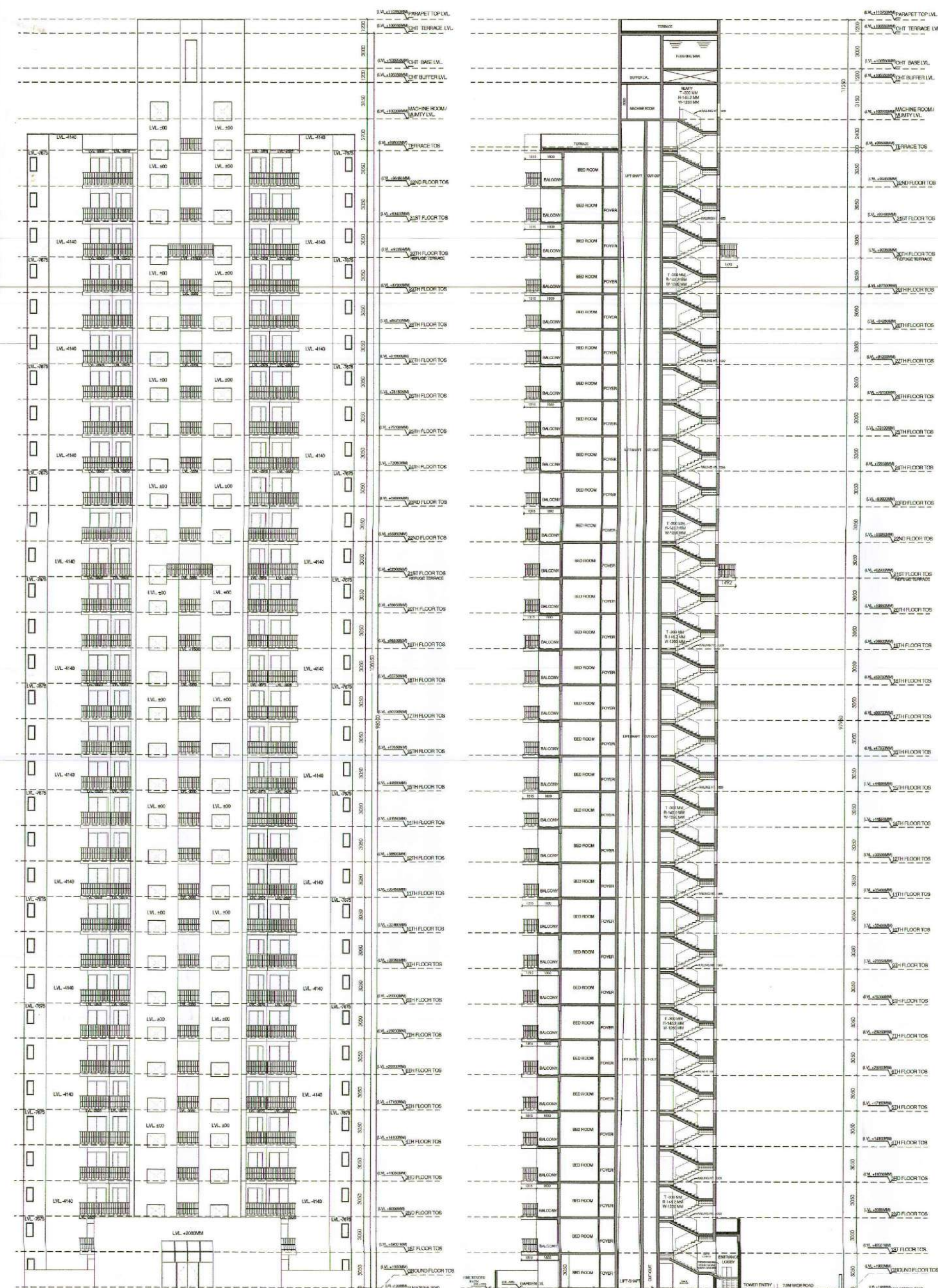
$$= [(241 \times 2) / (2.5 \times 0.3)] + 0.9 = 12.47 \text{ SQ.M.}$$

REFUGE AREA CALCULATIONS				
S.NO.	LENGTH	BREADTH	NO	TOTAL
1	1.850	X	3.565	6.60
2	3.935	X	1.492	5.87
	TOTAL			12.47

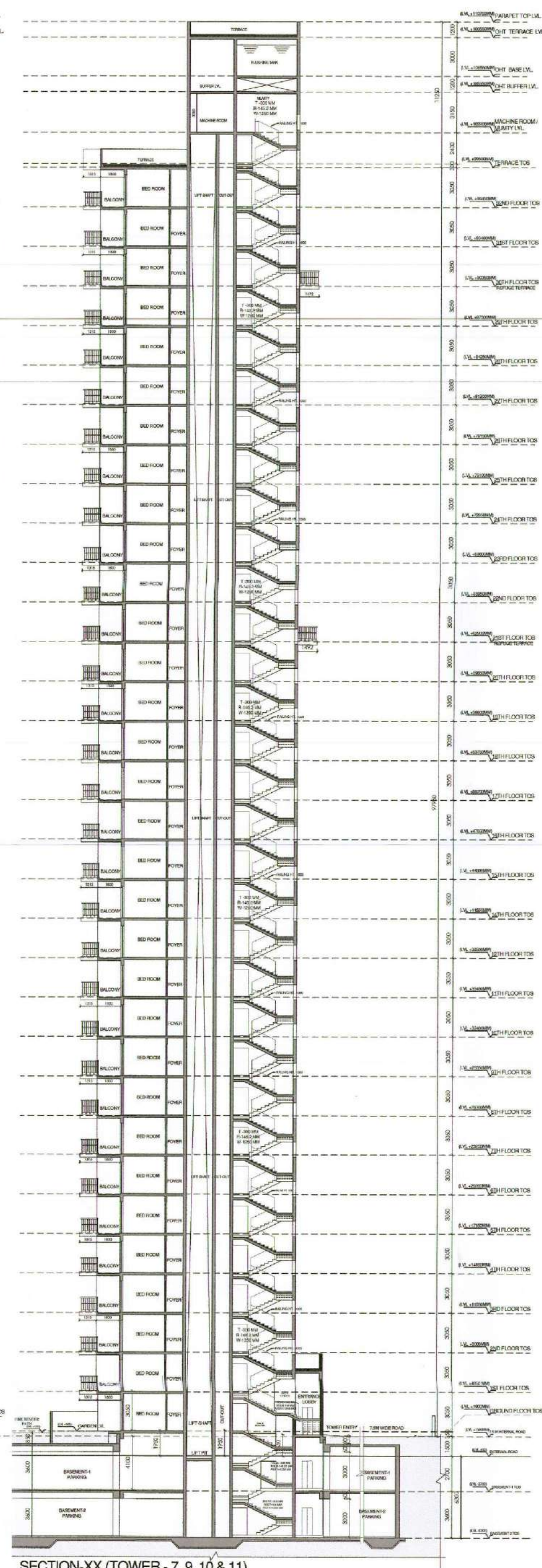


NOTE:  
13TH FLOOR NO. IS OMITTED  
FOR COUNTING PURPOSE





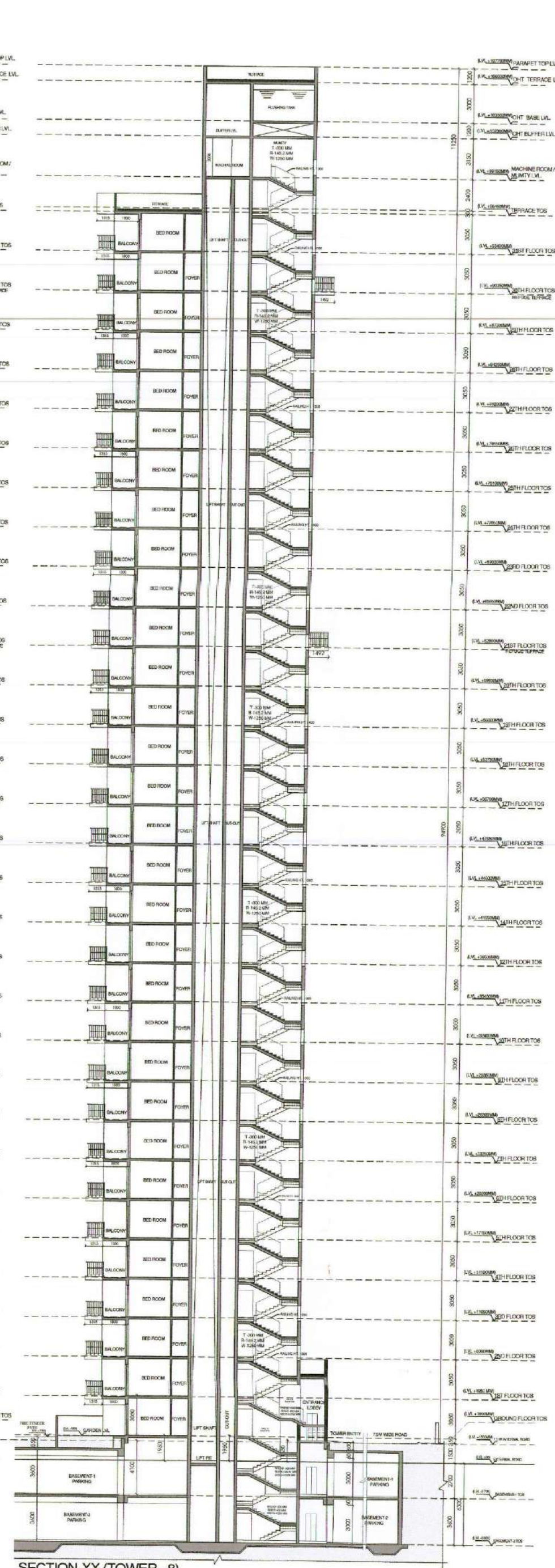
FRONT ELEVATION (TOWER - 7, 9, 10 & 11)



SECTION-XX (TOWER - 7, 9, 10 &amp; 11)



FRONT ELEVATION (TOWER - 8)

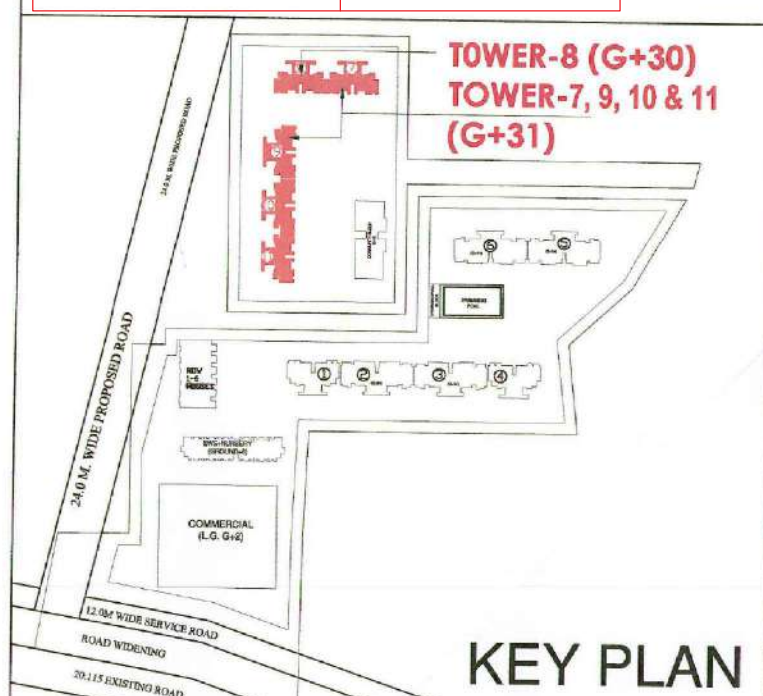
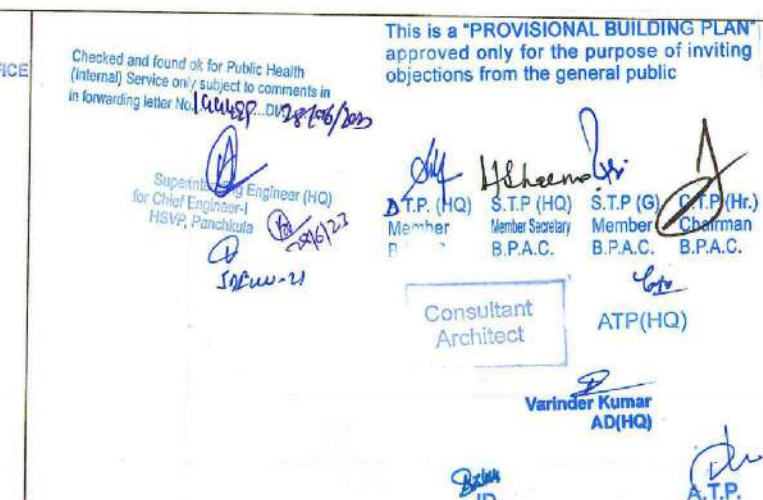


SECTION-XX (TOWER - 8)

- [illegible]

- |  |  |
|--|--|
| 1500 M.S. PIPE W/ET RESIN PIPE USED FOR GROUND TO 21 |  |
| 1500 M.S. PIPE W/ET RESIN PIPE USED FOR 22 TO 23     |  |
| 1500 M.S. PIPE W/ET RESIN PIPE USED FOR 23 TO 24     |  |
| 1500 M.S. SPINDRILLER PIGGER PIPE USED FOR 24 TO 26  |  |
| 1500 M.S. SPINDRILLER PIGGER PIPE USED FOR 26 TO 28  |  |
| 1500 M.S. SPINDRILLER PIGGER PIPE USED FOR 28 TO 29  |  |
| 1500 M.S. SPINDRILLER PIGGER PIPE USED FOR 29 TO 30  |  |
| 1500 M.S. SPINDRILLER PIGGER PIPE USED FOR 30 TO 31  |  |
| 600 M.S. CROWN PIPE                                  |  |
| 1500 M.S. GLEDE TO 250 TO 500 PIPE                   |  |
| 1500 M.S. GLEDE FROM 500 TO 1000 PIPE                |  |
| PIPE HOLE CASING                                     |  |
| FLOW CONTROL ADJUSTMENT BUTTERFLY VALVE              |  |
| FIXED TIE SPINDRILLER                                |  |
| NORMAL UCC WALL THICKNESS - 8.2 in                   |  |
| STRENGTHED UCC WALL THICKNESS - 6.0 in               |  |
| SPINDRILLER RECDLINE                                 |  |

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SR. NO	TYPE	SIZE	SILL	LINTEL	REMARKS
1	D1	800	X	2100	
2	D2	900	X	2100	
3	D3	1100	X	2400	1HR FIRE RATED DOOR
4	DW1	1650	X	2400	
5	DW2	1800	X	2400	
6	DW3	1250	X	2400	
7	V1	650	X	1200	2400
8	W1	1200	X	1200	2400
9	FD1	750	X	2100	
10	FD	1150	X	2100	2 HR FIRE
11	FD2	1100	X	2100	RATED DOOR

- ### **NOTES**
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  7. RAIN WATER HARVESTING SYSTEM SHALL BE PROVIDED AS PER CENTRAL GROUND WATER AUTHORITY NORMS/HARYANA GOVT.
  8. ALL WINDOWS & VENTILATORS ARE OPENABLE.
  9. ALL MECHANICALLY VENTILATED & ARTIFICIALLY LIT TOILET PROVIDED WITH 24hr POWER BACKUP.

DEVELOPED BY:

REVISÉ SUBMISSION DRAWING

PROJECT:  
REVISED BUILDING PLAN OF MIX LAND USE  
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COLLABORATION WITH 1000 TREES HOUSING  
PRIVATE LIMITED (NOW KNOWN AS AFS  
POWER PRIVATE LIMITED)

DRAWING TITLE :  
TYPE-B, TOWER-7, 9, 10 & 11 (G+31: PHYSICAL FLOORS)


TYPE-B, TOWER-8 (G+30:PHYSICAL FLOORS)

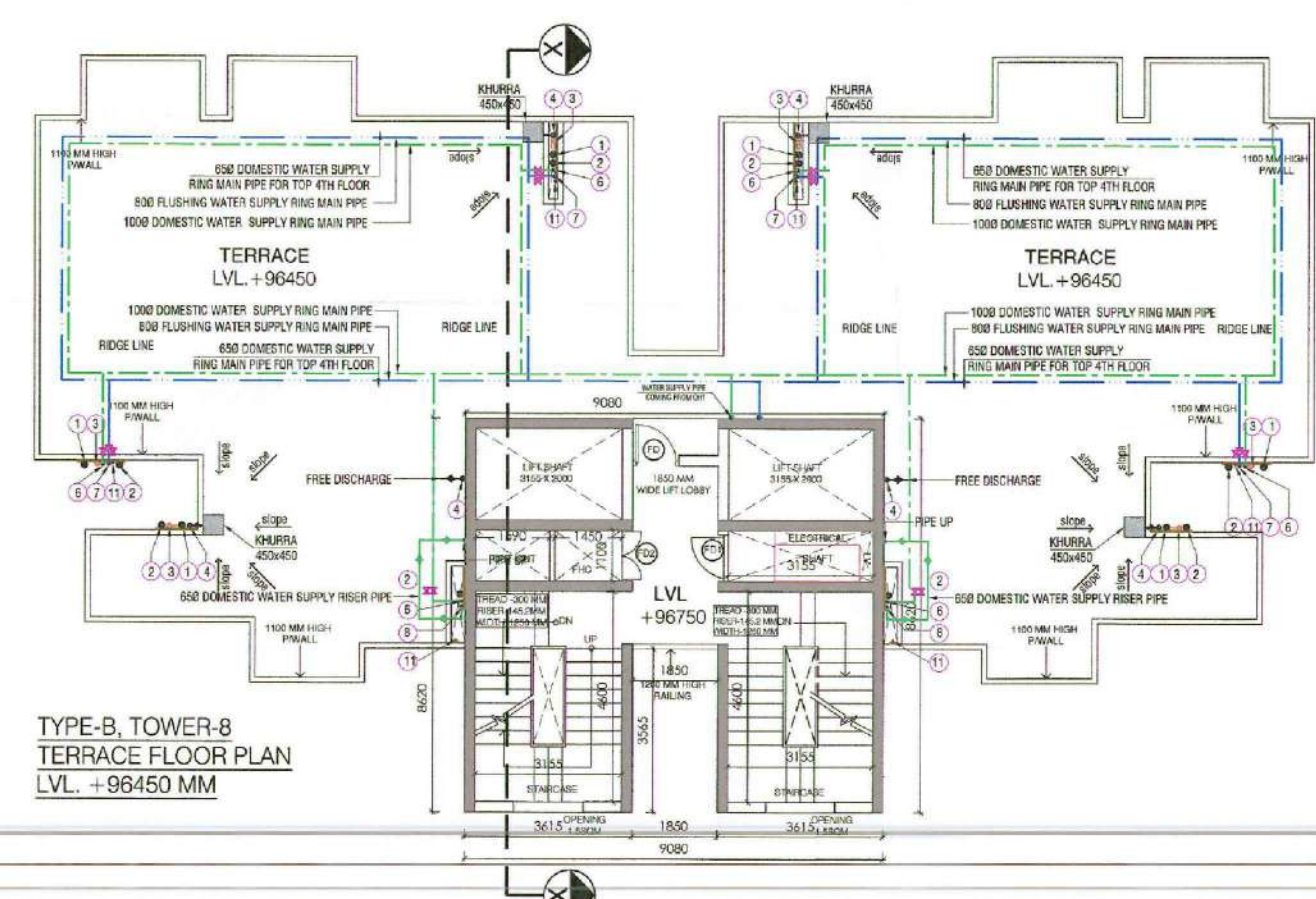
ELEVATION & SECTION		
DEALT BY	SCALE 1:100	DRG. NO. AR-B-3.4

CHECKED BY	DATE	SHEET NO.
1000 Trees Housing Pvt Ltd	04-04-2023	13/22
THROUGH AUTHORIZED SIGNATORY		

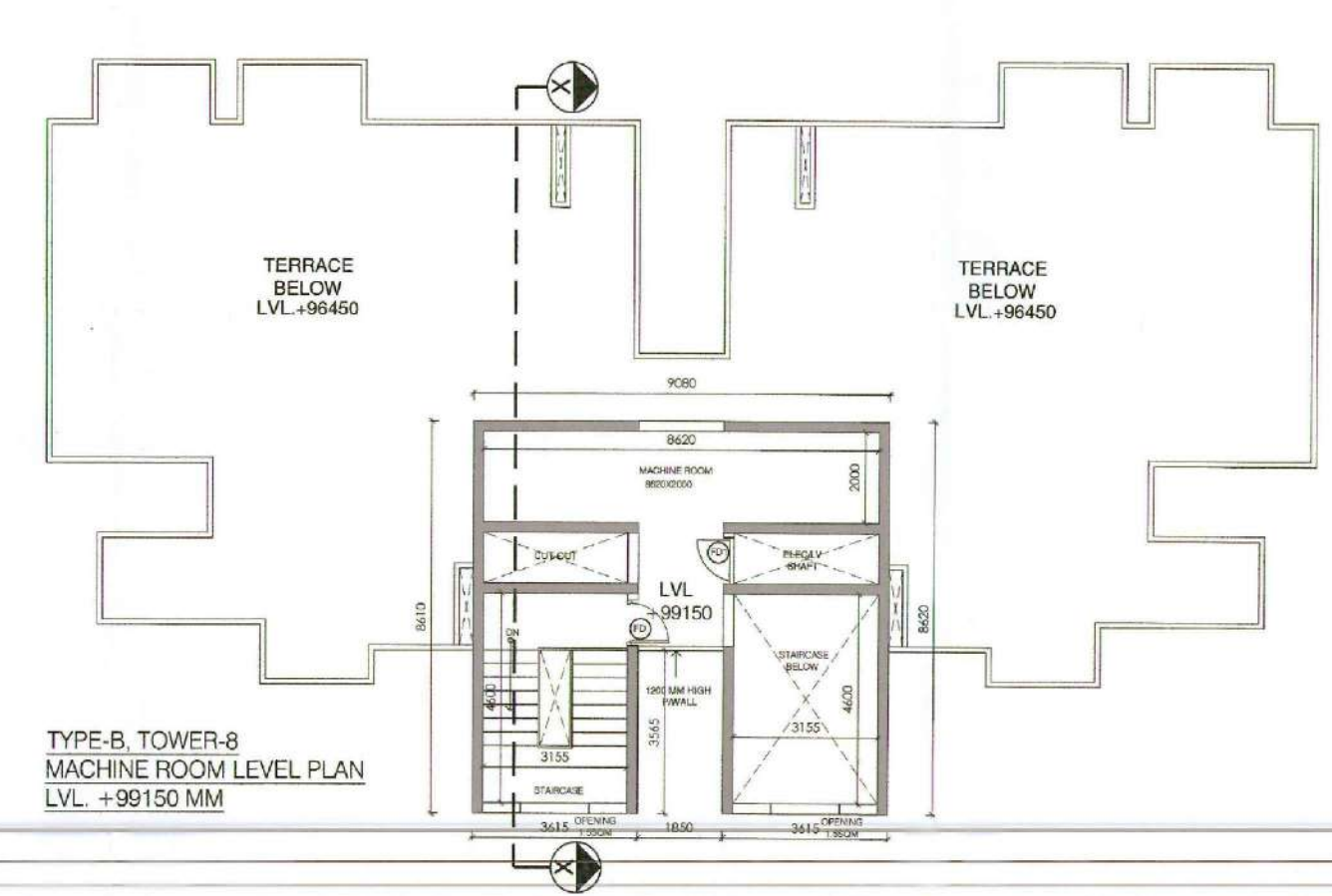
THROCKMORTON, S. AUTHORIZED SIGNATORY

<p>Authorized Signatory</p> <p>are Meadows Pvt. Ltd.</p>	<p>ARCHITECT</p>
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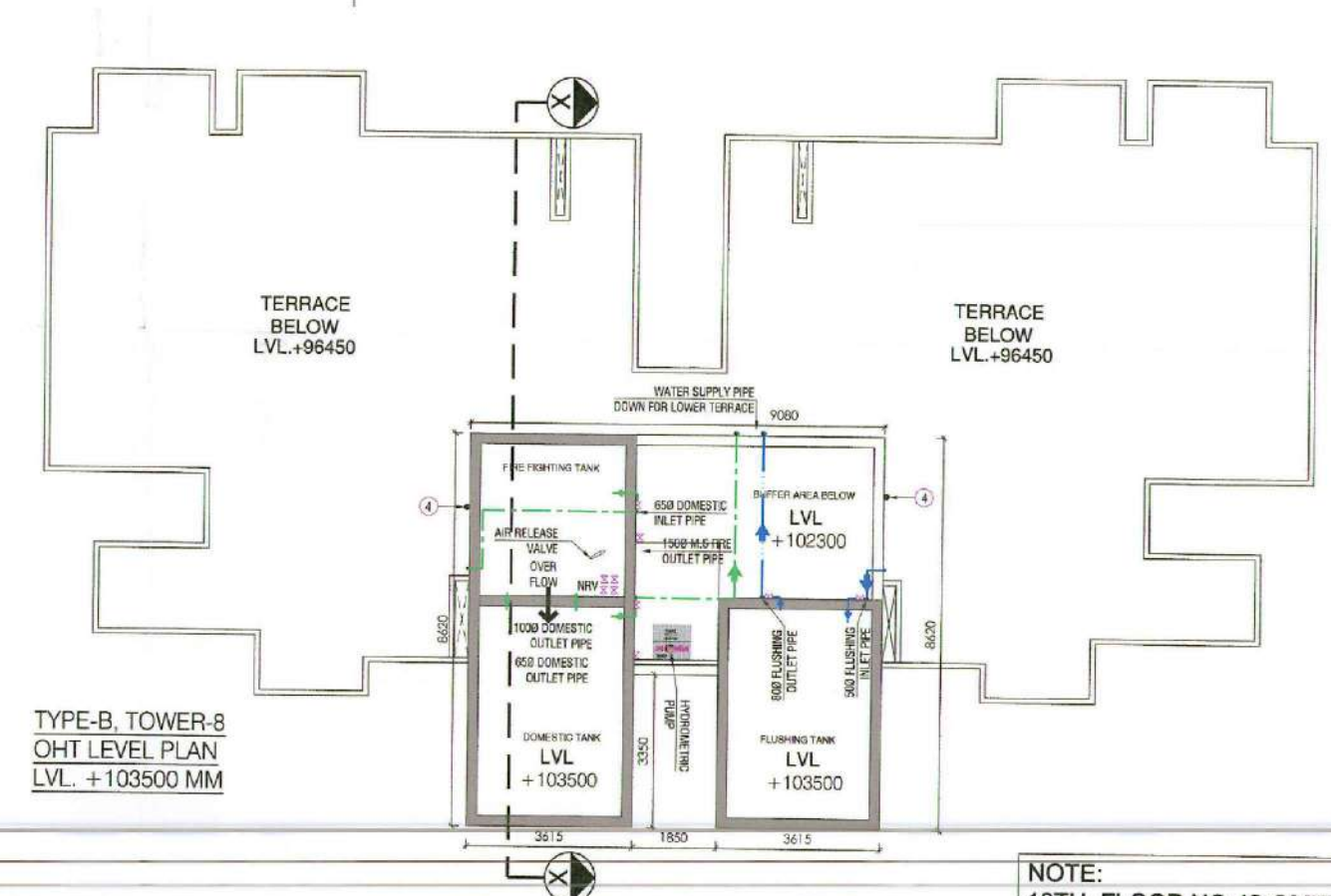
 Authorised Signatory	ARCHITECT KAUSHIK KUMAR MODI CA/2009/46587
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TYPE-B, TOWER-8  
TERRACE FLOOR PLAN  
LVL. +96450 MM



TYPE-B, TOWER-8  
MACHINE ROOM LEVEL PLAN  
LVL. +99150 MM



TYPE-B, TOWER-8  
OHT LEVEL PLAN  
LVL. +103500 MM

NOTE:  
13TH FLOOR NO. IS OMITTED  
FOR COUNTING PURPOSE