

ROAD LAYOUT

AREA STATEMENT FOR DEEN DYAL JAN AVAS YOJNA				
	Area In acres	Percentage	Proposed area	Proposed Percentage
Total area of land (9.61406 acres (Migration)+0.875 acre (Additional))				
Area under 100m wide Green belt	10.48906			
Balance area of Scheme	10.14106			
50% area of Green Belt	0.174			
Net Planned Area	10.31506			
Required open space	0.7736	7.5	1.1675	11.32
10% area to be transferred free of cost to the Government	1.031506	10	1.050	10.0123
Permissible Commercial area	0.4126	4	0.252	2.44
Area under plots	6.2922	61	5.0401	48.86
Total permissible saleable area	6.8179	65	5.29	51.30
Minimum permissible density	240		291.85	PPA
Maximum permissible density	400			

DETAIL OF PLOTS					
DESCRIPTION	SIZE	AREA	NO. OF PLOTS	TOTAL AREA	
Category-1	6.00 X 14.00	84.00	157	13188.00	
Category-2	6.56 X 16.00	104.96	25	2624.00	
Category-3	6.75 X 17.46	117.86	13	1532.12	
Category-4	7.50 X 17.00	127.50	13	1657.50	
Category-5	6.00 X 15.50	93.00	15	1395.00	
			223.00	20396.62	
					Acres 5.0401

POPULATION DETAIL		DETAIL OF GREEN AREA	
NO. OF PLOTS	223 SQM	GREEN-1	657.16 SQM
DENSITY PER PLOT	13.5 NOS.	GREEN-2	1055.62 SQM
TOTAL POPULATION	3010.5 NOS.	GREEN-3	1861.83 SQM
		GREEN-4	1150 SQM
		TOTAL	4724.61 SQM

Detail of 50% freed area shown as

DETAIL OF PLOTS					
DESCRIPTION	SIZE	AREA	NO. OF PLOTS	TOTAL AREA	
Category-1	6.00 X 14.00	84.00	110	9240	
Category-5	6.00 X 15.50	93.00	11	1023.00	
			121	10263	
					Acres 2.536
					50.31%

Detail of 15% to be mortgaged area shown as

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Category-1	6.00 X 14.00	84.00	25	2100.00	
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			36	3123	
					Acres 0.7717
					15.31%

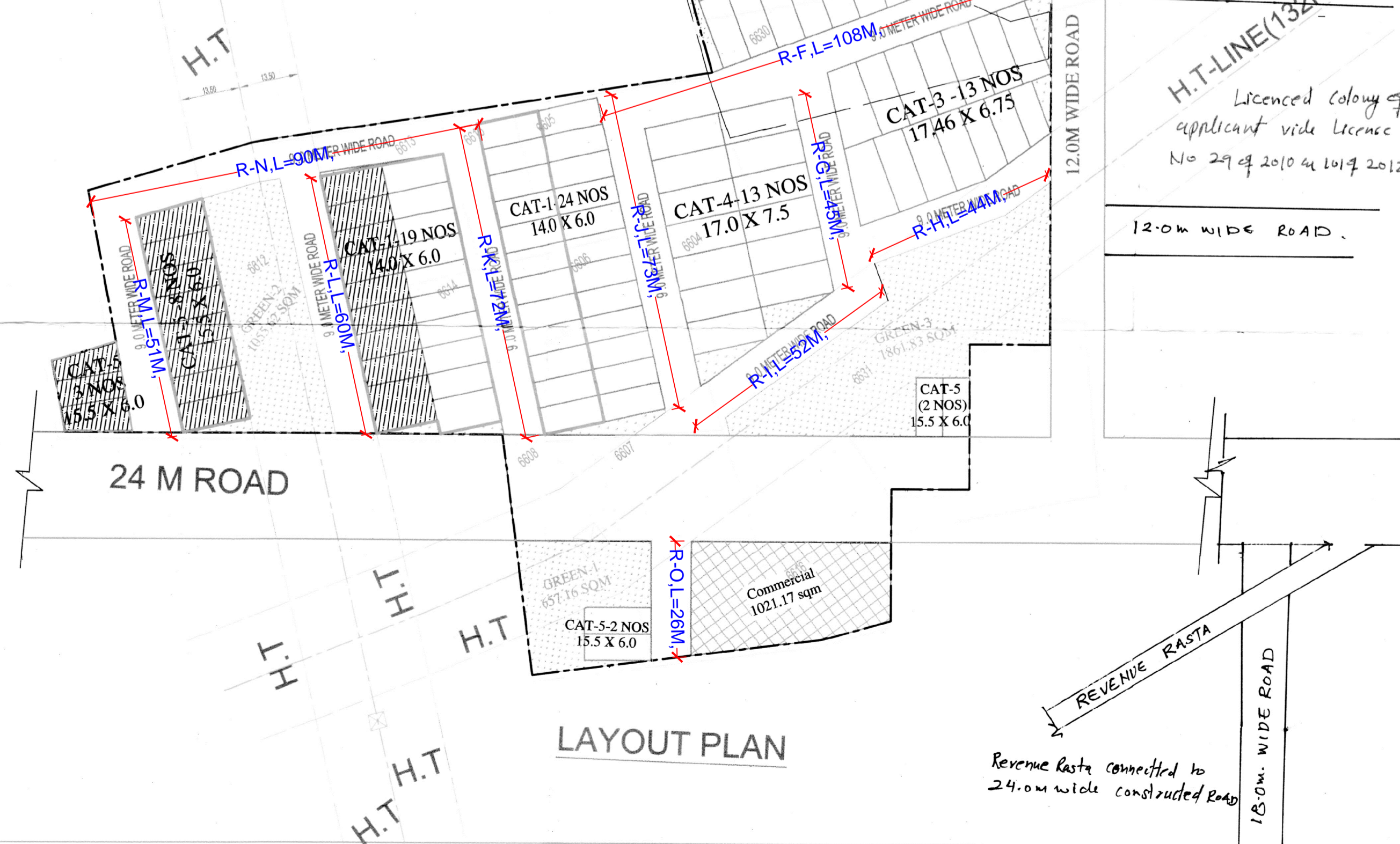
Detail of land to be mortgaged:-

Village	Khasra No	Area (in SqMtrs)	Area(B-B-B)
Rohtak	6641 Min	877	0-6-19
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	TOTAL	3123	0-24-14

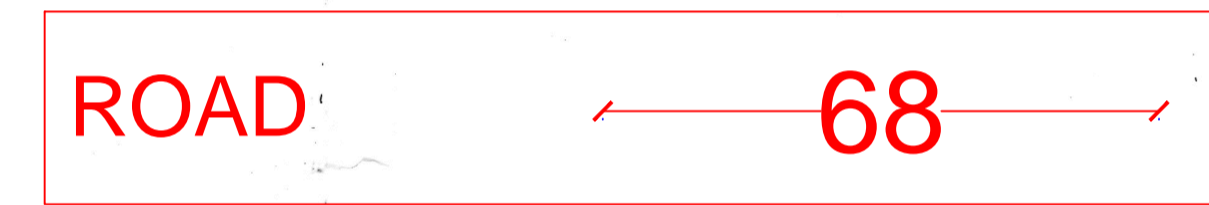
LAYOUT PLAN OF RESIDENTIAL COLONY UNDER DEEN DAYAL JAN AWAS YOJNA ON THE AREA MEASURE 10.4513 ACRES IN THE REVENUE ESTATE OF VILLAGE ROHTAK IN SECTOR-37, ROHTAK, HARYANA BEING DEVELOPED BY ONE POINT REALTY P. LIMITED.

DATE -	NORTH
SCALE = 1:1000	
SIGNATURE OF OWNER	SIGNATURE OF ARCHITECT

SHIV KUMAR ARCHITECT Registration No. 78356



LEGEND:-



To be read with Licence No. 32 of 2017 Dated 15/12/2017. LC 3295

- That this Layout Plan shall be read in conjunction with the clauses appearing on the agreement executed under Rule 11 and the bilateral agreement.
- That the plotted area of the colony shall not exceed 65% of the net planned area of the colony. The entire area reserved for commercial purposes shall be taken as plotted for calculation of the area under plots.
- That the demarcation plans as per site of all the Residential Plots and Commercial site shall be got approved from this Department and construction of these sites shall be governed by the Haryana Building Code, 2017 and the Zoning Plan approved by the Director, Town & Country Planning, Haryana.
- That for proper planning and integration of services in the area adjacent to the colony, the colonizer shall abide by the directions of the DTCP for the modification of layout plans of the colony.
- That the revenue rasta falling in the colony shall be kept free for circulation/movement as shown in the layout plan.
- That the colonizer shall abide by the directions of the DTCP, Haryana and accordingly shall make necessary changes in the layout plan for making any adjustment in the alignment of the peripheral roads, internal road circulation or for proper integration of the planning proposals of the adjoining areas.
- That no property/plot shall derive access directly from the carriage way of 30 metres or wider sector road if applicable.
- All green belts provided in the layout plan within the licenced area of the colony shall be developed by the colonizer. All other green belts outside the licenced area shall be developed by the Haryana Urban Development Authority/colonizer on the directions of the Director, Town & Country planning, Haryana or in accordance with terms and conditions of the agreements of the licence.
- At the time of demarcation plan, if required percentage of organized open space is reduced, the same will be provided by the colonizer in the licenced area.
- No plot will derive an access from less than 9 metres wide road would mean a minimum clear width of 9 metres between the plots.
- Any excess area over and above the permissible 4% under commercial use shall be deemed to be open space.
- The maximum number of dwelling units in a plot shall be as per the provisions of the Haryana Building Code, 2017. This condition shall also be incorporated in the zoning plan and in the allotment letters being issued by the colonizer to the plot holders. The stipulation shall also be incorporated in the agreement to be executed by the colonizer with the plot buyers.
- The portion of the sector/development plan roads /green belts as provided in the Development Plan if applicable, which form part of the licenced area shall be transferred free of cost to the government on the lines of Section 3(i)(iii) of the Act No 8 of 1975.
- That the odd size plots are being approved subject to the conditions that these plots should not have a frontage of less than 75% of the standard frontage when demarcated.
- That you will have no objection to the regularization of the boundaries of the licence through give and take with the land that HUDA is finally able to acquire in the interest of planned development and integration of services. The decision of the competent authority shall be binding in this regard.
- That the rain water harvesting system shall be provided as per Central Ground Water Authority norms/Haryana Govt. notification as applicable.
- That the colonizer/owner shall use only Light-Emitting Diode lamps (LED) fitting for internal lighting as well as Campus lighting.
- That the colonizer/owner shall ensure the installation of Solar Power Plant as per provisions of Haryana Solar Power Policy, 2016 issued by Haryana Government Renewable Energy Department vide Notification No. 19/4/2016-5 Power dated 14.03.2016.
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- That the colonizer/owner shall strictly comply with the directions issued vide Notification No. 19/6/2016-5P dated 31.03.2016 issued by Haryana Government Renewable Energy Department for enforcement of the Energy Conservation Building Codes.

(RAM AVTAR BASSI) AD (HQ) (DINESH KUMAR S.K. SEHRAWAT) SD (HQ) (DEVENDRA NIMBOKAR) DTP (HQ) (KAMAL KUMAR) STP (M) HQ (T.L. SATYAPRAKASH) CTP (HR) (I.A.S.) DTP (HR)

ROAD LAYOUT

SEWER LAYOUT

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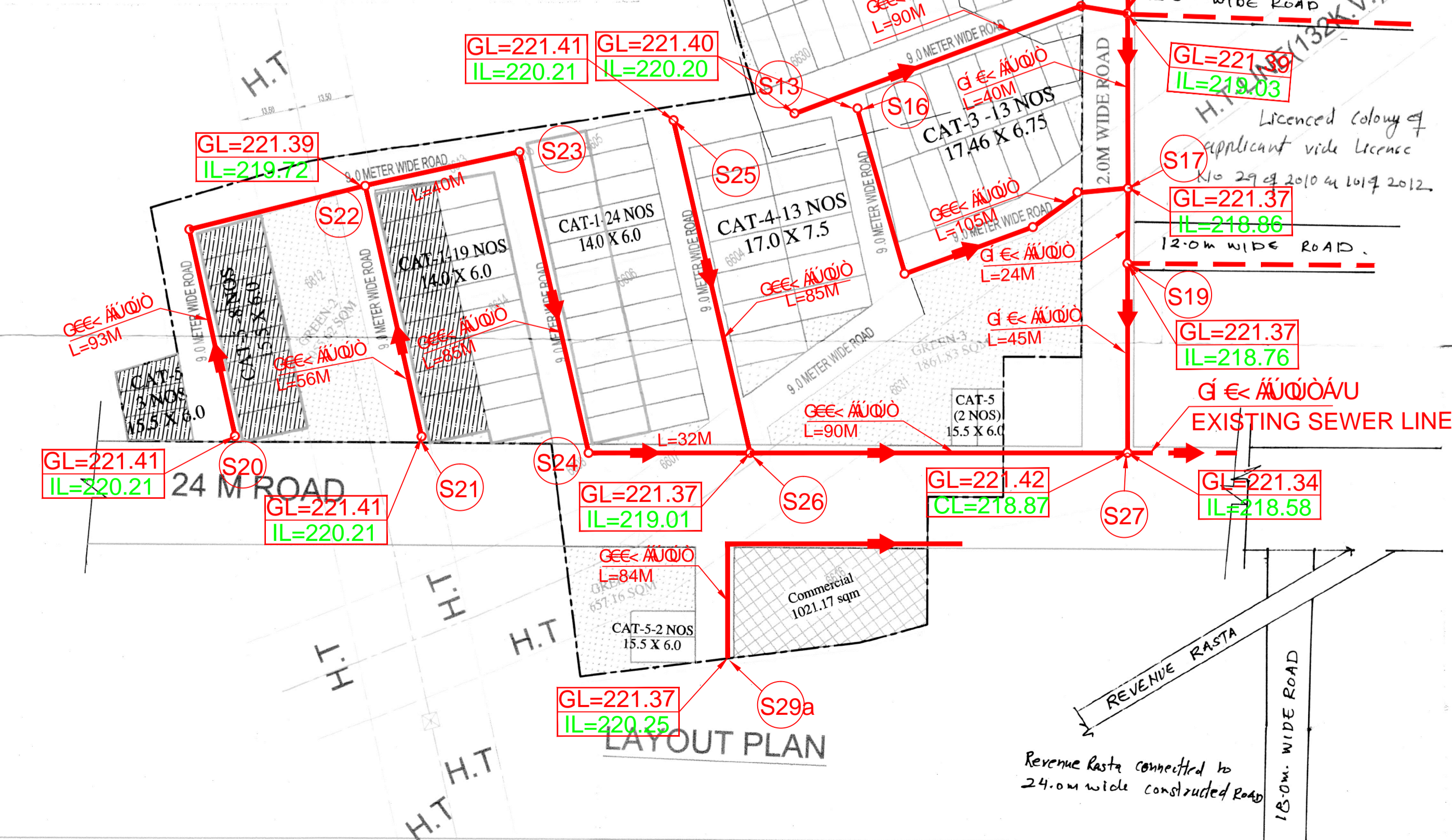
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LEGEND:-

	SEWER MANHOLE
	FROM EXISTING LINE
	SEWER LINE
GL	GROUND LEVEL
IL	INVERT LEVEL
CL	CONNECTION LEVEL

To be read with Licence No. 32 of 2017 Dated 15/12/2017.

This Layout plan for an area measuring 10.48906 acres (Drawing No. DTCP-5846 dated 03.05.2017) comprised of licence which is issued in respect of Affordable Residential Plotted Colony (Under Deen Dayal Jan Awaz Yojna) being developed by One Point Realty Pvt. Ltd. in Sector 37, Rohtak is hereby approved subject to the following conditions:-

- That this Layout Plan shall be read in conjunction with the clauses appearing on the agreement executed under Rule 11 and the bilateral agreement.
- That the plotted area of the colony shall not exceed 65% of the net planned area of the colony. The entire area reserved for commercial purposes shall be taken as plotted for calculation of the area under plots.
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STORM WATER DRAINAGE LAYOUT

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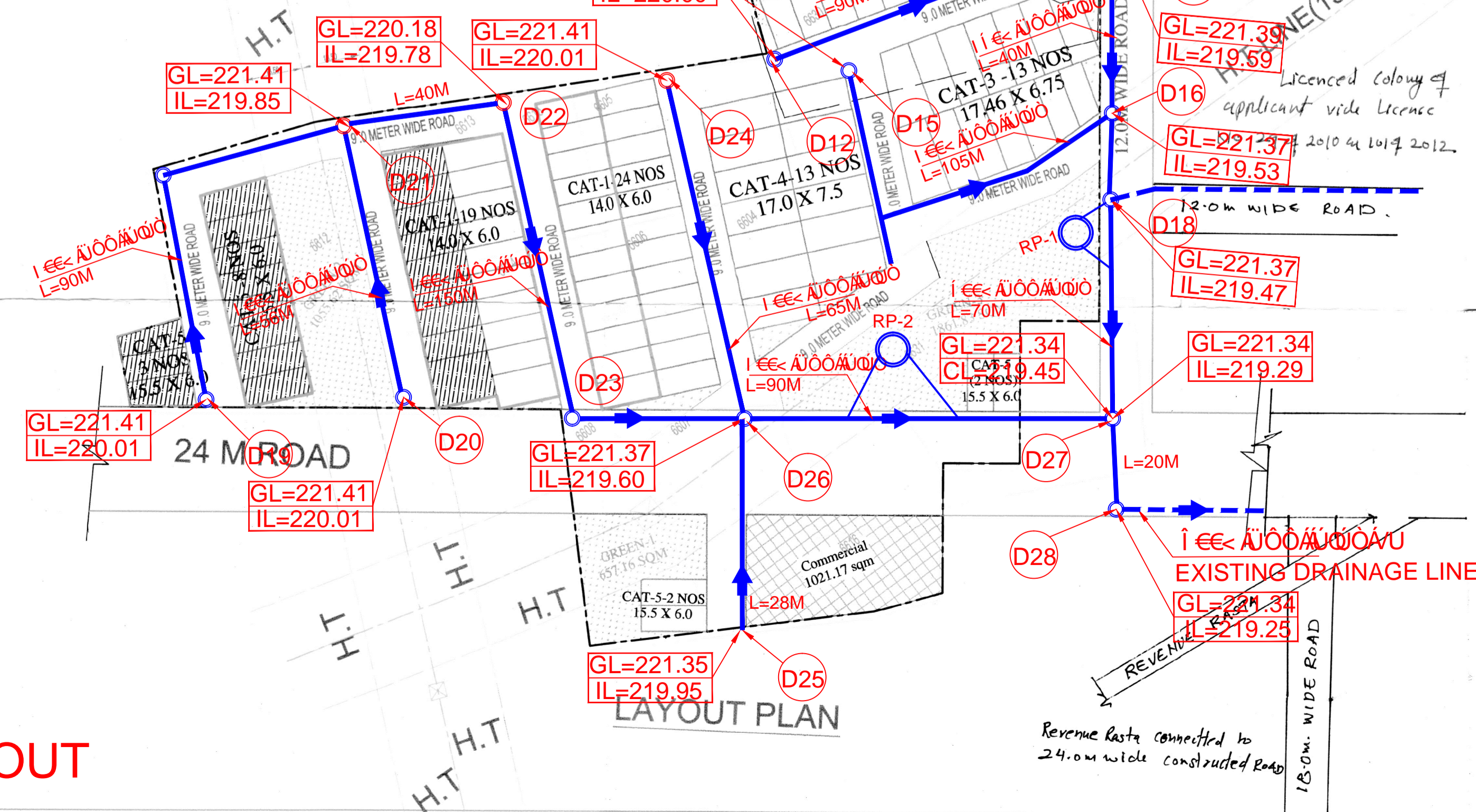
NORTH

SCALE = 1:1000

For One point Realty P.Ltd.
SIGNATURE OF OWNER

SHIV KUMAR ARCHITECT
Registration No. 78356
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LEGEND:-

	STORM MANHOLE
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	EXISTING STORM WATER LINE
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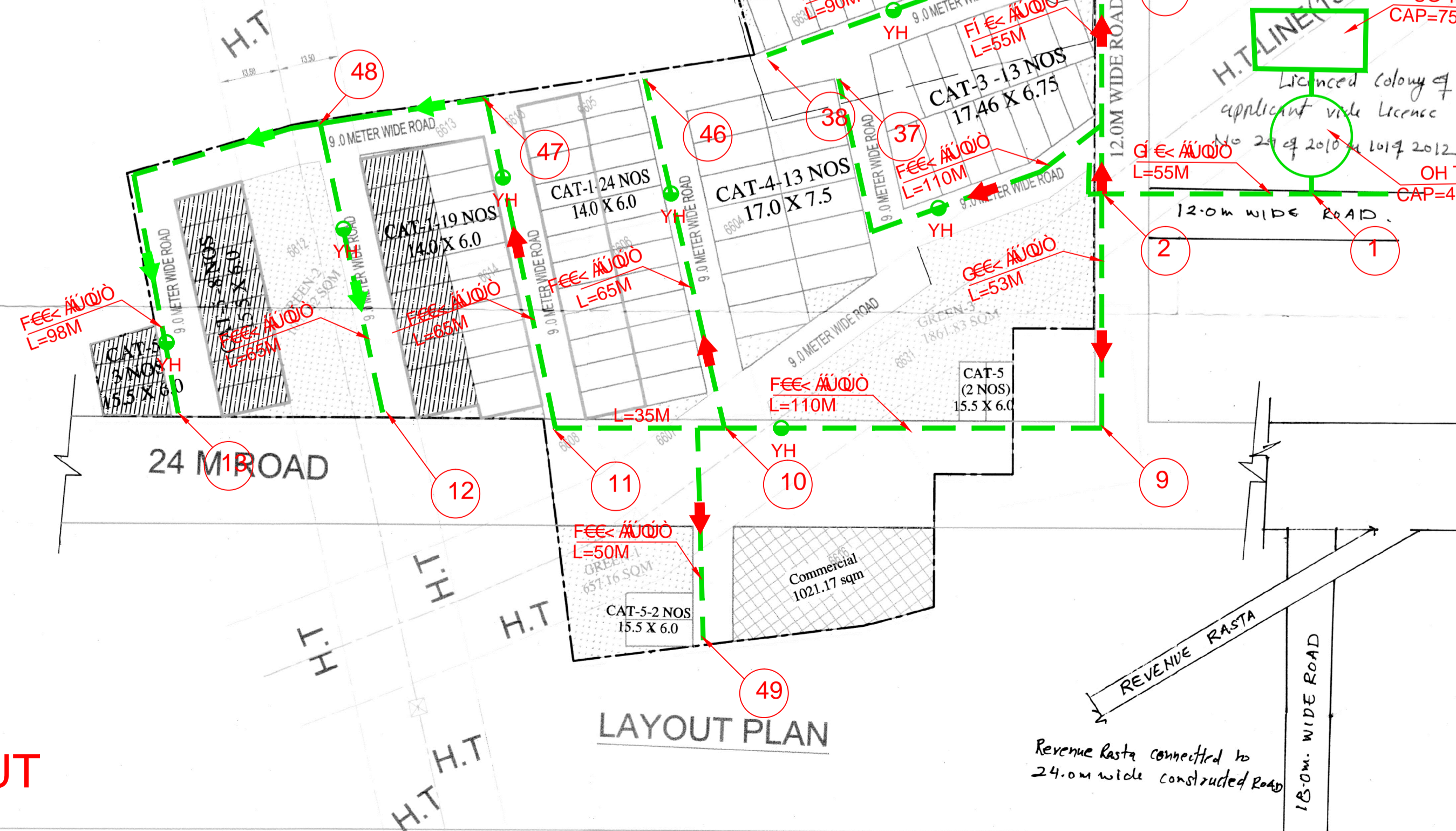
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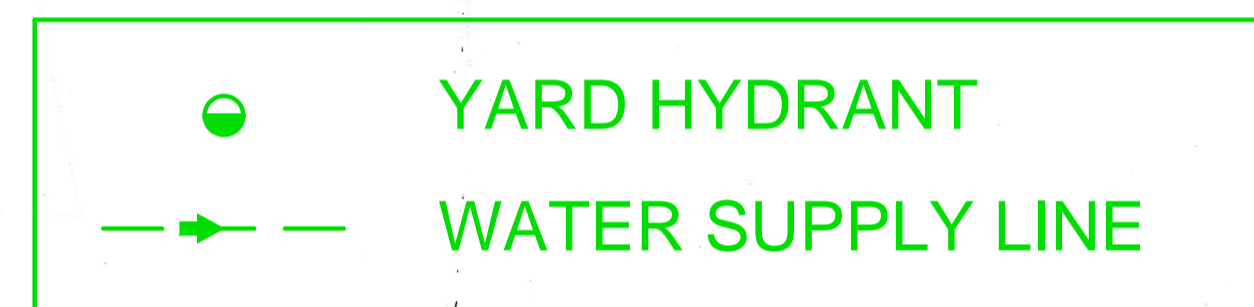
LAYOUT PLAN OF RESIDENTIAL COLONY UNDER DEEN DAYAL JAN AWAS YOJNA ON THE AREA MEASURE 10.4513 ACRES IN THE REVENUE ESTATE OF VILLAGE ROHTAK IN SECTOR-37, ROHTAK, HARYANA BEING DEVELOPED BY ONE POINT REALTY P. LIMITED.

DATE -	NORTH
SCALE = 1:1000	
SIGNATURE OF OWNER	SIGNATURE OF ARCHITECT

SHIV KUMAR ARCHITECT
Registration No. 78356



LEGEND:-



To be read with Licence No. 32 of 2017 dated 15/12/2017.

- That this Layout Plan shall be read in conjunction with the clauses appearing on the agreement executed under Rule 11 and the bilateral agreement.
- That the plotted area of the colony shall not exceed 65% of the net planned area of the colony. The entire area reserved for commercial purposes shall be taken as plotted for calculation of the area under plots.
- That the demarcation plans as per site of all the Residential Plots and Commercial site shall be got approved from this Department and construction on these sites shall be governed by the Haryana Building Code, 2017 and the Zoning Plan approved by the Director, Town & Country Planning, Haryana.
- That for proper planning and integration of services in the area adjacent to the colony, the colonizer shall abide by the directions of the DTCP for the modification of layout plans of the colony.
- That the revenue rasta falling in the colony shall be kept free for circulation/movement as shown in the layout plan.
- That the colonizer shall abide by the directions of the DTCP, Haryana and accordingly shall make necessary changes in the layout plan for making any adjustment in the alignment of the peripheral roads, internal road circulation or for proper integration of the planning proposals of the adjoining areas.
- That no property/plot shall derive access directly from the carriage way of 30 metres or wider sector road if applicable.
- All green belts provided in the layout plan within the licenced area of the colony shall be developed by the colonizer. All other green belts outside the licenced area shall be developed by the Haryana Urban Development Authority/colonizer on the directions of the Director, Town & Country planning, Haryana or in accordance with terms and conditions of the agreements of the licence.
- At the time of demarcation plan, if required percentage of organized open space is reduced, the same will be provided by the colonizer in the licenced area.
- No plot will derive an access from less than 9 metres wide road would mean a minimum clear width of 9 metres between the plots.
- Any excess area over and above the permissible 4% under commercial use shall be deemed to be open space.
- The maximum number of dwelling units in a plot shall be as per the provisions of the Haryana Building Code, 2017. This condition shall also be incorporated in the zoning plan and in the allotment letters being issued by the colonizer to the plot holders. The stipulation shall also be incorporated in the agreement to be executed by the colonizer with the plot buyers.
- The portion of the sector/development plan roads /green belts as provided in the Development Plan if applicable, which form part of the licenced area shall be transferred free of cost to the government on the lines of Section 3(3)(a)(iii) of the Act No.8 of 1975.
- That the odd size plots are being approved subject to the conditions that these plots should not have a frontage of less than 75% of the standard frontage when demarcated.
- That you will have no objection to the regularization of the boundaries of the licence through give and take with the land that HUDA is finally able to acquire in the interest of planned development and integration of services. The decision of the competent authority shall be binding in this regard.
- That the rain water harvesting system shall be provided as per Central Ground Water Authority norms/Haryana Govt. notification as applicable.
- That the colonizer/owner shall use only Light-Emitting Diode lamps (LED) fitting for internal lighting as well as Campus lighting.
- That the colonizer/owner shall ensure the installation of Solar Power Plant as per provisions of Haryana Solar Power Policy, 2016 issued by Haryana Government Renewable Energy Department vide Notification No. 19/4/2016-5 Power dated 14.03.2016.
- That the colonizer/owner shall ensure the installation of Solar Photovoltaic Power Plant as per the provisions of order No.22/52/2005-SPower dated 21.03.2016 issued by Haryana Government Renewable Energy Department.
- That the colonizer/owner shall strictly comply with the directions issued vide Notification No. 19/6/2016-5P dated 31.03.2016 issued by Haryana Government Renewable Energy Department for enforcement of the Energy Conservation Building Codes.

(RAM AVTAR BASSI) AD (HQ) (DINESH KUMAR S.K. SEHRAWAT) SD (HQ) (DEVENDRA NIMBOKAR) DTP (HQ) (KAMAL KUMAR) STP (M) HQ (T.L. SATYAPRAKASH, IAS) CTP (HR) (RAM AVTAR BASSI) AD (HQ) (DINESH KUMAR S.K. SEHRAWAT) SD (HQ) (DEVENDRA NIMBOKAR) DTP (HQ) (KAMAL KUMAR) STP (M) HQ (T.L. SATYAPRAKASH, IAS) CTP (HR)

DOMESTIC WATER SUPPLY LAYOUT