

Bond



**Indian-Non Judicial Stamp  
Haryana Government**



Date : 11/01/2023

Certificate No. G0K2023A401



Stamp Duty Paid : ₹ 101

(Rs. Only)

GRN No. 98028820



Penalty : ₹ 0

(Rs. Zero Only)

**Deponent**

Name : Oasis Land Marks llp

H.No/Floor : Na

Sector/Ward :

Landmark : Na

City/Village : Gurugram

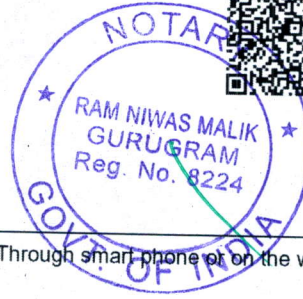
District : Gurugram

State : Haryana

Phone : 87\*\*\*\*\*73



Purpose : **AGREEMENT to be submitted at Gurugram**



The authenticity of this document can be verified by scanning this QrCode Through smart phone or on the website <https://egrashry.nic.in>

**AFFIDAVIT CUM DECLARATION**

**Affidavit cum Declaration of Mr. Tarun Chadha authorised representative of the Oasis Landmark LLP, Promoter Company of the proposed project Godrej Icon Tower 4/E & Tower 5/F.**

I, Tarun Chadha authorised representative of Oasis Landmark LLP, the promoter of the proposed project Godrej Icon Tower 4/E & Tower 5/F ("**Project**") do hereby solemnly declare, undertake and state as under:

1. Oasis Landmark LLP ("Promoter") has legal title to the land on which the development of the Project is to be carried out.
2. That the Promoter has applied for the registration of the Project with the Haryana Real Estate Authority, Gurugram.
3. a. The Promoter has already obtained Occupation Certificate for Godrej Icon Tower 5/F vide DTCP office memo no. ZP-959-II/SD(DK)/2021/2075 dated 25.01.2022, the promoter shall obtain Completion Certificate on or before 31.12.2029.  
b. The Promoter shall obtain Occupation Certificate for Godrej Icon Tower 4/E on or before 30.09.2029 the promoter shall obtain Completion Certificate on or before 31.12.2029.

4. That seventy per cent of the amounts realised by Promoter for the real estate Project from the Allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose.
5. That the amounts from the separate account, to cover the cost of the Project, shall be withdrawn by Promoter in proportion to the percentage of completion of the Project.
6. That the amounts from the separate account shall be withdrawn Promoter after it is certified by an engineer, an architect and a chartered accountant in practice that the withdrawal is in proportion to the percentage of completion of the Project.
7. That Promoter shall get the accounts audited within six months after the end of every financial year by a chartered accountant in practice, and shall produce a statement of accounts duly certified and signed by such chartered accountant and it shall be verified during the audit that the amounts collected for a particular project have been utilised for the project and the withdrawal has been in compliance with the proportion to the percentage of completion of the Project.
8. That Promoter shall take all the pending approvals on time, from the competent authorities.
9. That Promoter has furnished such other documents as have been prescribed by the Act and the rules and regulations made thereunder.
10. That Promoter shall not discriminate against any allottee at the time of allotment of any apartment, plot or building, as the case may be, on the grounds of sex, caste, creed, religion etc.

  
DEPONENT

#### VERIFICATION

The contents of my above Affidavit cum Declaration are true and correct derived from the records maintained by the promoter during the course of the business and nothing material has been concealed by me therefrom.

Verified by me at Gurugram on this \_\_\_ day of \_\_\_\_\_ 2022.

  
DEPONENT



ATTESTED  
  
RAM NIWAS MALIK, ADVOCATE  
NOTARY, GURUGRAM (HR.) INDIA

17 JAN 2023