

**ZONING PLAN FOR AFFORDABLE PLOTTED COLONY UNDER DEEN DAYAL JAN AWAS YOJNA 2016 OVER AN AREA MEASURING 59.9659 ACRES FALLING UNDER LICENSE NO. 118 OF 2023 DATED 05.06.2023 IN THE REVENUE ESTATE OF BAJIDPUR, BIDPIPLI, SANWLA, & PRATAPGARH, SECTOR -41, KURUKSHETRA, HARYANA BEING DEVELOPED BY GODREJ PROJECTS DEVELOPMENT LTD.**

**FOR PURPOSE OF CODE 1.2 (KCVI) & 6.1 (1) OF THE HARYANA BUILDING CODE, 2017, AS AMENDED FROM TIME TO TIME.**

**1. USE ZONE**

The land shown in this zoning plan shall be utilized in accordance with the marking explained in the table below and no other manner whatsoever:

Notation	Permissible use of land on the portion of the plot marked in column 1	Type of building permissible on land marked in column 2
	Road	Road furniture as approved by civic.
	Public open space	To be used only for landscaped features.
	Residential Building Zone	Residential building.
	Commercial	As per supplementary zoning plan to be approved separately for each site.

**2. MAXIMUM PERMISSIBLE GROUND COVERAGE BASEMENT, FAR AND MAXIMUM PERMISSIBLE HEIGHT / INCLUDING STEEP PARKING**

(a) The building or buildings shall be constructed only within the portion of the site marked as building zone as required above and nowhere else.  
 (b) The Maximum permissible ground cover age, basement, FAR (DQAF Policy dated 08.02.2016) and maximum permissible height / including steep parking on the area of the site mentioned in column-1, according to the table below:

Plot Area (sq. meters)	Maximum Permissible Ground Coverage	Permissible Basement	Maximum Permissible Floor area Ratio (FAR)	Maximum permissible height
upto 150 square meters	70%	Single level	200%	36.5

(c) The sites permitted parking purpose in residential plots of all sizes subject to the condition that maximum permissible height of building shall not exceed 18.50 meters as per terms & conditions of policy circulated vide Memo No. MSC-2189 VOL-II/UB/75/2026-TCF dated 25.04.2022

**3. PERMISSIBLE NUMBER OF DWELLING UNIT ON EACH PLOT**

(i) Not more than 3 dwelling units shall be allowed on each plot as per approved layout plan dated 05.06.2023

**4. BAR ON SUB-DIVISION OF PLOT**

Sub-division & clubbing of the plots shall not be permitted any circumstances.

**5. BUILDING SETBACK**

Building or wall boundary wall and gate shall be constructed only within the portion of the site marked as residential building zone in a cluster number as above. The cantilever projections as allowed in Haryana Building Code, 2017 shall project beyond the portion marked as residential building zone.

**6. HEIGHT OF THE BUILDING AND PERMISSIBLE NUMBER OF STOREY**

The maximum height and number of storeys shall be allowed on the plot as per provisions of Haryana Building Code, 2017

**7. STEEP PARKING**

Steep parking is allowed in all cases plots. The clear height of the slab shall be 2.80 metres from the plinth level and below the bottom of the beam. The SSI will not be permissible for any purpose other than parking.

**8. PARKING**

(a) Parking shall be provided as per the provisions of Haryana Building Code- 2017, as amended from time to time.  
 (b) In no circumstances, the vehicles belonging to the plot shall be parked outside the plot area.

**9. FINISH LEVEL**

The finish level of building shall be as per Code No. 7.3 of the Haryana Building Code, 2017

**10. BASEMENT**

Single level basements within the building zone of the site shall be provided as per Code 6.10.10.1 and shall be constructed, used and maintained as per Code 7.36 of the Haryana Building Code, 2017.

**11. RESTRICTION OF ACCESS FROM 45 MTS. WIDE OR MORE SECTOR ROADS AND PUBLIC OPEN SPACES**

In the case of plots which abut on the 45 meters or more wide sector roads and plots which abut on public open spaces, no direct access whatsoever secondary or main shall be allowed into the plots from such roads and open spaces.

**12. BOUNDARY WALL**

(a) The boundary wall shall be constructed as per Code 7.5.1 of Haryana Building Code, 2017.  
 (b) The boundary walls in front courtyard which abut on a road or an open space shall be constructed according to standard design as approved by the DTP. The boundary wall on the rear courtyard shall not be more than 1.80 meters in height.  
 (c) In case of corner plots, boundary walls shall be rounded off at such corner by a radius as given below:  
 (i) 1.50 meters radius for plots opening on to open space.  
 (ii) 1.0 meters radius for plots.  
 (d) The owner/applicant if desired, is permitted to not construct boundary wall in front of plot so that the said area can be utilized for parking.

**13. GATE AND GATE POST**

(a) Gate and gate post shall be constructed as per approved standard design, at the position indicated on the zoning plan.  
 (b) An additional wider gate of standard design not exceeding 1.15 meter width may be allowed in the front side boundary wall provided further that no gate shall be allowed in the rear boundary wall or towards the sector road and public open space.

**14. DISPLAY OF POSTAL NUMBER OF THE PLOT**

The premises number and postal address shall be written at the space shown for this purpose on the standard design of the gate as per approved design.

**15. GARBAGE COLLECTION POINT**

Every plot holder shall make adequate provision for garbage collection in his own plot and make suitable arrangement for disposal at the towable collection point to be provided by the collector.

**16. ACCESS**

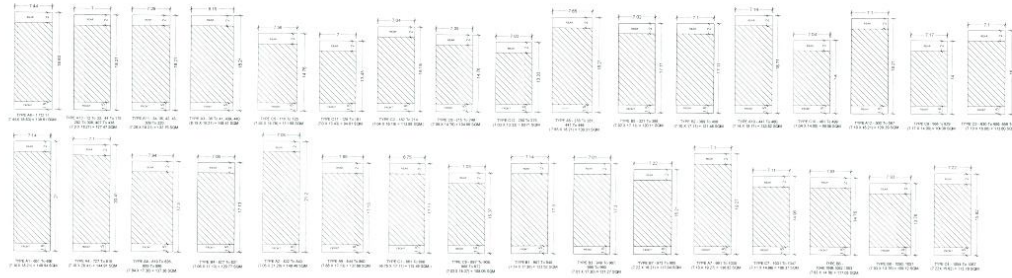
No plot or public building wall shall have an access from less than 9.00 meters wide road.

**1. GENERAL**

- (i) The collector/owner shall use only light Emitting Diode lamps (LED) lighting for internal lighting as well as Campus lighting.
- (ii) The collector/owner shall strictly comply with the directions issued vide Notification No. 19/12/2016 SP dated 11.03.2016 issued by Haryana Government Renewable Energy Department, if applicable.
- (iii) That the collector/owner shall ensure the installation of Solar Photovoltaic Power Plant as per the provisions of order No. 22/52/2005-SP dated 21.08.2016 issued by Haryana Government Renewable Energy Department, if applicable.
- (iv) Fire safety protection measures shall be regulated by Haryana fire service Act 2000, as amended from time to time as per the Provision of Haryana Building Code, 2017 Chapter 7.47.11.
- (v) Rain water harvesting shall be provided as per Haryana building code, 2017 if applicable.

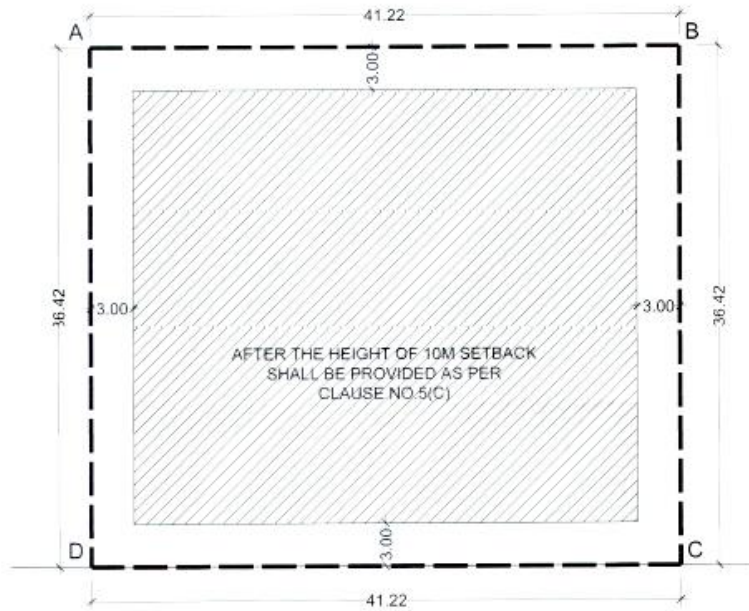
Note:  
 Read the drawing in conjunction with the demarcation plan verified by D.T.P. Kurukshetra vide Encl-02-2189 dated 21/05/2023

DRG. NO. DGTCP-9772 DATED 27-07-2024



(SATYA PALI) JD (AR) (RAHUL SINGLA) ATP (AR) (ASHISH SHARMA) DTP (AR) (SUNITA SETHI) STP (AR) (P. P. SINGH) CTP (AR) (T. SATYAPRAKASH) JAS) DGTCP (AR)

**ZONING PLAN OF COMMERCIAL-1 SITE AREA 0.371 ACRE IN AFFORDABLE RESIDENTIAL PLOTTED COLONY UNDER DEEN DAYAL JAN AWAS YOJNA 2016 OVER AN AREA MEASURING 59.9659 ACRES FALLING UNDER LICENSE NO. 118 OF 2023 DATED 05.06.2023 IN THE REVENUE ESTATE OF BAJIDPUR, BIDPIPLI, SANWLA, & PRATAPGARH, SECTOR -41, KURUKSHETRA, HARYANA BEING DEVELOPED BY GODREJ PROJECTS DEVELOPMENT LTD.**



**24.0 MTR WIDE ROAD**



SITE AREA -1501.232 SQMT OR (0.371 ACRE)  
 ZONED AREA - 1071.47 SQMT OR (0.265 ACRE)  
 \* ALL DIMENSION ARE IN MTR.

**For purpose of Code 3.2 (iv) & 6.1 (i) of the Haryana Building Code, 2017, amended from time to time:-**

- 1. SANS & SIZE OF SITE**  
The shape and size of site is in accordance with the demonstration plan shown as A to D as confirmed by D.P. & P.U. (PURA) vide Order No. 2289 dated 21.08.2019.
  - 2. LAND USE**  
The type of commercial buildings permitted in the site shall conform to the provisions of the zonal code as provided in appendix 'B' to the Final development plan (Kusumaha 2023 AD), as amended from time to time, as applicable.
  - 3. TYPE OF BUILDING PERMITTED (UOI) AND LAND USE CODES**  
The type of building permitted in the site i.e. i.e. Shopping Mall, Multi-story, Departmental Store, Integrated Commercial, shops, SDO, Service Apartment, Stand Alone Hotel etc. (as per).
- | Symbol | Land use Zone   | Type of Building permitted/permissible structures   |
|--------|-----------------|---|
|        | Open Space Zone | Open parking, garden, landscaping features, underground services etc.                                     |
|        | Building Zone   | Building on per. permissible shall take in clause 6.1 above and shall permissible in the open space zone. |
- 4. SITE COVERAGE AND FLOOR AREA RATIO (FAR)**
    - The building or buildings shall be constructed any within the portion of the site marked as Building zone as explained above, and marked color.
    - The maximum coverage on ground floor shall be 60% on the area of 0.371 acre.
    - Maximum permeable FAR shall be 150 on the area of 0.371 acre. Not more than 50% of permissible FAR should be used for neighborhood shopping needs.
  - 5. HEIGHT OF BUILDING**  
The height of the building block, subject of course to the provisions of the site coverage and FAR, shall be governed by the following:
    - The maximum height of the buildings shall be as per Chapter 4.1 (c) (i) and Chapter 6.1 (i) (iv).
    - The ground height of building shall be as per Chapter 3.1.
    - All building blocks shall be constructed so as to maintain an inter-plot distance not less than the set back required for each building according to the table below:
 

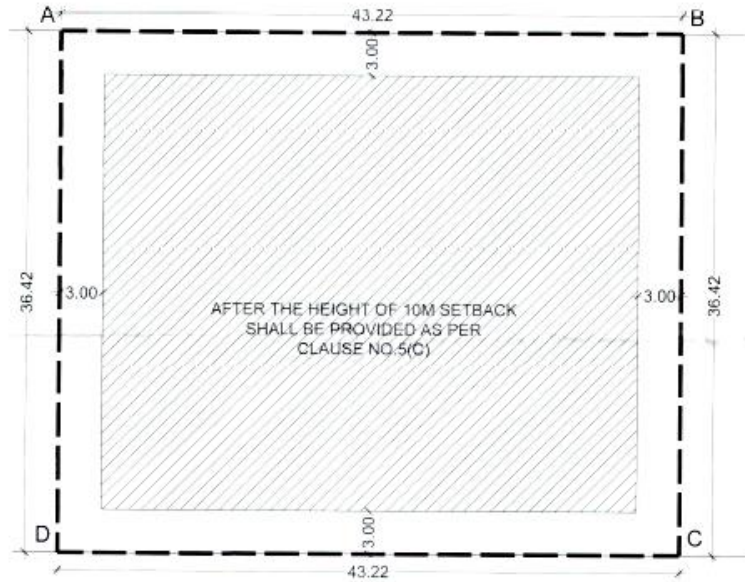
Set Back	HEIGHT OF BUILDING (in meters)	PERMISSIBLE FLOOR AREA RATIO (UOI) (AS PER BUILDING CODE 2017)
1	10	2
2	12	3
3	14	4
4	16	5
5	18	6
6	20	7
7	22	8
8	24	9
9	26	10
10	28	11
11	30	12
12	32	13
13	34	14
14	36	15
  - 6. PARKING**
    - Adequate parking spaces, covered, open or in the basement shall be provided for vehicles of users and occupiers, within the site as per Chapter 7.1.
    - In no circumstances, the vehicles belonging, related to the plot premises shall be parked outside the plot area.
  - 7. APPROACH TO SITE**
    - The vehicular approach to the site shall be planned and provided giving due consideration to the sections with the surrounding roads by the architect of the Competent Authority.
    - The approach to the site shall be shown on the zoning plan.
  - 8. MAX. ON SUB-DIVISION OF SITE**  
Sub-division of the site shall not be permitted, in any circumstances.
  - 9. APPROVAL OF BUILDING PLANS**  
The building plans of this building to be constructed on site shall have to be got approved from the Director, Town & Country Planning, Haryana/ any other persons or the committee authorized by him, as per provision of Haryana Building Code - 2017 (as amended from time to time) before starting the construction.
  - 10. BASEMENT**
    - The number of basement stories within building zone at the site shall be as per Chapter 6.3 (3)(a).
    - The basement shall be constructed, used and maintained as per Chapter 7.14.
  - 11. PLANNING NOTICES**  
The building to be constructed shall be planned and designed to the norms and standards as per Chapter 7 of the Haryana Building Code 2017 and as approved by the Competent Authority.

- 12. PROVISIONS OF PUBLIC HEALTH FACILITIES**  
The M.C. and standards provided in the building shall conform to the Haryana Building Code, 2017 and National Building Code, 2016.
- 13. EXTERNAL FINISHES**
  - The external wall finishes, such as plaster should be in natural or pre-mixed type of natural or synthetic color, durable, water proof, acid resistant, fire resistant, impact resistant or any other finish which may be allowed by the Competent Authority.
  - All wall finishes per norms shall be written on the plans provided on buildings as per approved building plans specifically for this purpose and at no other places, which cover.
  - For building elevations, painting services, construction materials, building material, foundation and Damp Proof Course (DPC) shall of the Haryana Building Code, 2017 shall be followed.
- 14. LIFTS AND RAMP**
  - Lift and Ramps in building shall be provided as per Chapter 7.2 of the Haryana Building Code, 2017.
  - Lift shall be provided with 100% speed governor along with automatic fire alarm system along with staircase of required width and number.
  - Fire go shall be provided except the presence of fire safety building Code, 2017 and National Building Code, 2016, as applicable.
- 15. BUILDING BY LAWS**  
The construction of the building, buildings shall be governed by provisions of the Haryana Building Code, 2017 On the points where Haryana Building Code, 2017 is silent the National Building Code of India, 2016 shall be followed.
- 16. FIRE SAFETY MEASURES**
  - The fire alarm system shall be provided in the buildings in the multi-storied buildings conforming to the provisions of the Haryana Building Code, 2017. The cost of building lift of site, 20% and the same should be got certified from the Competent Authority.
  - Electric fire alarm system shall be provided in all buildings having more than 1000 sqm. Control panel on ground floor in all upper equipment shall be provided in the perimeter of the building, the same should be got approved from the competent authority.
  - To ensure fire fighting system shall be got approved from the District Urban local bodies, Haryana or any person authorized by the District Urban local bodies, Haryana. The approval shall be obtained prior to starting the construction work at site.
  - That the contractor/owner shall obtain the clearance from the provisions of the Haryana No. 7/2/1511/2017 Dated 12/4/2018, issued by Ministry of Environment and Forests, Government of India before starting the construction. If applicable.
  - That the fire water sprinkling system shall be provided as per Central Ground Water Authority, Haryana/Haryana Government notification as applicable.
  - That the contractor/owner shall use only Light emitting Diode lamps (LED) for eg. for interior lighting as well as for external lighting.
  - That the contractor/owner shall ensure the installation of solar photovoltaic power plant as per the provisions of order no. 22523/2008, Dated 11/05/2018 issued by Haryana Government and renewable energy Department.
  - That the contractor/owner shall comply with the provisions issued vide Notification No. 15/2018/2019 dated 11/01/2018 issued by Haryana Government Renewable Energy Department.
- 17. GENERAL**
  - Among other plans and papers detailed elsewhere in drawings along with notes prepared by public, view shall be drawn according to scale as mentioned in the Haryana Building Code 2017.
  - The water drainage pipes and other plumbing works etc. shall not be exposed to view each face of building but shall be suitably enclosed.
  - No unsightly decoration like sculptures, crosses, signs of animals or buildings are permitted on any external face of the building.
  - Setback provisions given in the zoning plan shall be complied with the site.
  - Color, materials and other finishes shall be subject to the approval of the Competent Authority.
  - Plans for a Sewerage plant shall be followed as per chapter 10 of Haryana Building Code, 2017.

DRS No. DUTCP - 9373 Dated 07-07-2023

(SATYA PAL) JD (HQ) (RAHUL SINGLA) ATP (HQ) (ASHISH SHARMA) DIP (HQ) (SUNITA SETHI) STP (HQ) (P.P. SINGH) CIP (HR) (T.L. SATYAPRAKASH JAS) DGTCP (HR)

**24.0 MTR WIDE ROAD**



**9.0 MTR WIDE ROAD**



SITE AREA -1574.07 SQMT OR (0.389 ACRE)  
 ZONED AREA -1132.27 SQMT OR (0.279 ACRE)  
 \* ALL DIMENSION ARE IN MTR.

**ZONING PLAN OF COMMERCIAL-3 SITE AREA 0.389 ACRE IN AFFORDABLE RESIDENTIAL PLOTTED COLONY UNDER DEEN DAYAL JAN AWAS YOJNA 2016 OVER AN AREA MEASURING 59.9659 ACRES FALLING UNDER LICENSE NO. 118 OF 2023 DATED 05.06.2023 IN THE REVENUE ESTATE OF BAJIDPUR, BIDPIPLI, SANWLA & PRATAPGARH, SECTOR -41, KURUKSHETRA, HARYANA BEING DEVELOPED BY GODREJ PROJECTS DEVELOPMENT LTD.**

For purpose of Code 1.2 (a) & 1 (i) of the Haryana Building Code, 2017, amended from time to time.

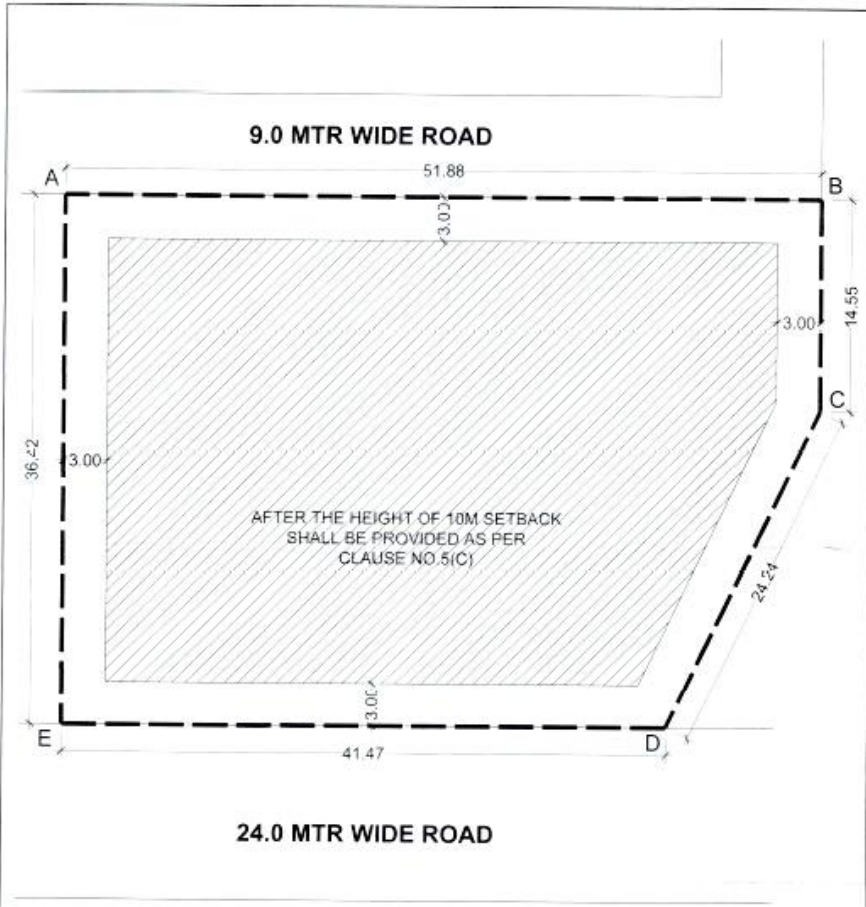
- SHAPE & SIZE OF SITE:**  
The shape and size of site is in accordance with the demarcation plan shown in A to D as confirmed by SPT, Kurukshetra vide letter No. 118 dated 11.06.2023.  
LAND USE
  - TYPE OF BUILDING PERMITTED AND LAND USE ZONE:**  
The type of building permitted in this site shall conform to the provisions of the commercial zone as provided in Appendix 10 to the Final development plan of the area vide SPT, Kurukshetra dated 11.06.2023.
  - TYPE OF BUILDING PERMITTED AND LAND USE ZONE:**  
The type of building permitted in this site is - Shopping Mall, Retail, Departmental Store, Integrated Commercial, Shops, Offices, Service Apartment, Traded Retail/Amusement.
- | Notation | Land use Zone   | Type of building permitted/permissible structure  |
|----------|-----------------|---|
|          | Open Space Zone | Open parking, garden, landscaping features, underground parking etc.                                  |
|          | Building Zone   | Building as per permissible land use in column as shown and shall conform to the relevant provisions. |
- SPT CORNER AND ROAD AREA (MTR) (sqm)**
    - (a) The building or buildings shall be constructed with the portion of the site marked as building zone as indicated above, and wherever any
    - (b) The maximum coverage on ground floor shall be 40% on the area of 2,188.00 sqm
    - (c) Maximum Permissible FSI shall be 2.00 on the area of 0.389 acre. Not less than 50% of permissible FSI should be used for high/medium density uses.
  - HEIGHT OF BUILDING:**
    - (a) The height of building shall be subject to the provisions of this code and shall not be governed by the following:
      - (i) The maximum height of the building shall be as per Chapter 6.5.11(i) and Chapter 6.3.13 (iv)
      - (ii) The ground height of building shall be as per Chapter 7.3
      - (iii) All building heights shall be constructed so as to maintain an 80% or distance not less than the set back required for each building according to the table below:

Setback	Height of building (m/feet)	Setback (m/feet) shall be not less than (m/feet) (as per table below)
1	12	1
2	15	2
3	18	3
4	21	4
5	24	5
6	27	6
7	30	7
8	33	8
9	36	9
10	39	10
11	42	11
12	45	12
13	48	13
14	51	14
15	54	15
16	57	16
17	60	17
18	63	18
19	66	19
20	69	20
21	72	21
22	75	22
23	78	23
24	81	24
25	84	25
26	87	26
27	90	27
28	93	28
29	96	29
30	99	30
31	102	31
32	105	32
33	108	33
34	111	34
35	114	35
36	117	36
37	120	37
38	123	38
39	126	39
40	129	40
41	132	41
42	135	42
43	138	43
44	141	44
45	144	45
46	147	46
47	150	47
48	153	48
49	156	49
50	159	50
51	162	51
52	165	52
53	168	53
54	171	54
55	174	55
56	177	56
57	180	57
58	183	58
59	186	59
60	189	60
61	192	61
62	195	62
63	198	63
64	201	64
65	204	65
66	207	66
67	210	67
68	213	68
69	216	69
70	219	70
71	222	71
72	225	72
73	228	73
74	231	74
75	234	75
76	237	76
77	240	77
78	243	78
79	246	79
80	249	80
81	252	81
82	255	82
83	258	83
84	261	84
85	264	85
86	267	86
87	270	87
88	273	88
89	276	89
90	279	90
91	282	91
92	285	92
93	288	93
94	291	94
95	294	95
96	297	96
97	300	97
98	303	98
99	306	99
100	309	100
  - APPROACH TO SITE:**
    - (a) The vehicular approach to the site shall be planned and provided giving due consideration to the junction with the surrounding roads to the satisfaction of the Competent Authority.
    - (b) The approach to the site shall be shown on the zoning plan.
  - SETBACKS FROM SURROUNDING SITE:**  
Setback of the site shall not be permitted, in any circumstances.
  - APPROVAL OF BUILDING PLANS:**  
The building plans of the building to be constructed at the site shall have to be approved from the Director, Town & Country Planning, Municipal and other persons or the competent Authority as per provisions of Haryana Building Code - 2017 (or, amended time to time), before starting of the construction.
  - SETBACKS:**
    - (a) The setback of building shall be as per provisions of the Haryana Building Code - 2017.
    - (b) The setback shall be constructed, used and maintained as per Chapter 7.14.
  - PLANNING SCHEME:**  
The building to be constructed shall be identified and designed in the norms and standards as per Chapter 7 of the Haryana Building Code, 2017 and as approved by the Competent Authority.

- PROVISIONS OF PUBLIC HEALTH FACILITIES:**  
The W.C. and other facilities in the building shall conform to the Haryana Building Code, 2017 and National Building Code, 2016.
- EXTERNAL FINISHES:**
  - (a) The external wall finishes, or for as possible shall be in natural or semi-natural type of material like brick, stone, concrete, terrazzo, granite, marble, glass, glass bricks or any other finish which may be allowed by the Competent Authority.
  - (b) All signs, boards and names shall be written on the spaces provided on building as per approved building plans specifically for this purpose and as per the rules, regulations.
  - (c) For building entrance, planting services, construction of site, building material, foundation and Bang Floor Cover Chapter 10 of the Haryana Building Code, 2017 shall be followed.
- LIFTS AND RAMPS:**
  - (a) Lift and Ramp provision shall be provided as per Chapter 17 of the National Building Code, 2016.
  - (b) It shall be an enclosed lift. LCCs shall be provided as per the provisions of IS: 8000 (Part 1) and IS: 8000 (Part 2) as applicable.
  - (c) Ramps shall also be provided as per the provisions of Haryana Building Code, 2017 and National Building Code, 2016, as applicable.
- BUILDING FIRE LAWS:**  
The construction of the building, buildings shall be governed by provisions of the Haryana Building Code, 2017. In the parts where Haryana Building Code, 2017 is silent the National Building Code of India, 2016 shall be followed.
- DISASTER MITIGATION:**
  - (a) The owner shall ensure the provision of proper fire safety measures in the multi-story buildings conforming to the provisions of the Haryana Building Code, 2017 National Building Code of India, 2016 and the same shall be approved from the Competent Authority.
  - (b) The fire safety system/generation system (wherever applicable) shall be installed ground floor, 2nd floor, 3rd floor, 4th floor or in upper floors and it shall be installed in all the portions of the building. The same shall be approved from the Competent Authority.
  - (c) To ensure fire fighting system shall be approved from the Director, Urban Local Bodies, Haryana or any person authorized by the Director (Urban Local Bodies, Haryana). This system shall be approved prior to starting the construction work at site.
- Other provisions:**
  - (a) That the competent officer shall obtain the clearance from the Director, Urban Local Bodies, Haryana or any person authorized by the Director (Urban Local Bodies, Haryana) before starting the construction of the building.
  - (b) That the fire safety system shall be provided as per Central Fire and Safety Authority (Haryana) Government notification as applicable.
  - (c) That the building owner shall use only fire extinguishing devices (CO2) for fire fighting as well as fire alarm system.
  - (d) That the competent officer shall ensure the installation of solar photovoltaic power plant as per the provisions of order No. 2024/0009, issued dated 11.01.2024 issued by Ministry of Government to promote energy conservation.
  - (e) That the competent officer shall comply with the directions issued vide Notification No. 153/2011-SP dated 11.01.2011 issued by Haryana Government to conserve energy.
- GENERAL:**
  - (a) Among other plans and papers detailed elevations of building along with order exposed to public view shall be drawn according to scale as mentioned in the Haryana Building Code, 2017.
  - (b) The water storage tanks and other plumbing works shall not be installed on any floor of building but shall be suitably enclosed.
  - (c) No applied decoration like murals, crests, names of persons or buildings are permitted on any external face of the building.
  - (d) Gullage collection system of appropriate size shall be provided as per the rules.
  - (e) Doors made of iron and other symbols shall be subject to the approval of the Competent Authority.
  - (f) Signs for advertisement shall be provided as per Chapter 10 of the Haryana Building Code, 2017.

246 No. (DTP) 9375 Dated 07-02-2024

(SATYA PAL) JD (HQ) (RAHIM SINGLA) ATP (HQ) (ASHISH SHARMA) DTP (HQ) (SUNITA SETHI) STP (HQ) (P.P. SINGH) CUP (HR) (T.L. SATYAPRAKASH IAS) DGTCP (HR)



SITE AREA -1776.29 SQMT OR (0.439 ACRE)  
 ZONED AREA -1304.33 SQMT OR (0.322 ACRE)  
 \* ALL DIMENSION ARE IN MTR.

**ZONING PLAN OF COMMERCIAL-2 SITE AREA 0.439 ACRE IN AFFORDABLE RESIDENTIAL PLOTTED COLONY UNDER DEEN DAYAL JAN AWAS YOJNA 2016 OVER AN AREA MEASURING 59.9659 ACRES FALLING UNDER LICENSE NO. 118 OF 2023 DATED 05.06.2023 IN THE REVENUE ESTATE OF BAJIDPUR, BIDPIPLI, SANWLA, & PRATAPGARH, SECTOR -41, KURUKSHETRA, HARYANA BEING DEVELOPED BY GODREJ PROJECTS DEVELOPMENT LTD.**

- For purpose of Code L2 (a) & 5.3 (2) of the Haryana Building Code, 2017, amended from time to time.**
- NAME & USE OF SITE:**  
The name and use of site is in conformity with the Demarcation plan drawn as per the confirmed by DTI, KURUKSHETRA vide No. 118 dated 11.06.2023.
  - LAND USE:**  
The type of commercial building permitted in this area shall conform to the provisions of the commercial code as provided in Appendix IV in the Final Development Plan (FDP) vide No. 2023-22 as amended from time to time as applicable.
  - TYPE OF BUILDING PERMITTED AND LAND USE ZONING:**  
The type of building permitted in this site is i.e. Shopping Mall, Multiplex, Departmental Store, Integrated Commercial, Shops, SDOs, Service Apartment, Student Hostels (as applicable).
- | Symbol   | Land Use Zone   | Type of Building permitted/permissible structure   |
|----------|-----------------|--|
| (Symbol) | Open Space Zone | Open parking, garden, landscaping, landscape, water-pond, service etc.                                   |
| (Symbol) | Building Zone   | Building as per permissible land use in column in above and shall be as provided in the open space zone. |
- SITE COVERAGE AND FLOOR AREA RATIO (FAR):**
    - The building or buildings shall be constructed only within the portion of the site marked as Building zone as regulated above, and neither else.
    - The maximum coverage on ground floor shall be 44% on the area of 0.439 acre.
    - Maximum permissible FAR shall be 150% on the area of 0.439 acre. Not more than 10% of permissible FAR should be used for neighborhood charging roads.
  - HEIGHT OF BUILDING:**

The height of the building shall, subject to the provisions of the site coverage and FAR, shall be governed by the following:

    - The maximum height of the building shall be as per Chapter 5.3 (3) (i) and Chapter 5.3 (3) (ii).
    - The width/height of building shall be as per Chapter 5.3.
    - All building (blocks) shall be constructed so as to maintain a minimum setback (not less than) the setback required for each building as per the table below:

S. No.	Width of Building (m)	Setback (m) (min. to max.)
1	0	0
2	10	0
3	15	0
4	21	1
5	24	2
6	27	3
7	30	4
8	36	5
9	42	6
10	48	7
11	54	8
12	60	9
  - SETBACK:**
    - Setback between an existing structure and a new structure shall be as per the setback required for each building as per the table above.
    - Setback between an existing structure and a new structure shall be as per the setback required for each building as per the table above.
  - SETBACK:**
    - Setback between an existing structure and a new structure shall be as per the setback required for each building as per the table above.
    - Setback between an existing structure and a new structure shall be as per the setback required for each building as per the table above.
  - APPROACH TO SITE:**
    - The vehicular approach to the site shall be planned and provided along the side of the site with the surrounding roads to the satisfaction of the Competent Authority.
    - The approach to the site shall be shown on the site plan.
  - SETBACK ON SUBDIVISION OF SITE:**

Sub-division of the site shall not be permitted, in any circumstances.
  - APPROVAL OF BUILDING PLANS:**

The building plans of the building to be constructed at the site shall have to be got approved from the Director, Town & Country Planning, Haryana/any other persons of the competent authority as per provisions of Haryana Building Code - 2017 as amended from time to time before starting of the construction.
  - SETBACK:**
    - The number of floors above the ground level shall be as per Chapter 5.3 (3) (i).
    - The maximum height of the building shall be as per Chapter 5.3 (3) (ii).
  - SETBACK:**

The building to be constructed shall be planned and designed to the norms and standards as per Chapter 5 of the Haryana Building Code - 2017 and as approved by the Competent Authority.
  - PROVISIONS OF PUBLIC HEALTH FACILITIES:**

The N.C. and areas provided in the building shall conform to the Haryana Building Code, 2017 and Haryana Building Code, 2024.
  - EXTERNAL FINISHES:**
    - The external wall finishes, surface to be provided shall be in natural or permanent type of material like brick, stone, concrete, terrazzo, glass, marble, stone, etc. and in any other finish which may be allowed to the Competent Authority.
    - All sign boards and notices shall be written on the external wall of the building in permanent building, signs specifically for the purpose not to be in any other place, whatsoever.
    - All building services, including services, contract or practice, building material, foundation and Demolition shall conform Chapter 22 of the Haryana Building Code, 2017 as amended from time to time.
  - LIFTS AND RAMP:**
    - Lifts and Ramps in building shall be provided as per Chapter 11 of the Haryana Building Code, 2017.
    - Lifts shall be provided with 100% standby generators along with automatic maintenance along with manual operation with alarm system.
    - Ramps shall also be provided as per the provisions of Haryana Building Code, 2017 and Haryana Building Code, 2024 as applicable.
  - BUILDING EYE LAWS:**

The construction of the building shall be permitted to conform to the provisions of the Haryana Building Code, 2017. Or the provisions of Haryana Building Code, 2024 shall be as per the Haryana Building Code of India, 2024 shall be as follows:
  - MINIMUM REQUIREMENTS:**
    - The owner shall ensure the provision of proper fire safety measures in the multi-story buildings conforming to the provisions of the Haryana Building Code, 2017 and Haryana Building Code of India, 2024 and the same shall be got certified from the Competent Authority.
    - Effective fire alarm generation system shall be provided throughout the building as per the provisions of the Haryana Building Code, 2017 and Haryana Building Code of India, 2024. Control panel on ground floor or in upper basement shall be provided in the corner of the building, the same shall be got approved from the competent authority.
    - To ensure fire fighting scheme shall be got approved from the Director, Urban Development, Haryana. The scheme shall be obtained after consulting the construction work at site.
  - THE COLLECTOR/OWNER SHALL OBTAIN THE APPROVAL OF THE DIRECTOR, TOWN & COUNTRY PLANNING, HARYANA (OR ANY OTHER PERSONS OF THE COMPETENT AUTHORITY) AS PER THE PROVISIONS OF THE HARYANA BUILDING CODE, 2017 AND HARYANA BUILDING CODE OF INDIA, 2024 BEFORE STARTING OF THE CONSTRUCTION, AS APPLICABLE.**
  - THE FIRE ALARM GENERATION SYSTEM SHALL BE PROVIDED IN THE CORNER OF THE BUILDING, THE SAME SHALL BE GOT APPROVED FROM THE COMPETENT AUTHORITY.**
  - TO ENSURE FIRE FIGHTING SCHEME SHALL BE GOT APPROVED FROM THE DIRECTOR, URBAN DEVELOPMENT, HARYANA. THE SCHEME SHALL BE OBTAINED AFTER CONSULTING THE CONSTRUCTION WORK AT SITE.**
  - THE COLLECTOR/OWNER SHALL OBTAIN THE APPROVAL OF THE DIRECTOR, TOWN & COUNTRY PLANNING, HARYANA (OR ANY OTHER PERSONS OF THE COMPETENT AUTHORITY) AS PER THE PROVISIONS OF THE HARYANA BUILDING CODE, 2017 AND HARYANA BUILDING CODE OF INDIA, 2024 BEFORE STARTING OF THE CONSTRUCTION, AS APPLICABLE.**
  - GENERAL:**
    - Among other plans and papers detailed drawings of buildings, every plan required to obtain the approval shall be drawn according to scale as mentioned in the Haryana Building Code 2017.
    - The water storage tanks and other plumbing works etc. shall not be located to view each face of building but shall be well screened.
    - No applied decoration like plasterwork, carvings, names of services or buildings etc. permitted on the external face of the building.
    - Substructure for center of appropriate etc. shall be provided within the site.
    - Color traffic emblem and/or symbols, shall be subject to the approval of the Competent Authority.
    - Norms for differently abled persons shall be followed as per chapter 18 of Haryana Building Code, 2017.

SIG No. DTCP/ 9374 Date 27-07-2023

(SATYA PAL) ID (HQ) (RAHUL SINGLA) ATP (HQ) (ASHISH SHARMA) DTP (HQ) (SUNITA SETHI) STP (HQ) (P.P. SINGH) CIP (HR) (T.L.SATYAPRAKASH, IAS) DTCP (HR)