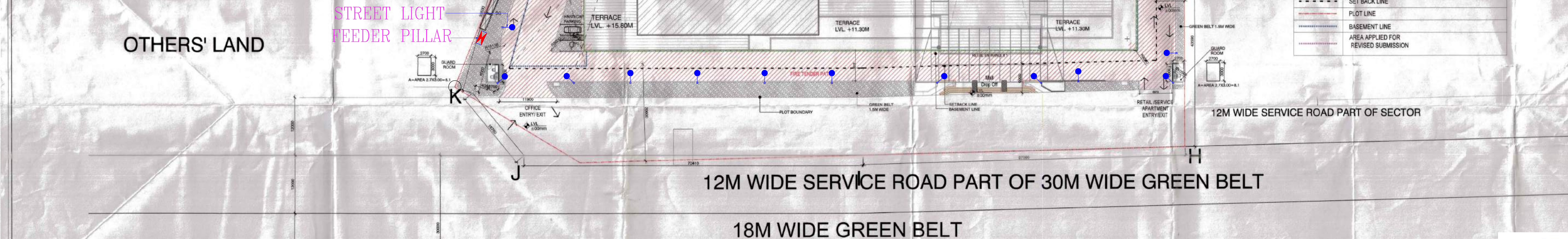


AREA CALCULATION				
BUILDING CONTROLS				
S.No	DESCRIPTION	A	B	SQ.MT.
1.0	Total Plot Area (as Zoning) 7.84875 ACRES			31762.714
2.0	Permissible Ground Coverage @ 50% of Plot Area			15881.357
3.0	Permissible F.A.R @ 3.5			111199.499
3.1	FAR ALREADY ACHIEVED (OC GRANTED VIDE MEMO NO. ZP-1267/AD(RA)/2021/31558 DATED 13-12-2021)			46231.276
3.2	BALANCE FAR			64988.223
3.3	Land Area Balance for LEED FAR (Proportionate Land Area)	$E=(D/B) \times A$		18553.778
3.4	Additional 12% FAR on Balance Land for GOLD CERTIFICATE			2228.463
3.5	Total Permissible F.A.R (3.50 FAR+ 12% FAR on Proportionate Land Area)	$G=(B+F)$		113396.962
3.6	ALREADY SANCTIONED FAR (club office & Service Apartment)			49193.737
3.7	BALANCE Available FAR	$J=(G-(H+I))$		17965.939
3.8	TDR GRANTED VIDE Endst no. LC-1257-D / JE (OSY2022/9612)			3900.200
3.9	Total FAR as PROPOSED			21736.790
3.9	BALANCE FAR	$Z=(J+K)$		129.189
GROUND COVERAGE CALCULATIONS				
4.0	Ground Coverage Permissible (60% of Site Area)			19057.638
4.1	Ground Coverage Achieved (AS-SANCTIONED)			16284.767
4.2	Ground Coverage Achieved (OC RECEIVED)			16284.767
				57.57%

FAR AND BUILT UP AREA CALCULATION									
		ALREADY SANCTIONED		OC GRANTED		PROPOSED AREA		TOTAL FAR	
SR.NO.	FLOORS	CLUB FAR (IN SQ.MT.)	OFFICE FAR (IN SQ.MT.)	SERVICE APARTMENT FAR (IN SQ.MT.)	CLUB FAR (IN SQ.MT.)	OFFICE FAR (IN SQ.MT.)	ACHIEVED FAR AREA (IN SQ.MT.)	ACHIEVED FAR AREA (IN SQ.MT.)	ACHIEVED FAR AREA (IN SQ.MT.)
5.01	GUARD HOUSE (SITE PLAN)						58.158		58.158
5.02	BASEMENT-1						15735.585		15735.585
5.03	BASEMENT-2						15735.585		15735.585
5.04	LOWER GROUND FLOOR LEVEL						15735.585		15735.585
5.05	GROUND FLOOR LEVEL						15735.585		15735.585
5.06	UPPER GROUND FLOOR LEVEL						15735.585		15735.585
5.07	FIRST FLOOR LEVEL						15735.585		15735.585
5.08	SECOND FLOOR LEVEL						15735.585		15735.585
5.09	THIRD FLOOR LEVEL						15735.585		15735.585
5.10	FOURTH FLOOR LEVEL						15735.585		15735.585
5.11	FIFTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.12	SIXTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.13	SEVENTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.14	EIGHTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.15	NINTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.16	TENTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.17	ELEVENTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.18	TWELFTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.19	THIRTEENTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.20	FOURTEENTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.21	FIFTEENTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.22	SIXTEENTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.23	SEVENTEENTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.24	EIGHTEENTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.25	NINETEENTH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.26	TWENTIETH FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.27	TWENTY FIRST FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.28	TWENTY SECOND FLOOR LEVEL (Office & Retail)						15735.585		15735.585
5.29	TERRACE FLOOR LEVEL						15735.585		15735.585
5.30	TOTAL FAR	15735.585	15735.585	15735.585	15735.585	15735.585	15735.585	15735.585	15735.585

CARPET AREA CALCULATION				
SR.NO.	FLOORS	OFFICE CARPET AREA (IN SQ.MT.)	CLUB CARPET AREA (IN SQ.MT.)	TOTAL CARPET AREA (IN SQ.MT.)
5.03	BASEMENT-1 FLOOR LVL	7913.542		7913.542
5.04	LOWER GROUND FLOOR LEVEL	7913.542		7913.542
5.05	GROUND FLOOR LEVEL	7913.542		7913.542
5.06	UPPER GROUND FLOOR LEVEL	7913.542		7913.542
5.07	FIRST FLOOR LEVEL	7370.041		7370.041
5.08	SECOND FLOOR LEVEL	6096.480		6096.480
5.09	THIRD FLOOR LEVEL	6096.480		6096.480
5.10	FOURTH FLOOR LEVEL	6096.480		6096.480
5.11	FIFTH FLOOR LEVEL	6096.480		6096.480
5.12	SIXTH FLOOR LEVEL	6096.480		6096.480
5.13	SEVENTH FLOOR LEVEL	6096.480		6096.480
5.14	EIGHTH FLOOR LEVEL	6096.480		6096.480
5.15	NINTH FLOOR LEVEL	6096.480		6096.480
5.16	TENTH FLOOR LEVEL	6096.480		6096.480
5.17	ELEVENTH FLOOR LEVEL	6096.480		6096.480
5.18	TWELFTH FLOOR LEVEL	6096.480		6096.480
5.19	THIRTEENTH FLOOR LEVEL	6096.480		6096.480
5.20	FOURTEENTH FLOOR LEVEL	6096.480		6096.480
5.21	FIFTEENTH FLOOR LEVEL	6096.480		6096.480
5.22	SIXTEENTH FLOOR LEVEL	6096.480		6096.480
5.23	SEVENTEENTH FLOOR LEVEL	6096.480		6096.480
5.24	EIGHTEENTH FLOOR LEVEL	6096.480		6096.480
5.25	NINETEENTH FLOOR LEVEL	6096.480		6096.480
5.26	TWENTIETH FLOOR LEVEL	6096.480		6096.480
5.27	TWENTY FIRST FLOOR LEVEL	6096.480		6096.480
5.28	TWENTY SECOND FLOOR LEVEL	6096.480		6096.480
5.29	TERRACE FLOOR LEVEL	6096.480		6096.480
5.30	TOTAL FAR	34595.583	665.860	35261.443

PCU Calculation Required for REVISED SANCTION for CINEMA AT 3RD, 4TH & 5TH FLOOR, SERVICE APARTMENT & BASEMENT-B1				
6.01	PCU required @ 1 Equivalent Car Space / 50 Sq.m of Carpet Area (91171.168 Sq.m / 50 Sq.m)		1824	
ED		TOTAL AREA	AREA UNDER SERVICES & FAR	TOTAL NUMBER OF PARKING PROVIDED
7.01	Basement 3	12783.10	2633	499
7.02	Basement 2	19371.92	3845	795
7.03	Basement 1	20030.86	6192	631
7.04	TOTAL BASEMENT AREA	52185.88	12670	1925
7.05	Handicapped vehicle parking on Ground (B)			2
7.06	TOTAL PARKING ACHIEVED (A+B)			1927



LEGEND		
1		STREET LIGHT
2		FEEDER PILLAR

This is a "PROVISIONAL BUILDING PLAN" approved only for the purpose of inviting objections from the general public.

19/12/2022

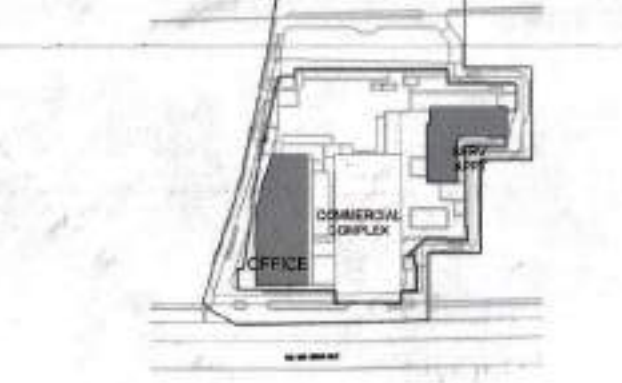
TO BE READ WITH THIS OFFER MEMO NO. 19/12/2022

STREET LIGHT FEEDER PILLAR

NOTES & REFERENCES

- GENERAL NOTES
1. ALL DRAWINGS ARE TO BE READ, NOT TO BE MEASURED.
 2. ALL DIMENSIONS ARE IN MM UNLESS MENTIONED.
 3. 230MM / 115MM BRICK AND 200MM BLOCK WORK ARE USED FOR WALLS.
 4. 100% STANDBY GENERATOR ARE PROVIDED FOR COMMON SERVICES (FIRE FIGHTING, LIFTS, LIGHTING AND VENTILATION).
 5. ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISION OF NBC.
 6. FIRE FIGHTING SAFETY PROVISIONS SHALL BE AS PER RELEVANT NBC PROVISIONS.
 7. BASEMENT AREA SHALL BE MECHANICALLY VENTILATED AS PER RELEVANT CODE.
 8. ALL TOILETS ARE VENTILATED AS PER HARYANA BUILDING CODE 2017.
 9. ENTIRE BUILDING HAS AUTOMATIC SPRINKLER SYSTEM AS PER NBC.
 10. BUILDING WILL BE DESIGNED/STRUCTURES AS PER RELEVANT I.S. CODES FOR EARTHQUAKE RESISTANCE.
 11. SOLAR PANELS OF REQUIRED CAPACITY SHALL BE PROVIDED ON ROOF TOP AS PER HARECHA / ZONING NORMS.
 12. ALL HANDICAP RAMP SHALL BE PROVIDED WITH RAILINGS.
 13. TRAVEL DISTANCE COMPLIANCE TO NBC 2016 FOR FULLY SPRINKLED COMMERCIAL BUILDING.
 14. WATER HARVESTING SYSTEM SOLAR WATER SYSTEM AND LED LIGHTING WILL BE PROVIDED AS REQUIRED.
- NOTE: ±0.00 (FINISHED GROUND FLOOR LEVEL) IN CORRESPONDENCE TO +180.10m.

KEY PLAN



ARCHITECT:

RKA

RAJINDER KUMAR ASSOCIATES

ARCHITECTS B-6/17 Shopping Centre

DESIGNERS New Delhi 110029 India

ENGINEERS T-91-11-26162930

ENGINEERS F-91-11-26168874

PROJECT NAME:

REVISED BUILDING PLAN

UNDER TRANSIT ORIENTED DEVELOPMENT

(TOD) POLICY DATED 08.02.2018 FOR

COMMERCIAL COLONY AREA MEASURING

7.84875 ACRES (LICENCE NO 71 OF 2018

DATED 25/10/2018) IN SECTOR-71,

GURUGRAM MANESAR URBAN COMPLEX

BEING DEVELOPED BY ROSHNI BUILDERS

PVT.LTD. AND OTHERS IN COLLABORATION

WITH ROSHNI BUILDERS PVT.LTD.

ARCHITECTURE DRAWING:

REVISED SUBMISSION

DRAWING TITLE:

SITE PLAN

ELECTRICAL LAYOUT

SCALE: 1:200 DATED: 30-11-2021

DEALT BY: STAGE:

DWG NO. A0-01 Rev No. R0

SIGNATURE AND SEAL OF ARCHITECT

SIGNATURE OF OWNER

RAJINDER KUMAR

CA/249075

For KUMAR EUDOCOR PVT. LTD.

RAJINDER KUMAR