

**LEGEND**

	Storm Water Line
	Irrigation Water Supply
	Municipal Water Line
	Fire Tender Path

**LEGEND**

	Demarcation line
	Setback line
	Basement profile
	Organized greens line
	6.0m wide fire tender path
	1.5M wide green
	Organized hard greens

**NOTES:**  
 1. All fire tenders have 10% power back up  
 2. All fire tenders have 10% power back up  
 3. Fire fighting facilities provisions will be as per provision NBC provisions  
 4. Roof slab of Upper basement is designed to take Fire Tender load

**GREEN CALCULATION**

	LENGTH (m)	WIDTH (m)	No.	AREA (sqm)
<b>ADDITIONS</b>				
1	31.520	12.250	1	487.252
2	1.150	4.500	1	5.175
3	15.000	4.500	1	67.500
4	14.400	1.500	1	21.600
5	14.400	3.500	1	50.400
6	14.400	4.500	1	64.800
7	14.400	4.500	1	64.800
8	2.800	21.500	1	60.200
9	8.800	7.400	1	65.120
10	8.800	7.400	1	65.120
11	6.500	23.500	1	152.750
12	1.500	1.500	1	2.250
13	1.500	7.500	1	11.250
14	1.500	17.000	1	25.500
15	4.200	8.800	1	36.960
16	4.200	8.800	1	36.960
17	1.200	11.500	1	13.800
18	1.200	11.500	1	13.800
19	1.500	6.000	1	9.000
20	1.500	6.000	1	9.000
21	1.500	4.500	1	6.750
22	11.600	2.500	1	29.000
23	6.300	4.500	1	28.350
24	6.300	4.500	1	28.350
25	0.500	29.400	1	14.700
26	0.500	29.400	1	14.700
27	2.500	21.000	1	52.500
28	2.500	21.000	1	52.500
29	8.500	2.500	1	21.250
30	8.500	2.500	1	21.250
31	15.000	1.500	1	22.500
32	15.000	1.500	1	22.500
33	10.000	1.500	1	15.000
34	1.500	38.500	1	57.750
35	12.000	2.500	1	30.000
36	12.000	2.500	1	30.000
37	11.000	2.500	1	27.500
38	11.000	2.500	1	27.500
39	1.000	4.500	1	4.500
40	1.000	4.500	1	4.500
41	1.000	4.500	1	4.500
42	1.000	4.500	1	4.500
43	1.000	4.500	1	4.500
44	1.000	4.500	1	4.500
45	1.000	4.500	1	4.500
<b>TOTAL GREEN</b>				<b>2372.882</b>

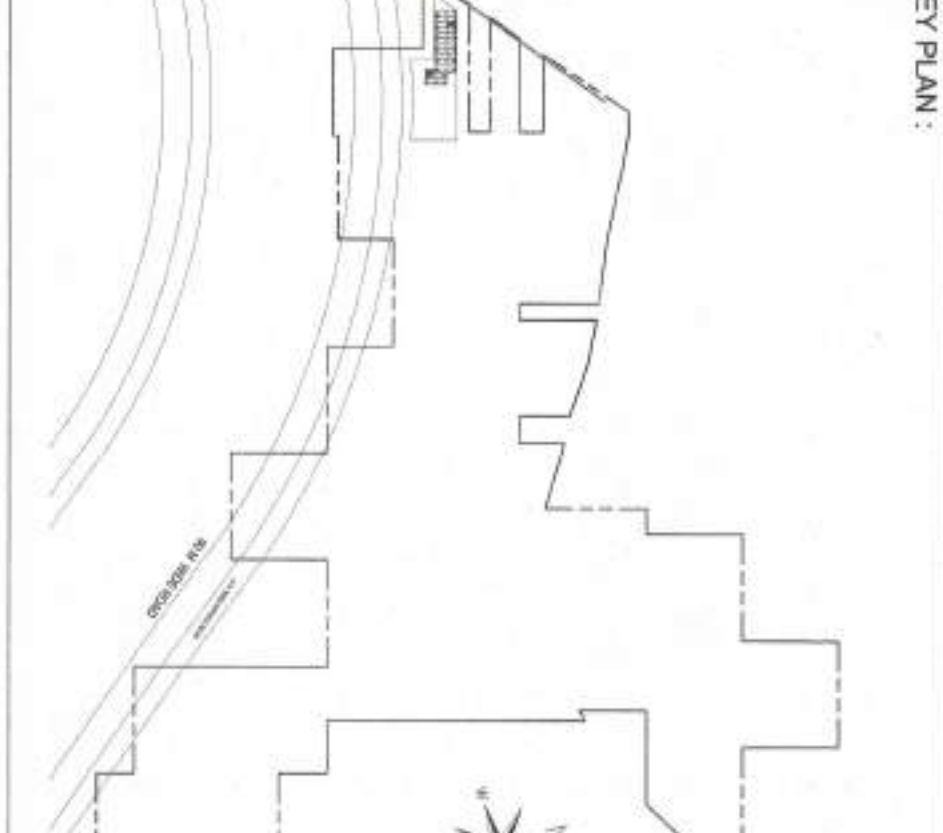
**APPROVED STAMP**

*(Signatures and stamps of various officials and consultants)*

**TO BE READ WITH THIS OFFICE NO. 57-C-40 (2012-2022)**

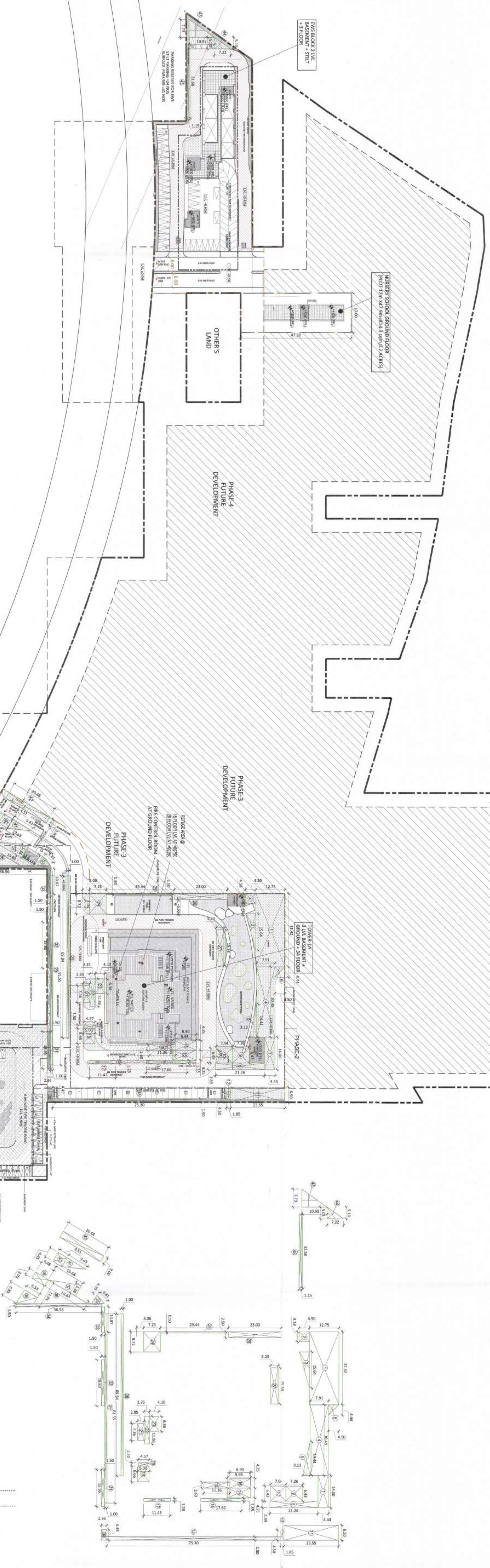
**FOR THE RECORD WITH THIS OFFICE**

*(Additional signatures and stamps)*



**KEY PLAN:**

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2	1.500	2.500	1	3.750
3	1.500	2.500	1	3.750
4	1.500	2.500	1	3.750
5	1.500	2.500	1	3.750
6	1.500	2.500	1	3.750
7	1.500	2.500	1	3.750
8	1.500	2.500	1	3.750
9	1.500	2.500	1	3.750
10	1.500	2.500	1	3.750
11	1.500	2.500	1	3.750
12	1.500	2.500	1	3.750
13	1.500	2.500	1	3.750
14	1.500	2.500	1	3.750
15	1.500	2.500	1	3.750
16	1.500	2.500	1	3.750
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18	1.500	2.500	1	3.750
19	1.500	2.500	1	3.750
20	1.500	2.500	1	3.750
21	1.500	2.500	1	3.750
22	1.500	2.500	1	3.750
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35	1.500	2.500	1	3.750
36	1.500	2.500	1	3.750
37	1.500	2.500	1	3.750
38	1.500	2.500	1	3.750
39	1.500	2.500	1	3.750
40	1.500	2.500	1	3.750
41	1.500	2.500	1	3.750
42	1.500	2.500	1	3.750
43	1.500	2.500	1	3.750
44	1.500	2.500	1	3.750
45	1.500	2.500	1	3.750



**PROJECT ARCHITECT:**  
 rajeev agarwal architects

**STRUCTURE:**  
 NNC DESIGN INTERNATIONAL  
 NNC CONSULTING STRUCTURAL ENGINEERS  
 1-1002, Ganga Park  
 New Delhi - 110014  
 India  
 Tel: +91 11 46204444  
 Fax: +91 11 46204444  
 Website: www.nnccdesign.com

**MEP CONSULTANTS:**  
 PDA  
 9/6, 2nd Floor, P.I.E. Premises  
 Kirti Vihar, Connaught Place  
 New Delhi - 110022  
 India  
 Tel: +91 11 26111111  
 Fax: +91 11 26111111  
 Website: www.pda.com

**PROJECT LANDSCAPE CONSULTANTS:**  
 Greenbox Designs  
 P-123 D/E C/2  
 Gurgaon  
 Haryana, India

**PROJECT TITLE:**  
 REVISED Building Plans Of Group Housing Colony  
 Area Measuring 27.48125 Acres  
 (23.248705 Under License No.39 of 2013 Dated 04.08.2013  
 & 4.236545 Under License No.39 of 2013 Dated 08.08.2014) in Sector-36-A,  
 Gurgaon. Mansarovar Urban Complex Being Developed by  
 BLUEVAJ'S REALTECH PVT. LTD.  
 Being Codeveloped By  
 KRISUMI CORPORATION PVT. LTD.)

**ARCHITECT'S SIGNATURE / STAMP:**  
 (Signature of Rajeev Agarwal)

**STRUCTURE CONSULTANT SIGNATURE / STAMP:**  
 (Signature of NNC Design International)

**OWNER SIGNATURE / STAMP:**  
 (Signature of Bluejays Realtech Pvt. Ltd.)

**DRAWING TITLE:**  
 SITE PLAN WITH GREEN

**SCALE:**  
 1:500

**DATE:**  
 19 - MAY - 2022

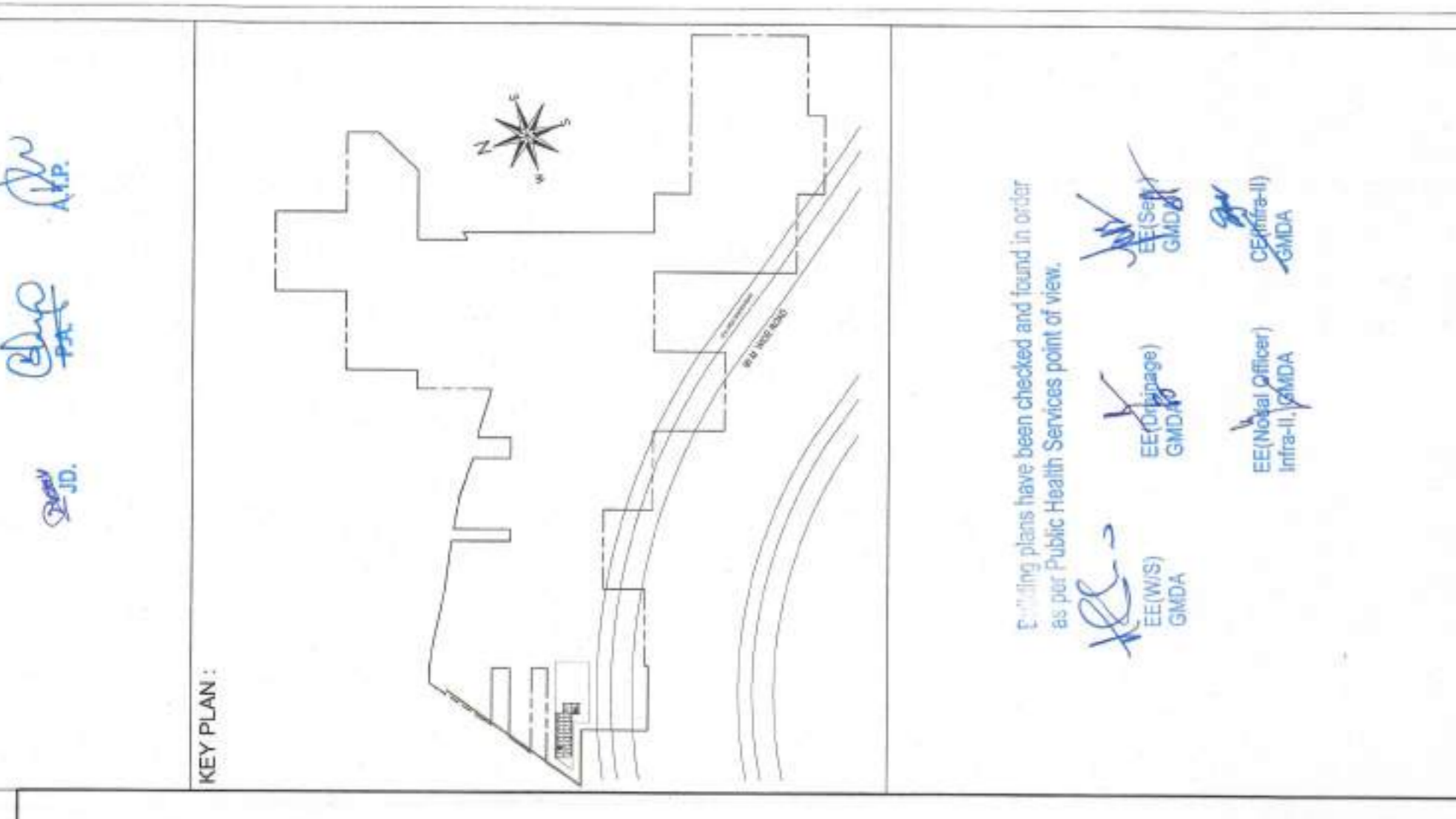
**DRAWING NO.:**  
 SP-1A

**REVISIONS:**

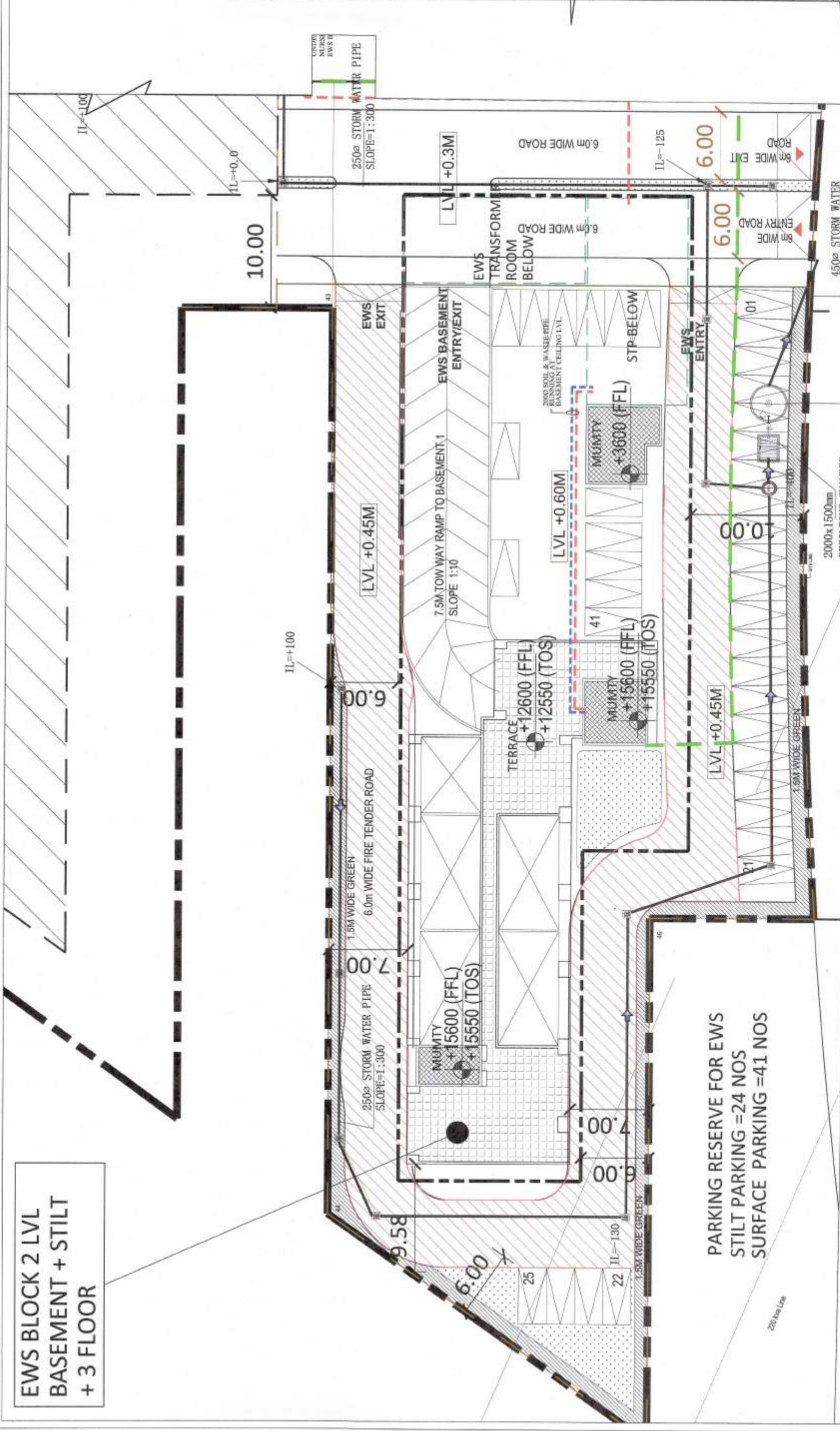
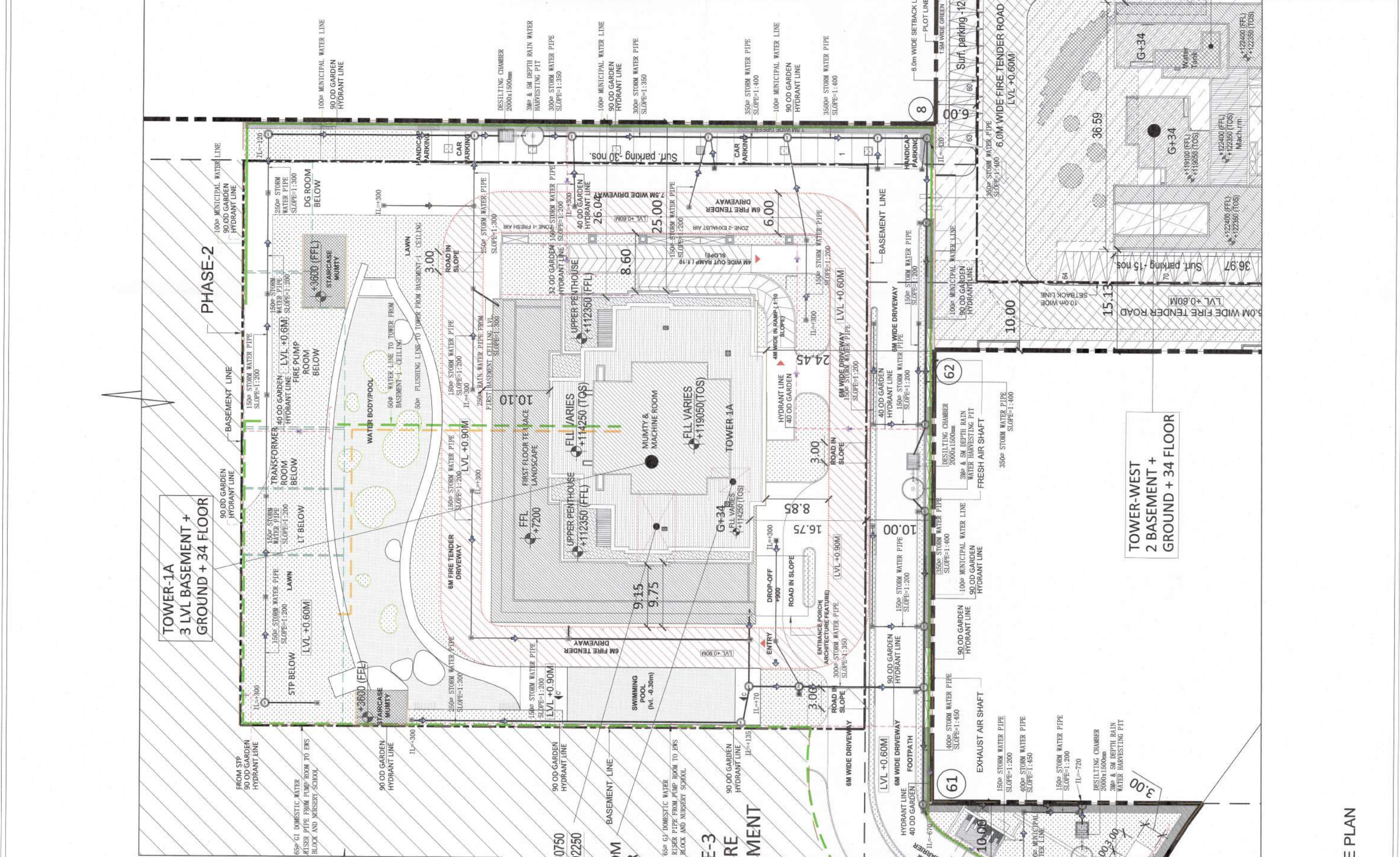
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<input type="checkbox"/>	DRG

**APPROVED STAMP:**  
 (Official stamps and signatures)

AUTHORITY STAMP:  
 TO BE READ WITH THIS OFFICE  
 DRAWING NO. SP-1B  
 DATED: 19-05-2022  
 PROJECT: BLUEJAYS REALTECH PVT. LTD.  
 DRAWING: SITE PLAN (ANNEXTURE)  
 SCALE: 1:500



PROJECT ARCHITECT: <b>rajeev agarwal architects</b> 101, 2nd Floor, P.E.E. Premises, Near Sakinaka - 110017, New Delhi www.rajeevagarwal.com	STRUCTURE: <b>NINC DESIGN INTERNATIONAL</b> CONSULTANTS 101, 2nd Floor, P.E.E. Premises, Near Sakinaka - 110017, New Delhi www.nincdesign.com	MEP CONSULTANTS: <b>PDA</b> 101, 2nd Floor, P.E.E. Premises, Near Sakinaka - 110017, New Delhi www.pda.com	PROJECT LANDSCAPE CONSULTANTS: <b>Greenbook Designs</b> P-123, DLF City Phase 2, Gurgaon, Haryana, India	PROJECT TITLE: <b>REVISED Building Plans Of Group Housing Colony</b> measuring 27.46125 Acres (CS 10 measuring 27.46125 Acres No.39 of 2013 Dated 04.06.2013 and 2.38125 Acres Under License No. 85 of 2014 Dated 08.08.2014) in Sector-36-A, Gurgaon Manesar Urban Complex Being Developed By <b>BLUEJAYS REALTECH PVT. LTD.</b> Being Codeveloped By <b>(KRISUMI CORPORATION PVT. LTD.)</b> ARCHITECT'S SIGNATURE / STAMP:	STRUCTURE CONSULTANT SIGNATURE / STAMP: <b>RAJEEV AGARWAL</b> ARCHITECT CARRS11515	OWNER SIGNATURE / STAMP: <b>BLUEJAYS REALTECH PVT. LTD.</b>
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TOWER 1A SITE PLAN  
SCALE 1:250

SWIMMING POOL PLAN  
SCALE 1:100

SWIMMING POOL SECTION CC'  
SCALE 1:100

RELEASED FOR: <input type="checkbox"/> INFORMATION <input type="checkbox"/> EIA <input type="checkbox"/> TENDER <input type="checkbox"/> ADVANCE COPY <input checked="" type="checkbox"/> SUBMISSION DRG. <input type="checkbox"/> UFC
SCALE: 1:500
DATE: 19 - MAY - 2022
DRAWING NO.: SP-1B

**AREA STATEMENT AND POPULATION CHART -- (ALREADY SANCTION) PHASE 1**

BUILDING DESCRIPTION	BUILDING TYPE	AREA CALCULATION		POPULATION STATEMENT		TOTAL POPULATION (Main + Service)
		GROUND COVERAGE (sqm)	FAR (sqm)	NO. OF APARTMENTS	POPULATION BREAK UP	
TOWER EAST	G-27	182	239	239	Service Population 100% of the main Dwelling Units = 43 x 10 / 100 = 43 Units Hence Service Population = 44 x 2 = 88 Person / Room. EWS Population = 77x2 = 154	202
TOWER WEST	G-34	182	184	184		242
CLUB	G-1	5,643.732	62973.676			
SHOPPING	G	529.015	1745.311	77		
EWS	S-4	6,092.747	64118.387	510	2165	2407
<b>GRAND TOTAL</b>						

**AREA STATEMENT AND POPULATION CHART -- (REVISED SANCTION) PHASE 2**

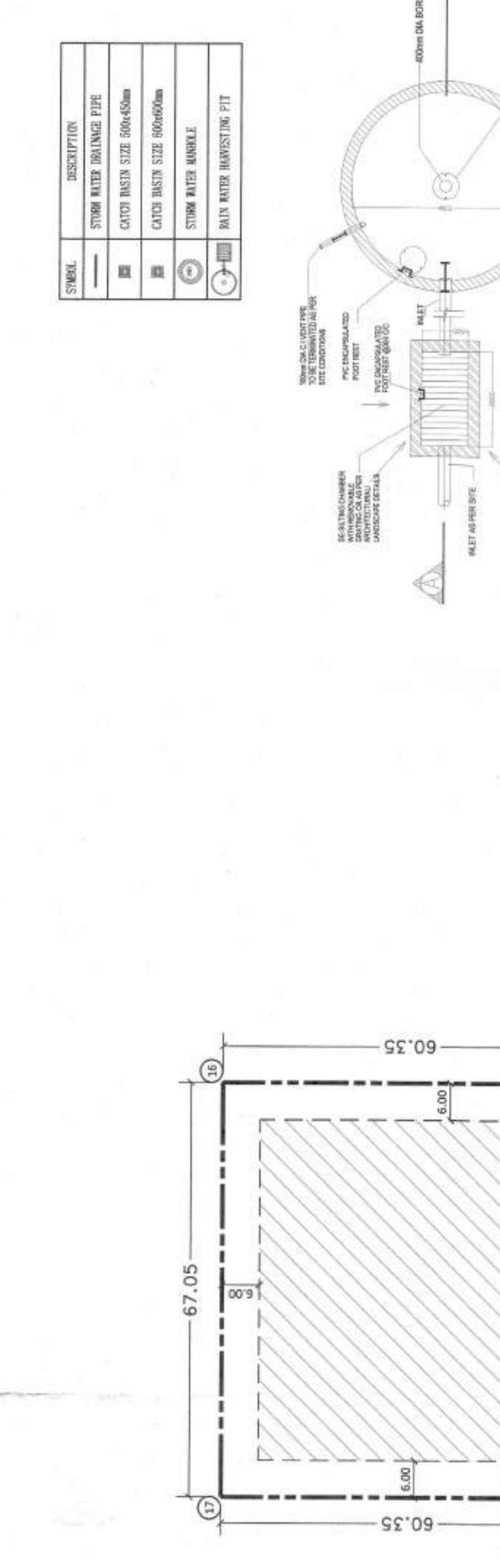
BUILDING DESCRIPTION	BUILDING TYPE	AREA CALCULATION		POPULATION STATEMENT		TOTAL POPULATION (Main + Service)
		GROUND COVERAGE (sqm)	FAR (sqm)	NO. OF APARTMENTS	POPULATION BREAK UP	
TOWER 1A	G-34	1,892.830	26984.847	320	10% of the main Dwelling Units = 330 x 10 / 100 = 33 Units Hence Service Population = 44 x 2 = 88 Person / Room. EWS Population = 88x2 = 176 Person	176
CLUB	G		63950.011			
SHOPPING	G	244.3	273.2	95		
SCHOOL	G	731.313	1592.835	93		
EWS	S-3	2,925.245	27469.462	378	1800	1978
<b>GRAND TOTAL</b>						

**LEGEND**

- Storm Water Line
- Irrigation Water Supply
- Municipal Water Line
- Fire Tender Path
- Demarcation line
- Setback line
- Basement profile
- Organized greens line
- 6.0m wide fire tender path
- 1.5M wide green
- Organized greens
- Organized hard greens

**NOTES:**

- All fills shall have 100% power back up.
- Fire fighting provisions shall be as per NBC provisions.
- Fire fighting provisions shall be as per NBC provisions.
- Roof slab of upper basement is designed to take Fire Tender load.



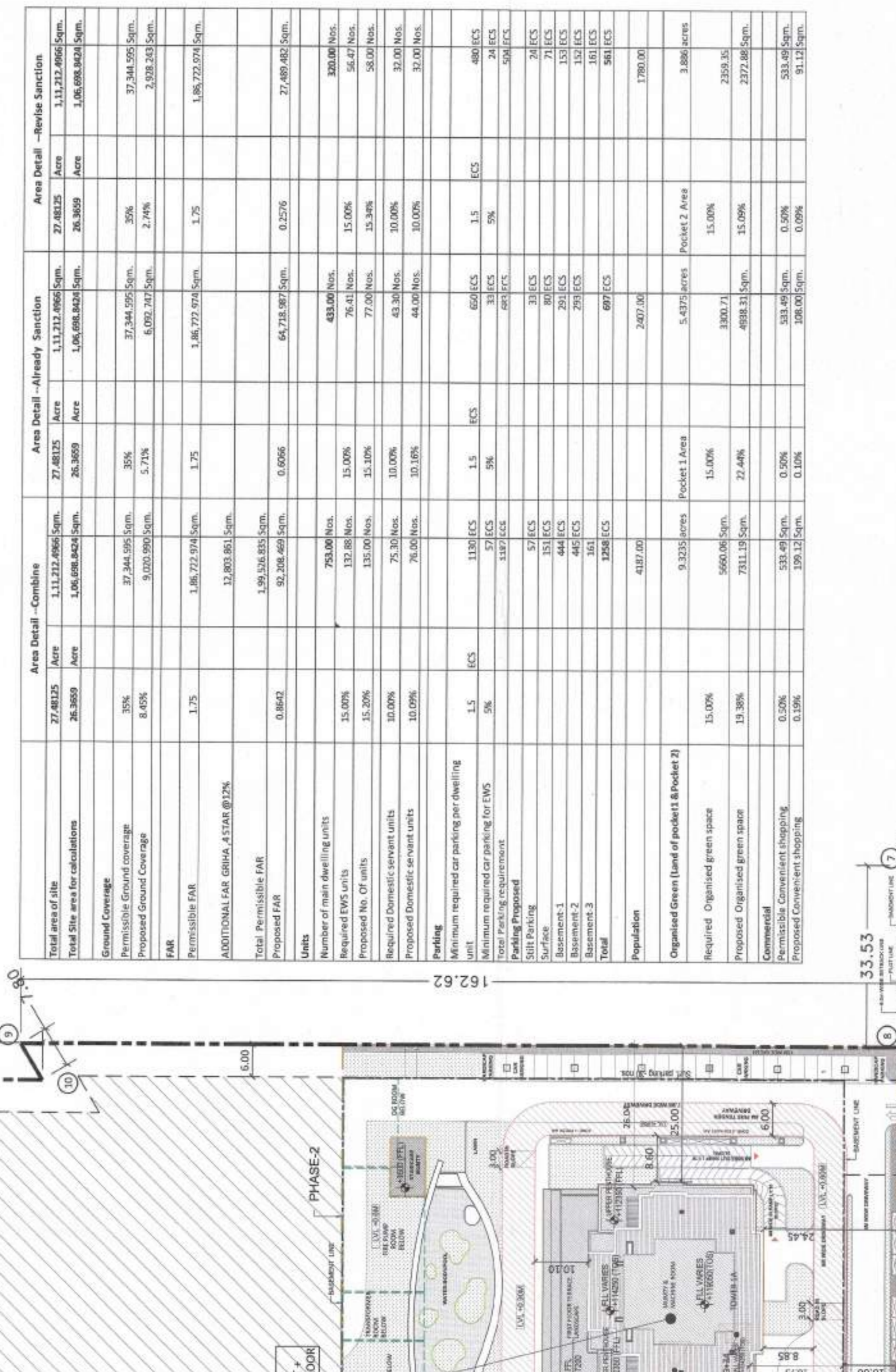
PROJECT ARCHITECT: **rajeev agarwal architects**  
 PROJECT TITLE: **Greenbox Designs P-1/23 DLF City Phase 2 Gurgaon Haryana, India**  
 PROJECT LOCATION: **Greenbox Designs P-1/23 DLF City Phase 2 Gurgaon Haryana, India**  
 PROJECT AREA: **122.82 Acres**  
 PROJECT DATE: **04.06.2013**  
 PROJECT NO: **P-1/23**

**Table 1: Summary of Areas**

Area	Area (sqm)	Area (sq ft)
Total Area	1,11,11,111.11	1,22,82,000.00
Area for Construction	1,11,11,111.11	1,22,82,000.00
Area for Green	1,11,11,111.11	1,22,82,000.00
Area for Road	1,11,11,111.11	1,22,82,000.00
Area for Other	1,11,11,111.11	1,22,82,000.00

**Table 2: Population Details**

Category	Population
Residential	2407
Commercial	1978
Public	1000
Other	1000
<b>Total</b>	<b>7383</b>



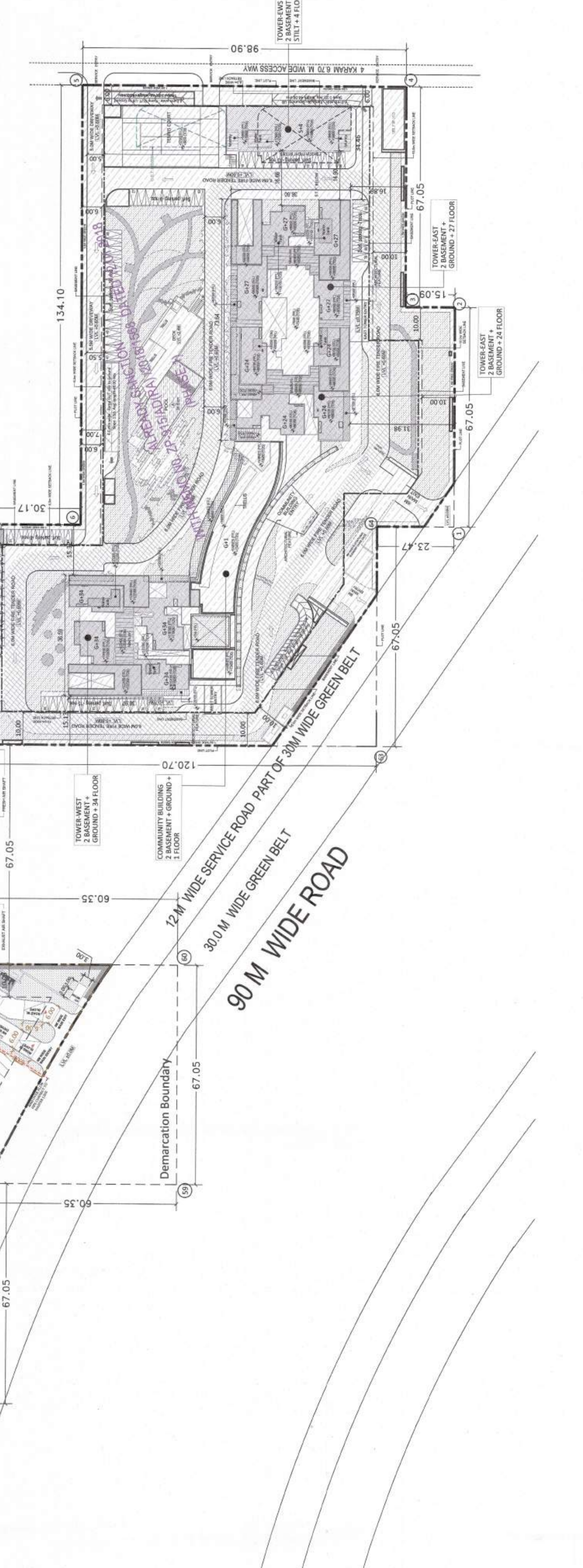
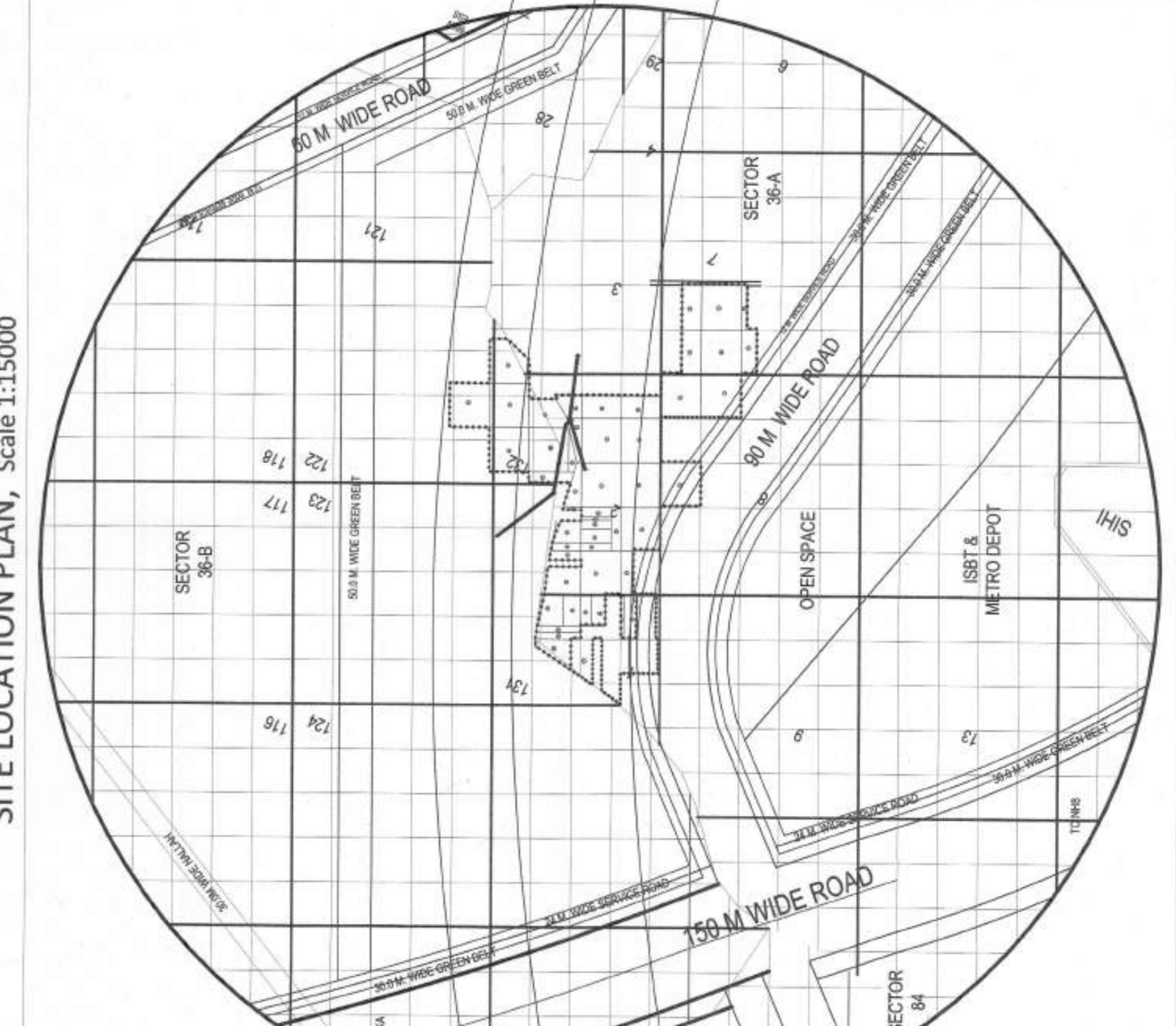
**STRUCTURE**

**MEP CONSULTANTS**

**POA**

**GREENBOX DESIGNS**

**ARCHITECT'S SIGNATURE / STAMP:**



**REVISED Building Plans Of Group Housing Colony**

**ARCHITECT'S SIGNATURE / STAMP:**

**OWNER SIGNATURE / STAMP:**

**RELEASED FOR: INFORMATION**

**DATE: 19-MAY-2022**

**DRAWING NO: SP-1C**

AREA STATEMENT AND POPULATION CHART - (ALREADY SANCTION) PHASE 1						
BUILDING TYPE	DESCRIPTION	AREA CALCULATION		POPULATION STATEMENT		
		GROUND COVERAGE (sqm)	FAR (sqm)	NO. OF APARTMENTS	POPULATION BREAK UP	TOTAL POPULATION
TOWER EAST	G-27			209	Service Population (60% of Units) Main Population (40% of Units)	
TOWER WEST	G-34			104	100% of the main Dwelling Units	
CLUB	G-1	5,863.732	62073.876		* 423 x 10 / 100 = 44 Units Hence Service Population = 44 x 2 = 88 Person / Room EWS Population = 772 x 154 Person	
SHOPPING	G					
EWS	S-4	528.915	1745.311	77	242	
<b>GRAND TOTAL</b>		<b>6,692.747</b>	<b>64718.987</b>	<b>510</b>	<b>248</b>	<b>2407</b>

AREA STATEMENT AND POPULATION CHART - (REVISED SANCTION) PHASE 2						
BUILDING TYPE	DESCRIPTION	AREA CALCULATION		POPULATION STATEMENT		
		GROUND COVERAGE (sqm)	FAR (sqm)	NO. OF APARTMENTS	POPULATION BREAK UP	TOTAL POPULATION
TOWER 1A	G-34			320	Service Population (60% of Units) Main Population (40% of Units)	
CLUB	G	1,882.830	28938.847		100% of the main Dwelling Units = 200 x 10 / 100 = 20 Units = 32 x 2 = 64 Person / Room EWS Population = 582 x 118 Person	
SHOPPING	G					
NURSERY	G	244.3	276.2			
SCHOOL	G	731.313	1982.835	98	180	
EWS	S-3					
<b>GRAND TOTAL</b>		<b>2,859.243</b>	<b>27468.462</b>	<b>378</b>	<b>160</b>	<b>1770</b>

**LEGEND**

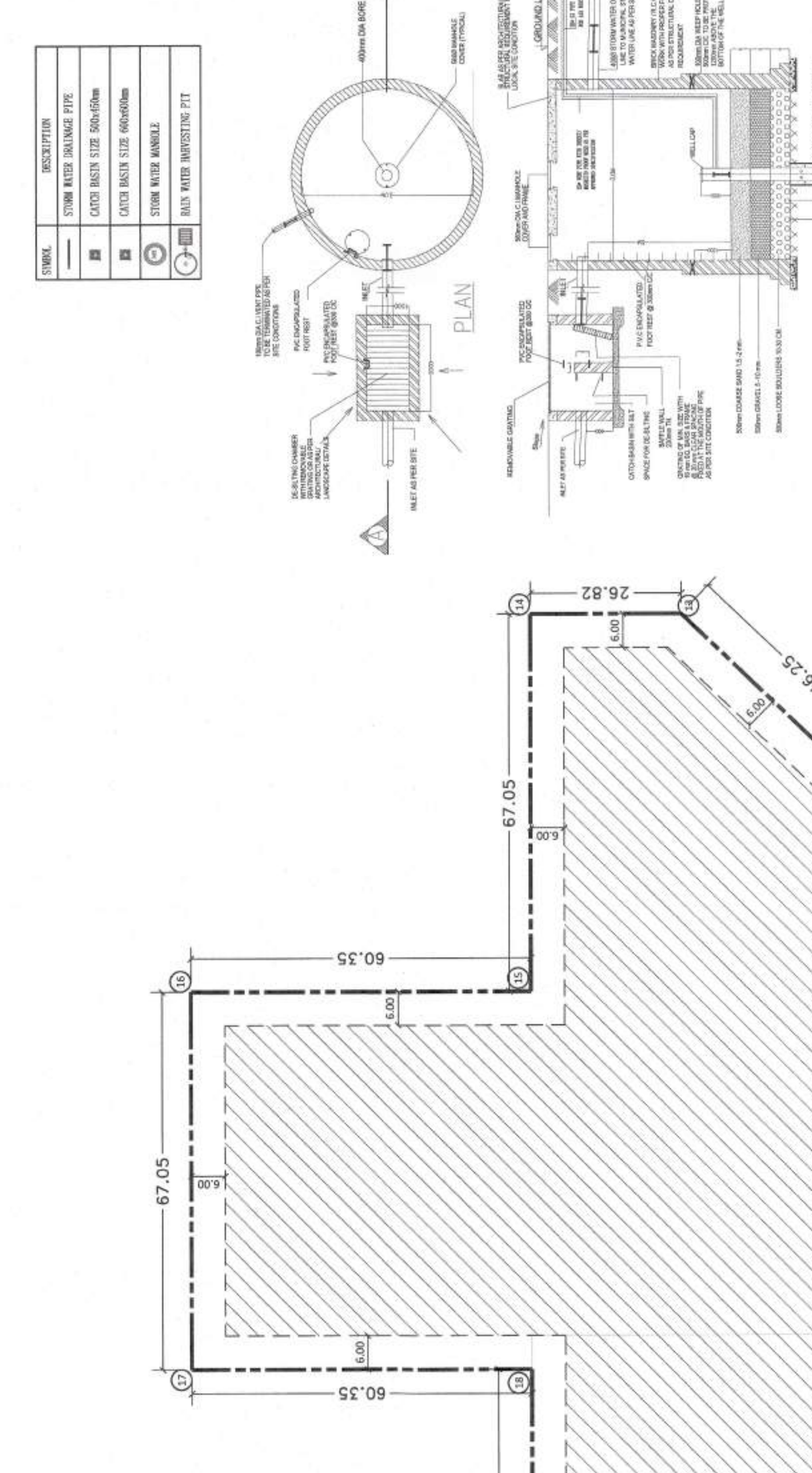
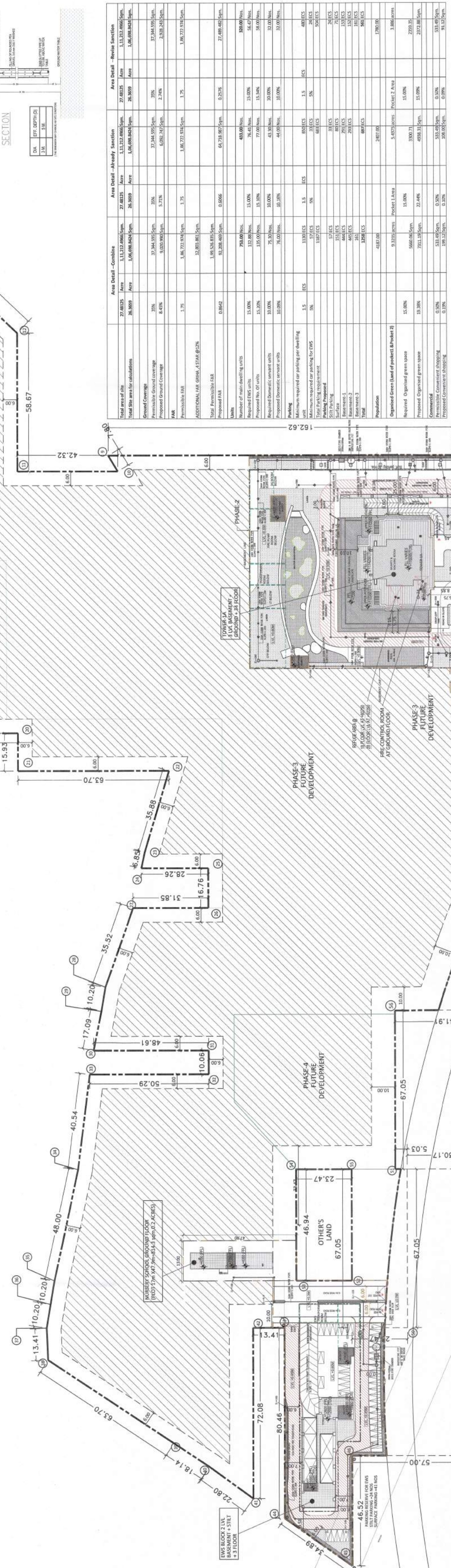
- Storm Water Line
- Irrigation Water Supply
- Municipal Water Line
- Fire Tender Path

**LEGEND**

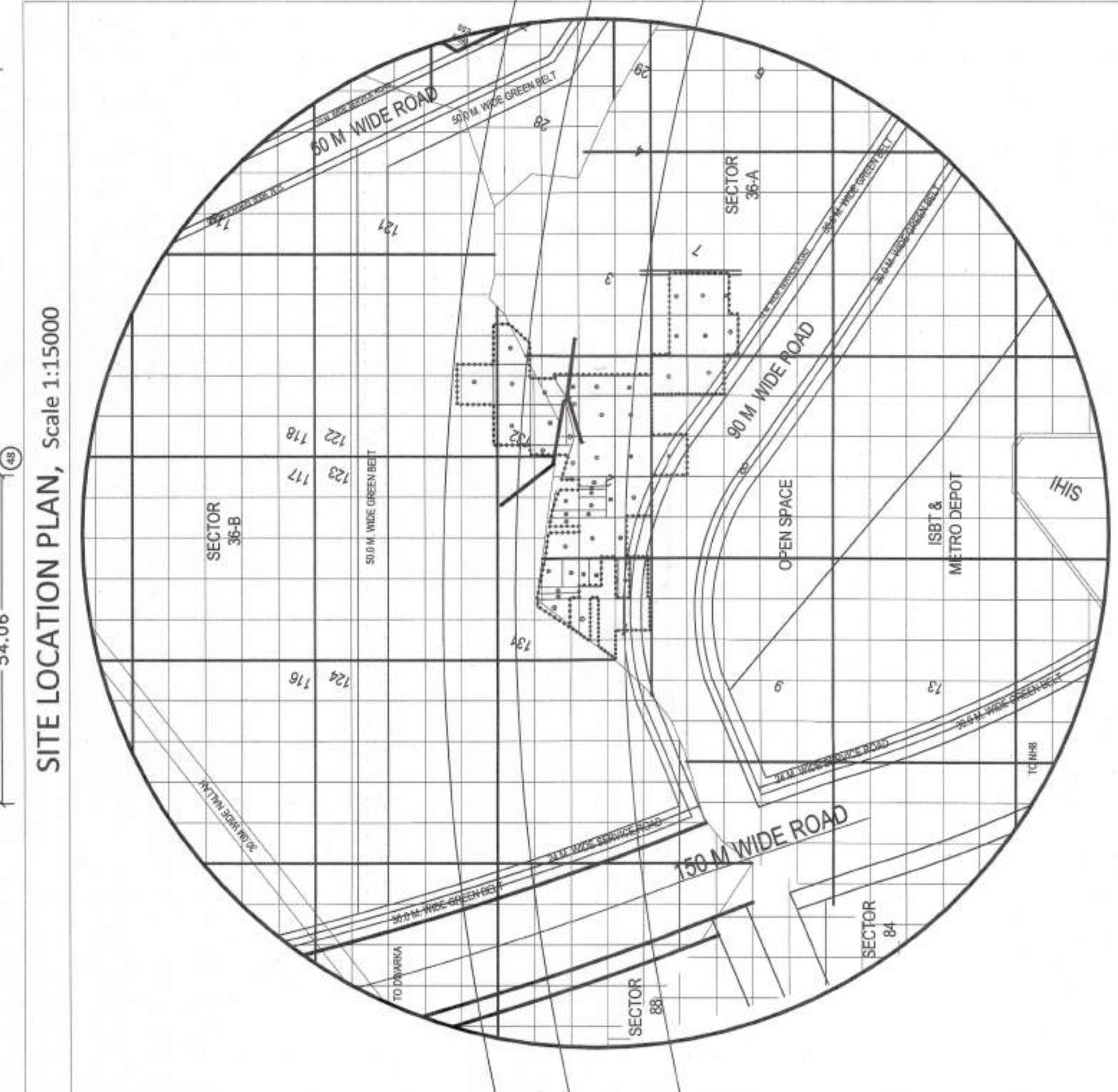
- Demarcation line
- Setback line
- Basement profile
- Organized greens line
- 6.0m wide fire tender path
- 1.5M wide green
- Organized greens
- Organized hard greens

**NOTES:**

1. All setbacks shall be 100% cover back up.
2. All Electrical installations shall be as per prevalent NBC provisions.
3. Fire fighting/safety provisions will be as per prevalent NBC provisions.
4. Roof slab of upper basement is designed to take Fire Tender load.



Area	Area Available - Available		Area Available - Already Sanctioned		Area Available - Minimum Sanction	
	sqm	%	sqm	%	sqm	%
Total Available	1,00,000.00	100%	1,00,000.00	100%	1,00,000.00	100%
Area Available - Already Sanctioned	10,000.00	10%	10,000.00	10%	10,000.00	10%
Area Available - Minimum Sanction	90,000.00	90%	90,000.00	90%	90,000.00	90%



**AUTHORITY STAMP:**

TO BE READ WITH THIS OFFICE  
 DRAWING NO: SP-1E  
 DATE: 19-05-2022  
 SCALE: 1:500

**PROJECT ARCHITECT:**  
**rajeev agarwal architects**  
 100, 2nd Floor P.E.E. Phangani  
 100, 2nd Floor P.E.E. Phangani  
 100, 2nd Floor P.E.E. Phangani

**STRUCTURE:**  
**NDC DESIGN INTERNATIONAL**  
 201, 2nd Floor P.E.E. Phangani  
 201, 2nd Floor P.E.E. Phangani

**MEP CONSULTANTS:**  
**Greenbox Designs**  
 P-1/23, DLF City Phase 2  
 Gurugram, Haryana, India

**PROJECT LANDSCAPE CONSULTANTS:**  
**Greenbox Designs**  
 P-1/23, DLF City Phase 2  
 Gurugram, Haryana, India

**PROJECT TITLE:**  
 REVISED Building Plans Of Group Housing Colony  
 (25.10 Acres Under License No. 39 of 2013 Dated 04.06.2013  
 and 2.38125 Acres Under  
 License No. 85 of 2014 Dated 08.08.2014) in Sector-36-A,  
 Gurgaon Manesar Urban Complex Being Developed By  
 BLUEJAYS REAL TECH PVT. LTD.  
 Being Codeveloped By  
 (KRISUMI CORPORATION PVT. LTD.)

**ARCHITECT'S SIGNATURE / STAMP:**  
**RAJEEV KUMAR AGARWAL**  
 ARCHITECT - C-688/11915

**OWNER SIGNATURE / STAMP:**  
**THE KRISUMI CORPORATION PVT. LTD.**

**STRUCTURE CONSULTANT SIGNATURE / STAMP:**

**DRAWING TITLE:**  
**SITE PLAN ( STORM LINE)**

**RELEASED FOR:**  
 INFORMATION  
 EIA  
 TENDER  
 ADVANCE COPY  
 SUBMISSION (NO)  
 UPC

