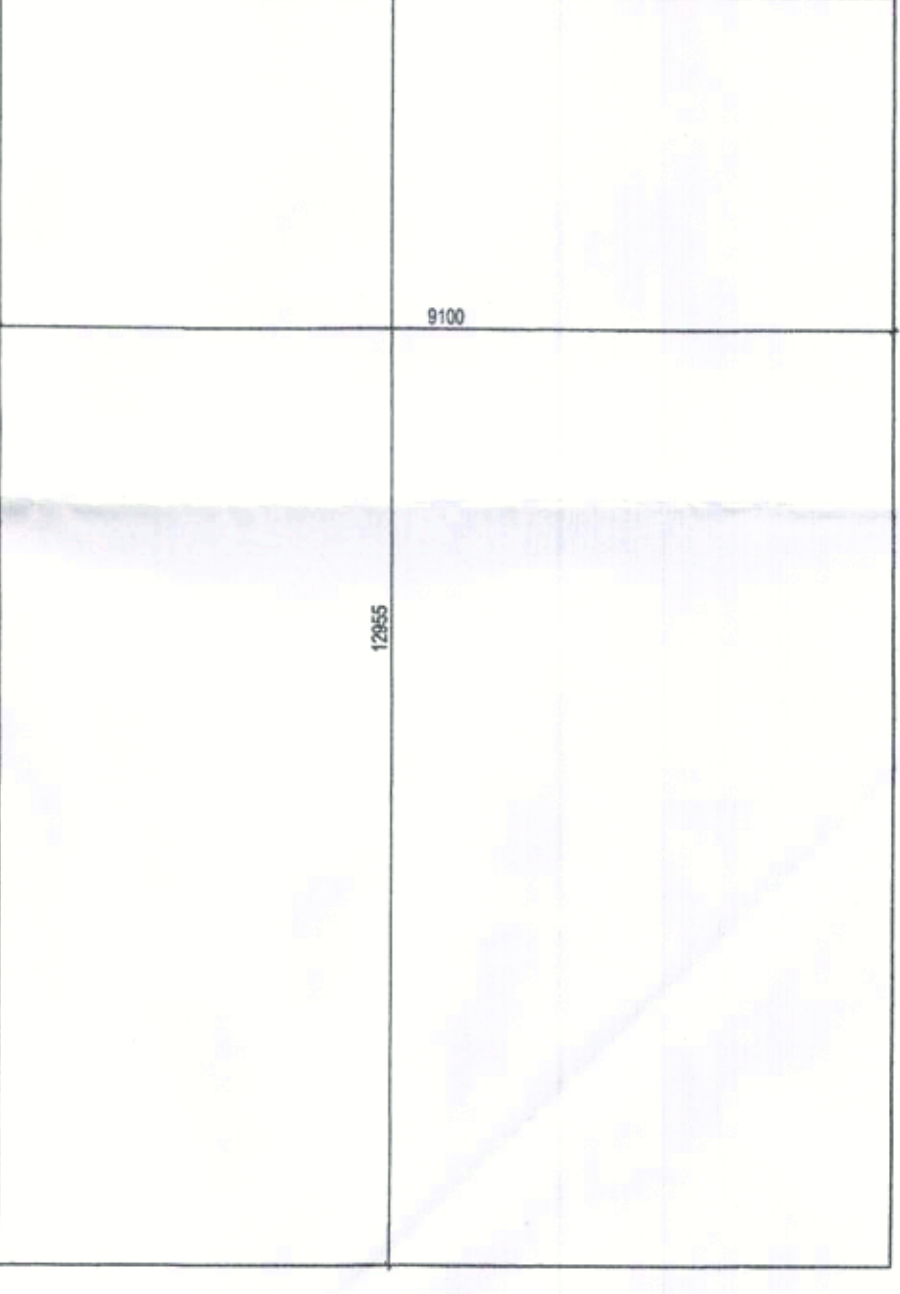
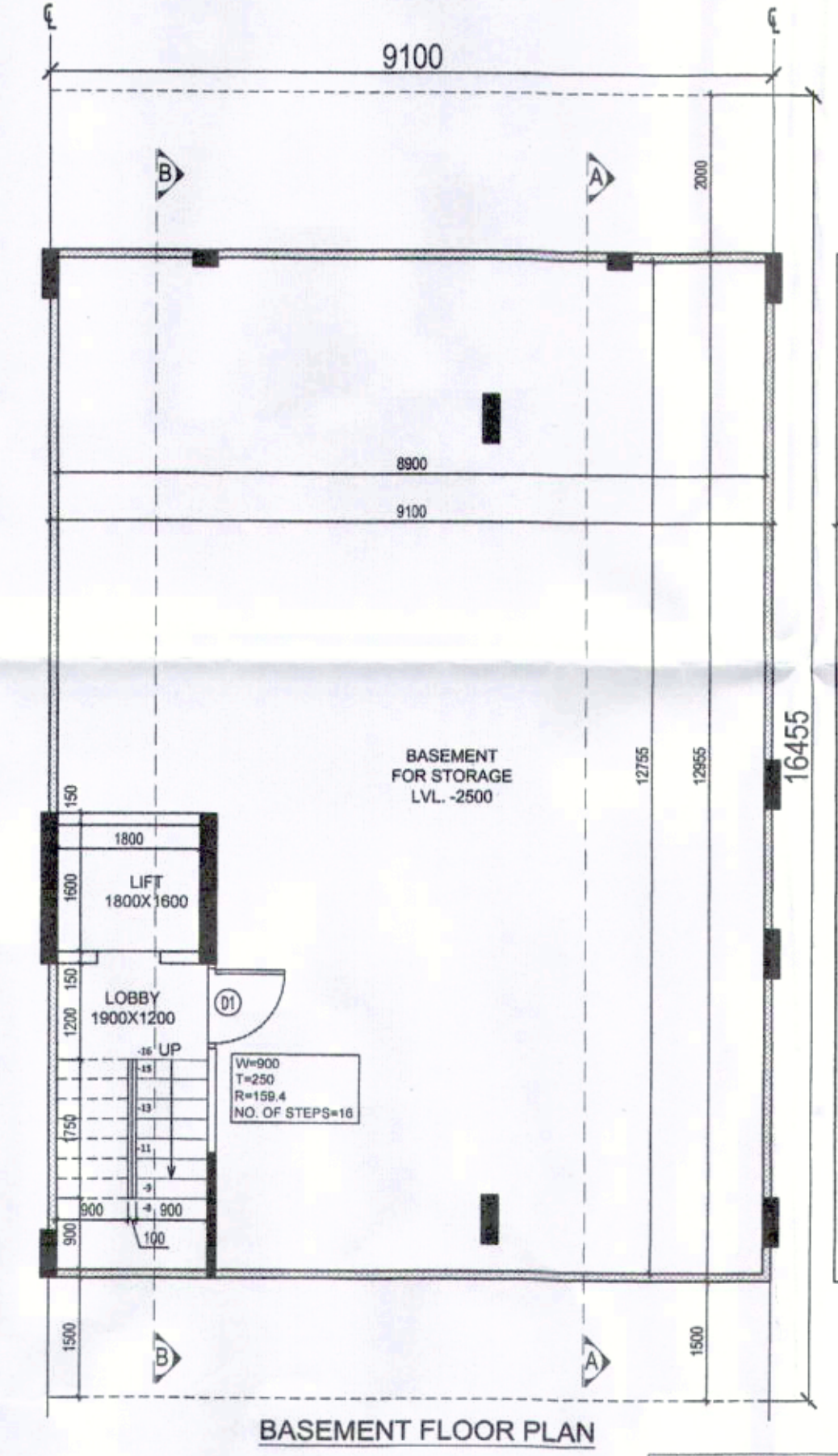
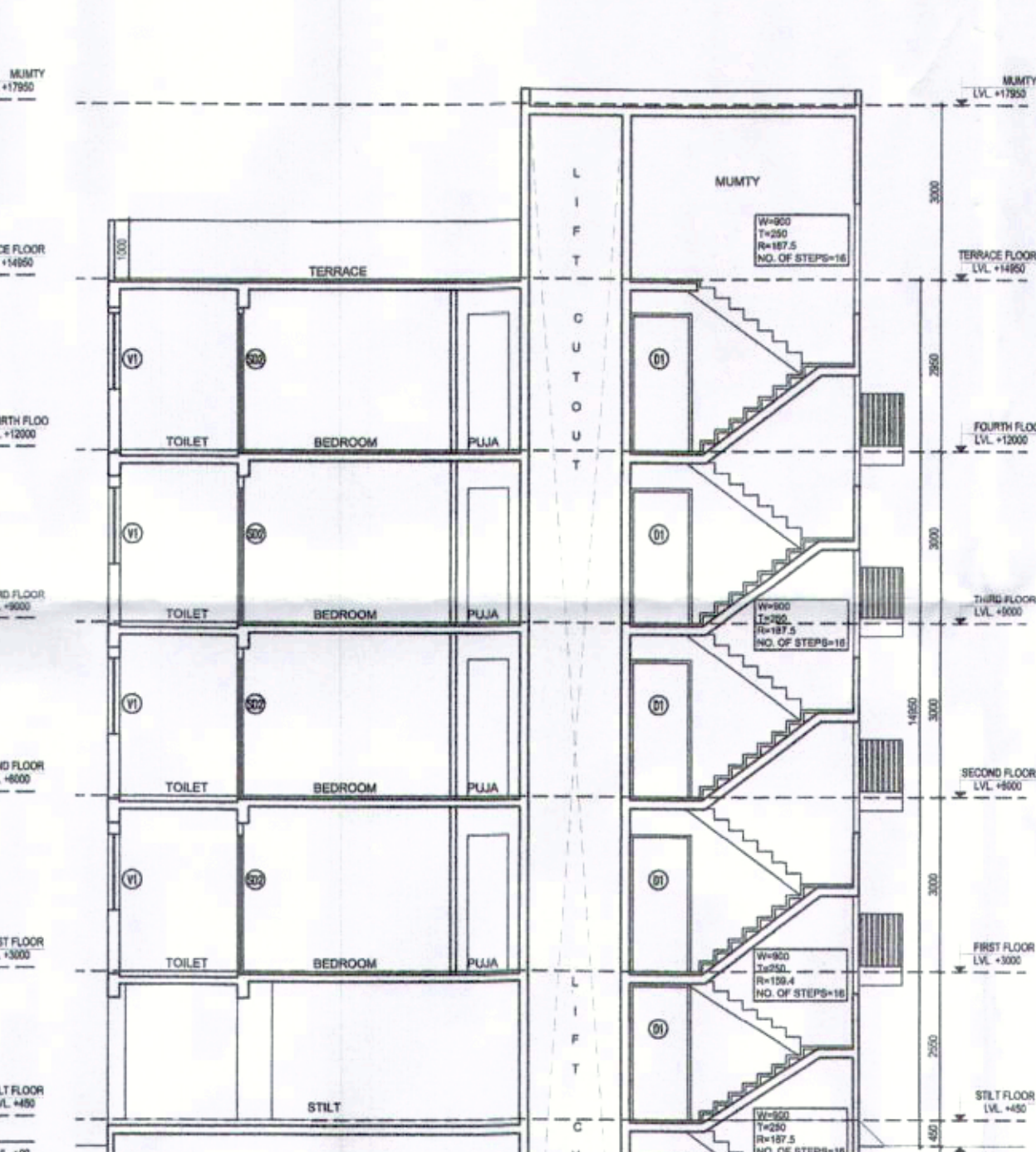
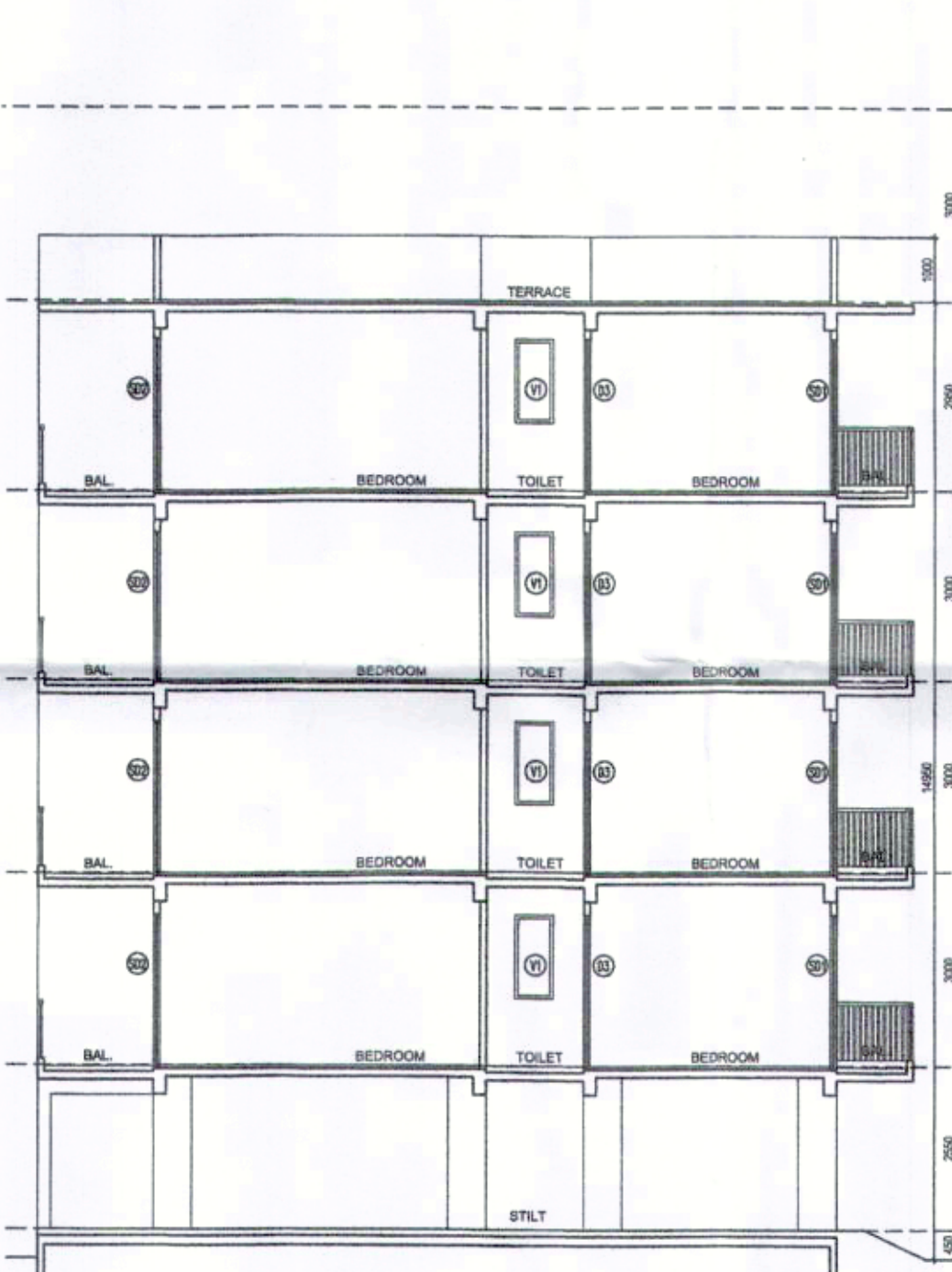
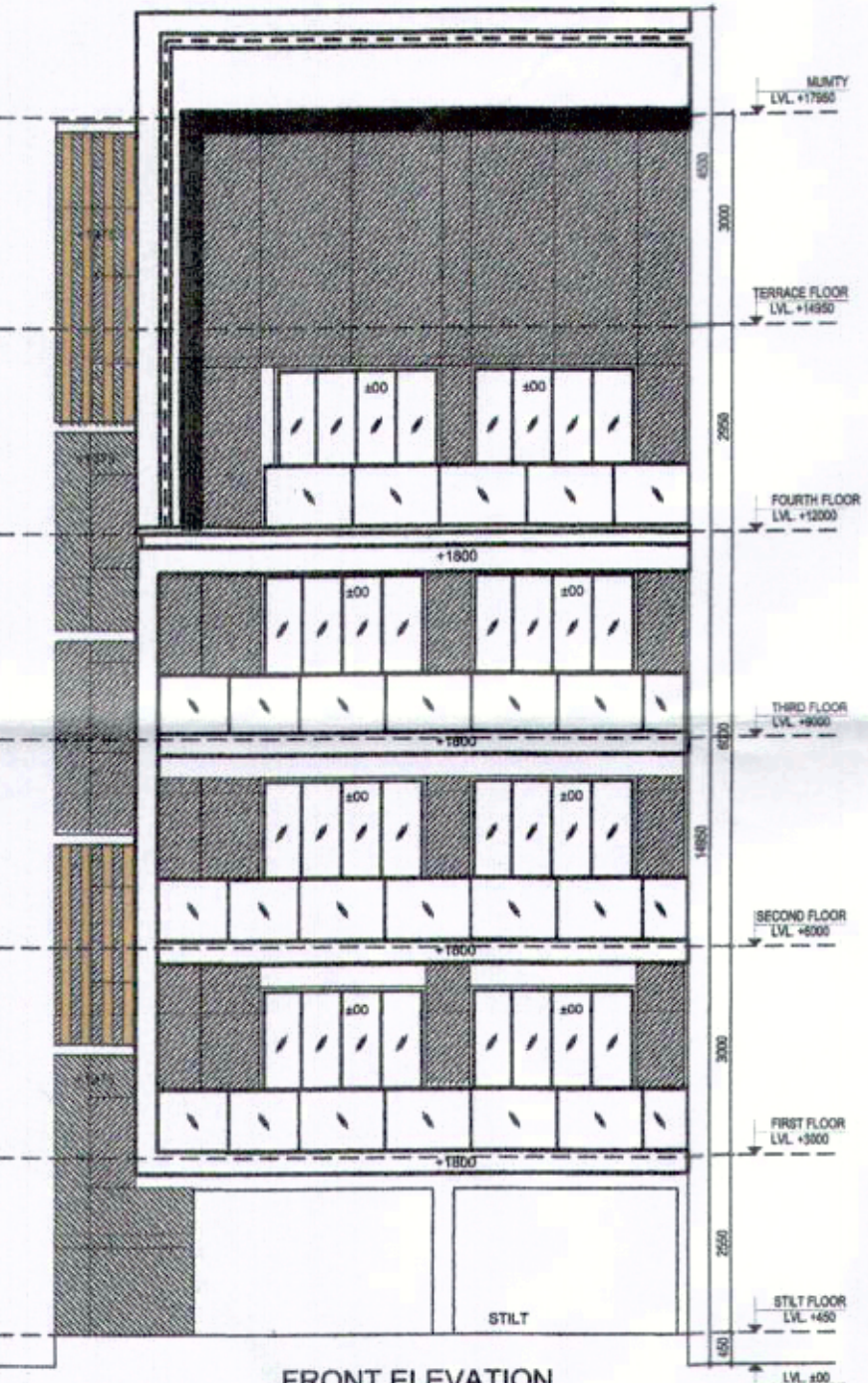


FOUND AS PER SELF CERTIFICATION POLICY
 Plot No. 14, 16, 18, 20, 22, 24, 26, 28, 30
 32, 34, 36 Type-A
 SC PA ATP
 Tracer K. S. AD



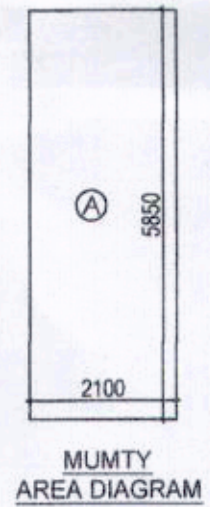
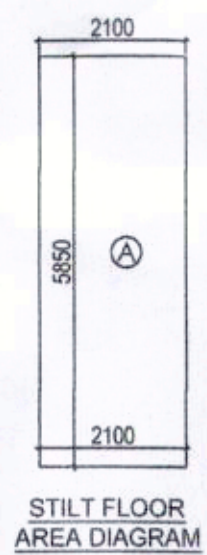
AREA CALCULATION			
	AREA	UNIT	
TOTAL PLOT AREA (9.10X16.455)	149.741	SQ. M.	
PERMISSIBLE FAR @ 2.0	299.481	SQ. M.	
TOTAL FAR INCLUDING PURCHASABLE @ 2.64	365.315	SQ. M.	
PROPOSED FAR @ 2.602	389.575	SQ. M.	
PERMISSIBLE GR. COV. @ 75.0%	112.305	SQ. M.	
PROPOSED GROUND COVERAGE @ 69.80%	104.518	SQ. M.	
FAR OF STILT FLOOR			
A	2.100 X 5.850 X 1	12.285	SQ. M.
TOTAL		12.285	SQ. M.
FAR OF TYPICAL FLOOR (1ST TO 4TH)			
A	9.100 X 12.955 X 1	117.891	SQ. M.
TOTAL		117.891	SQ. M.
DEDUCTION			
1	4.900 X 1.800 X 1	8.820	SQ. M.
2	0.920 X 1.625 X 1	1.403	SQ. M.
3	7.000 X 0.450 X 1	3.150	SQ. M.
4 (STAIRCASE)	1.900 X 3.850 X 1	7.315	SQ. M.
5 (LIFT WELL)	1.800 X 1.600 X 1	2.880	SQ. M.
TOTAL		23.568	SQ. M.
TOTAL FAR OF TYPICAL FLOOR		94.323	SQ. M.
TOTAL FAR			
= (AREA OF STILT + AREA OF TYPICAL FLOOR X 4)		389.575	SQ. M.

GROUND COVERAGE			
TOTAL GROUND COVE	= AREA OF TYPICAL FLOOR + LIFT WELL + STAIRCASE		
4 (STAIRCASE)	1.900 X 3.850 X 1	7.315	SQ. M.
5 (LIFT WELL)	1.800 X 1.600 X 1	2.880	SQ. M.
GROUND COVERAGE		104.518	SQ. M.
AREA OF MUMTY & MACHINE ROOM			
A	2.100 X 5.850 X 1	12.285	SQ. M.
TOTAL		12.285	SQ. M.
AREA OF STILT PARKING			
GROUND COVERAGE - FAR AT STILT FLOOR		92.233	SQ. M.
TOTAL BUILT UP AREA		117.891	SQ. M.
TOTAL AREA OF BASEMENT FLOOR		104.518	SQ. M.
FAR OF FIRST FLOOR + STAIRCASE		101.638	SQ. M.
FAR OF SECOND FLOOR + STAIRCASE		101.638	SQ. M.
FAR OF THIRD FLOOR + STAIRCASE		101.638	SQ. M.
FAR OF FOURTH FLOOR + STAIRCASE		101.638	SQ. M.
FAR OF MUMTY + MACHINE ROOM		12.285	SQ. M.
TOTAL BUILT UP AREA		841.243	SQ. M.
CARPET AREA			
A	1.900 X 1.700 X 2	6.460	SQ. M.
B	0.675 X 0.100 X 2	0.135	SQ. M.
C	6.900 X 5.005 X 1	34.535	SQ. M.
D	2.000 X 5.255 X 1	10.410	SQ. M.
E	5.080 X 1.725 X 1	10.318	SQ. M.
F	6.900 X 3.775 X 1	26.048	SQ. M.
G	0.100 X 1.050 X 1	0.105	SQ. M.
H	1.200 X 0.100 X 2	0.240	SQ. M.
TOTAL CARPET AREA		88.248	SQ. M.
AREA OF BASEMENT FLOOR			
A	9.100 X 12.955 X 1	117.891	SQ. M.
TOTAL		117.891	SQ. M.
TOTAL AREA OF BASEMENT FLOOR		117.891	SQ. M.

AREA OF BASEMENT FLOOR			
A	9.100 X 12.955 X 1	117.891	SQ. M.
TOTAL		117.891	SQ. M.
TOTAL AREA OF BASEMENT FLOOR		117.891	SQ. M.

- NOTE: 1. WALLS WILL BE BLOCK WORK AND 100/200 MM THICK
- 2. TOILET WILL BE MECHANICALLY VENTILATED
- 3. ADJACENT PLOTS WILL BE AS MIRROR LAYOUT.

DOOR WINDOW SCHEDULE					
TYPE	WIDTH	HEIGHT	SILL LVL.	LINTEL LVL.	REMARKS
D1	1050	2350	+00	2550	ENTRANCE
D2	900	2350	+00	2550	BEDROOMS
D3	780	2350	+00	2550	TOILETS
D01	2400	2350	+00	2550	LIVING BEDROOM
D02	1500	2350	+00	2550	BEDROOM
W1	780	1300	1050	2350	KITCHEN
V1	600	1300	1050	2350	TOILETS



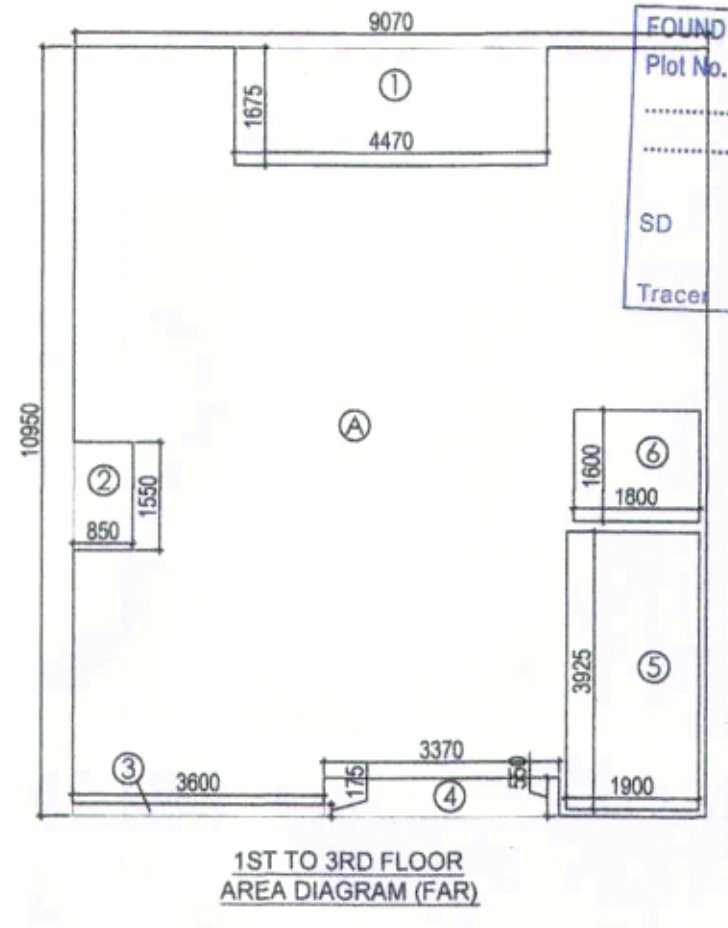
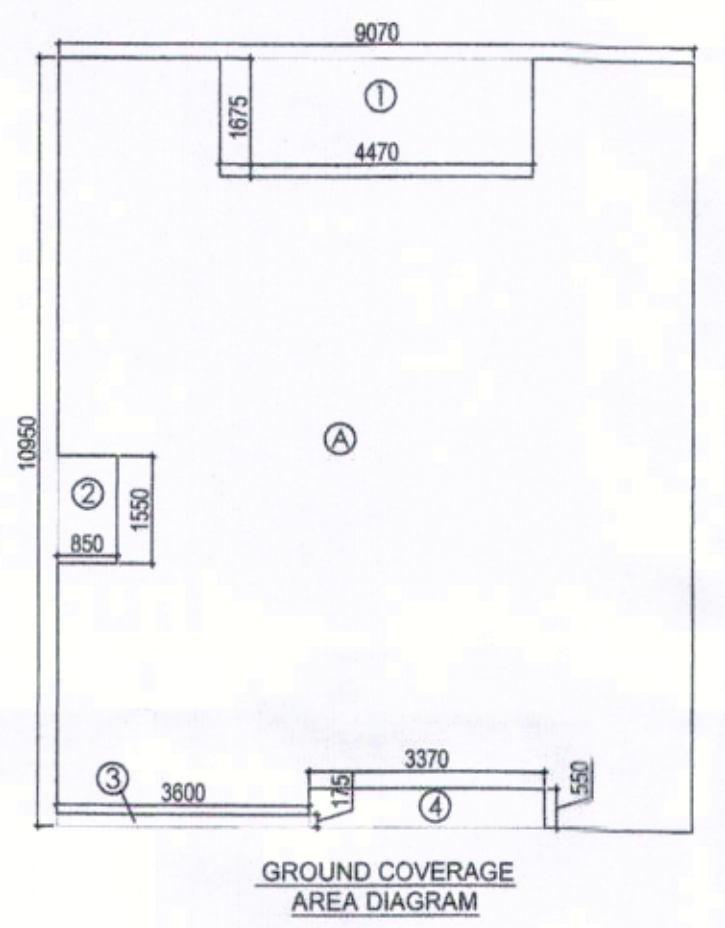
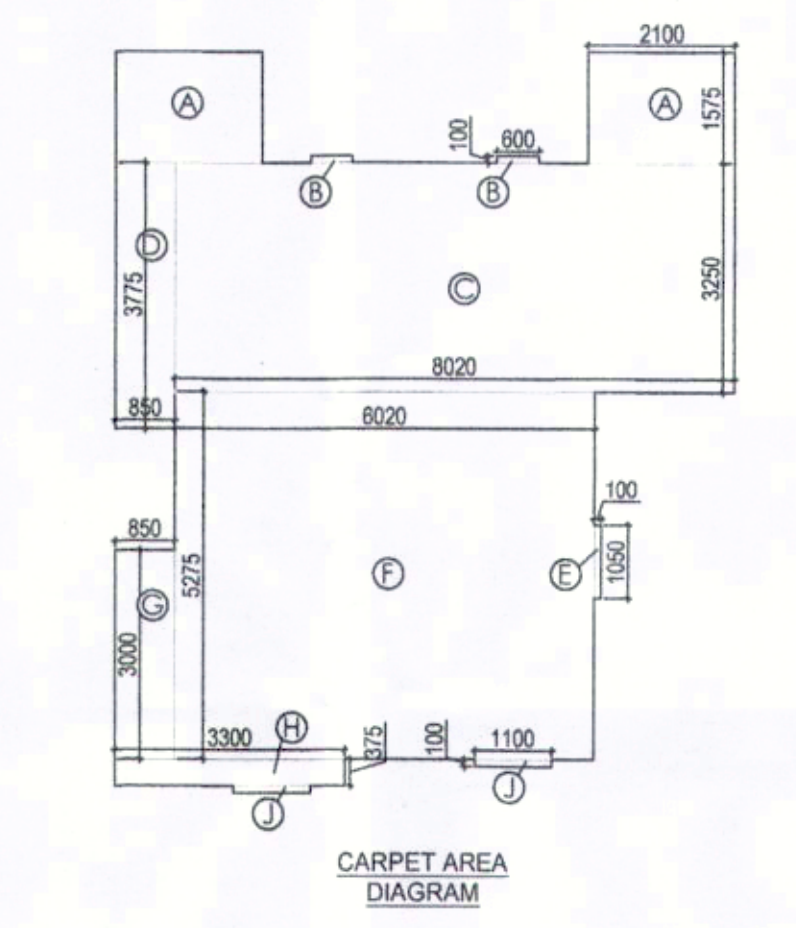
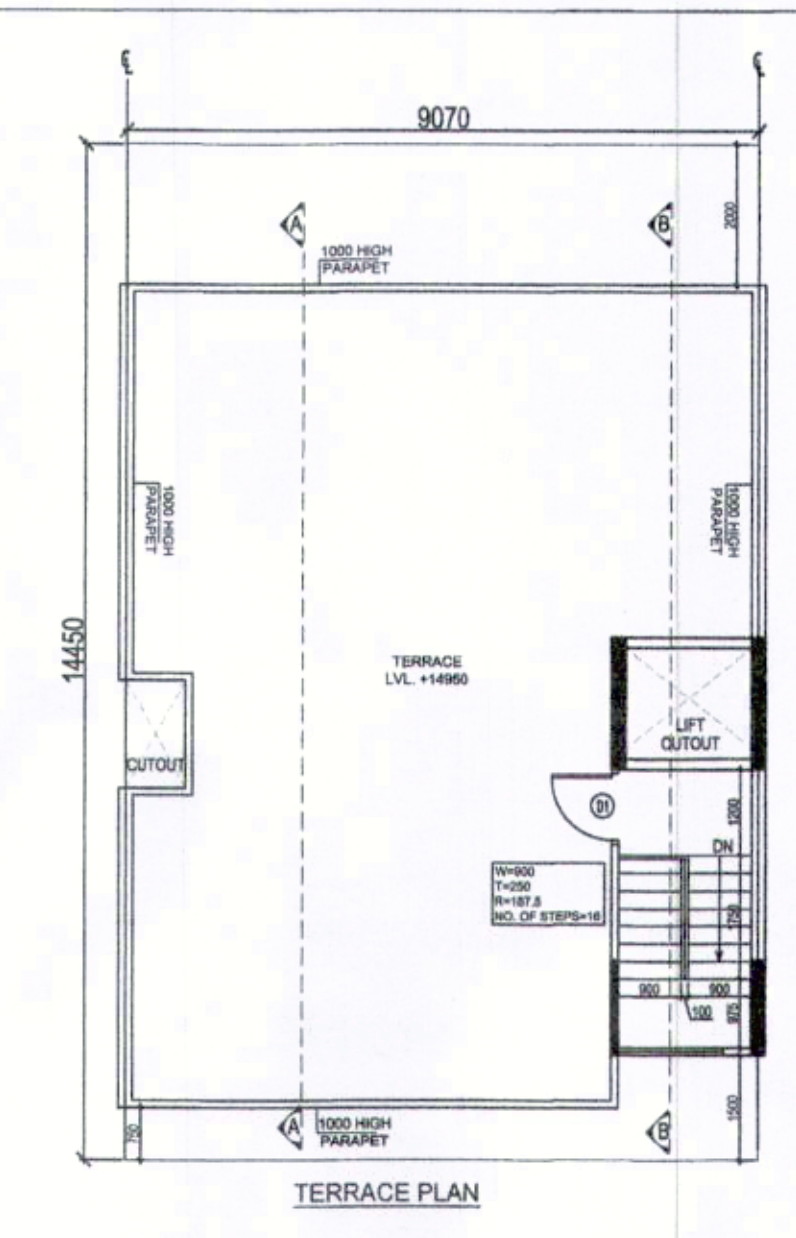
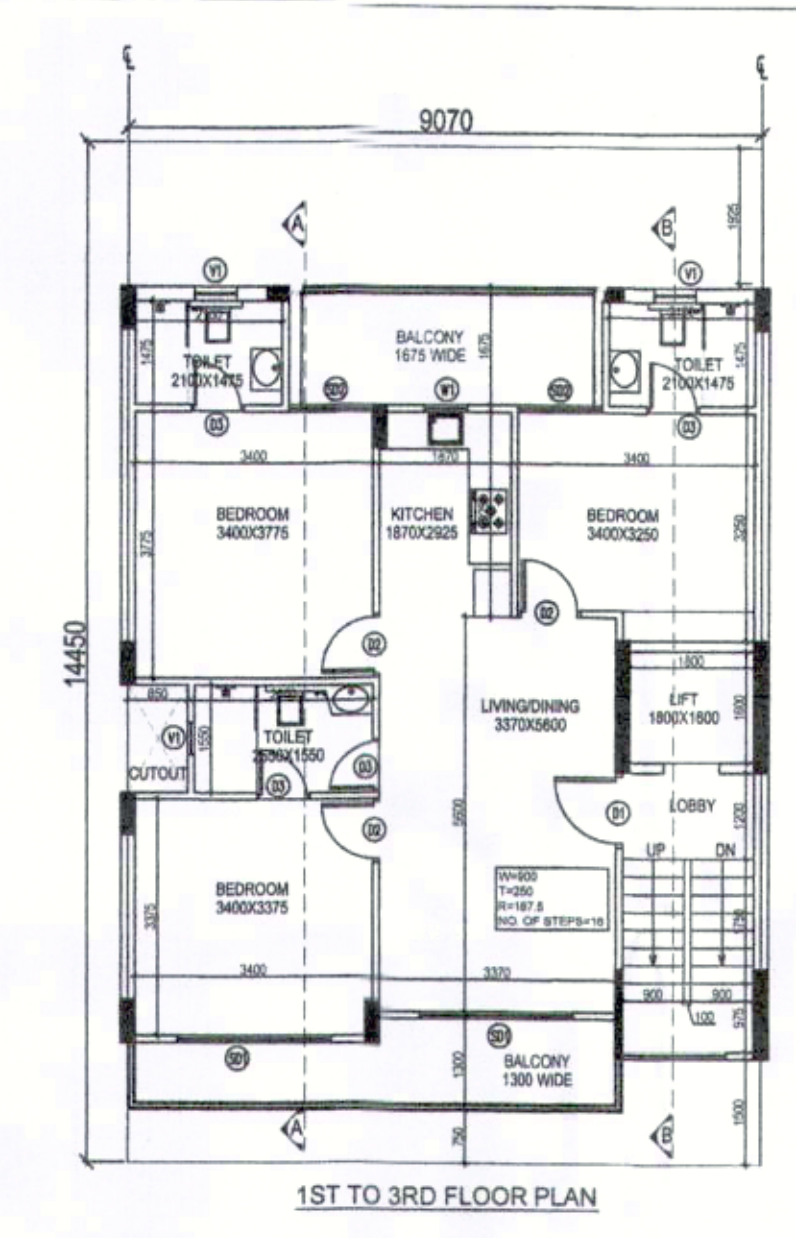
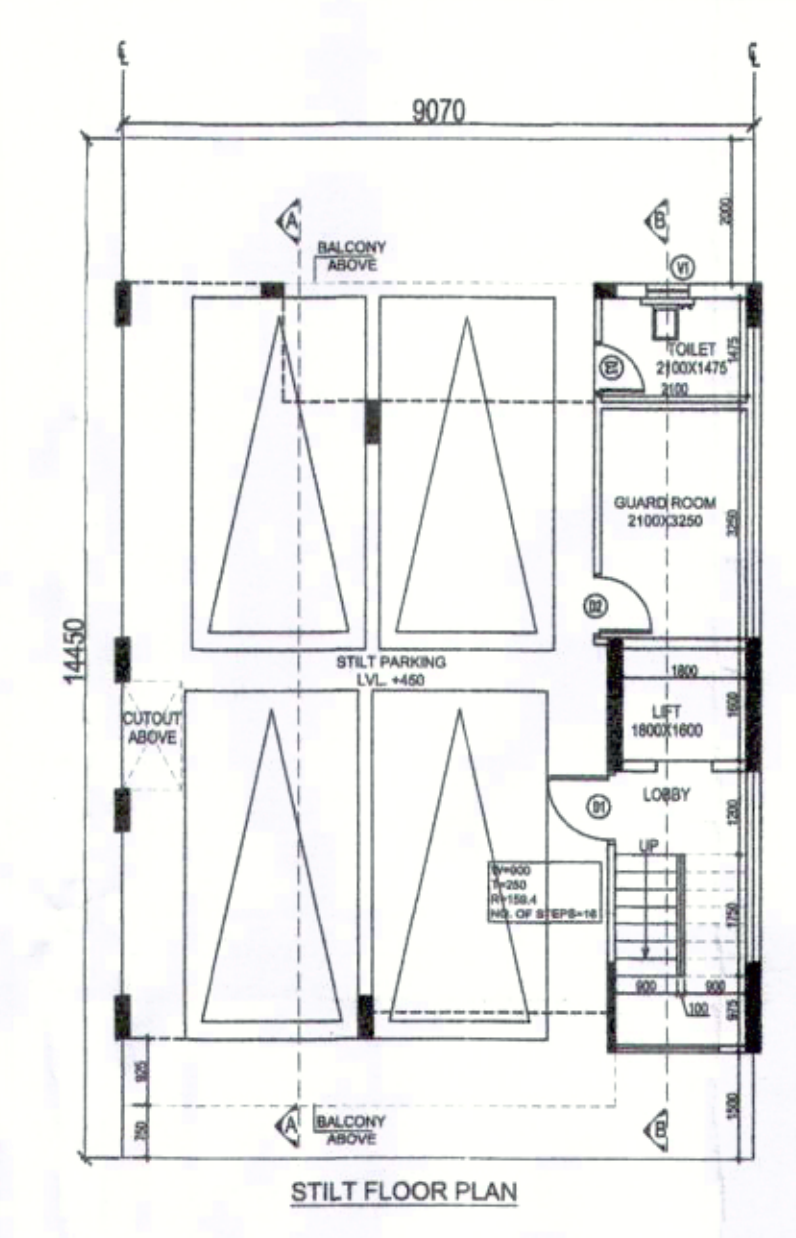
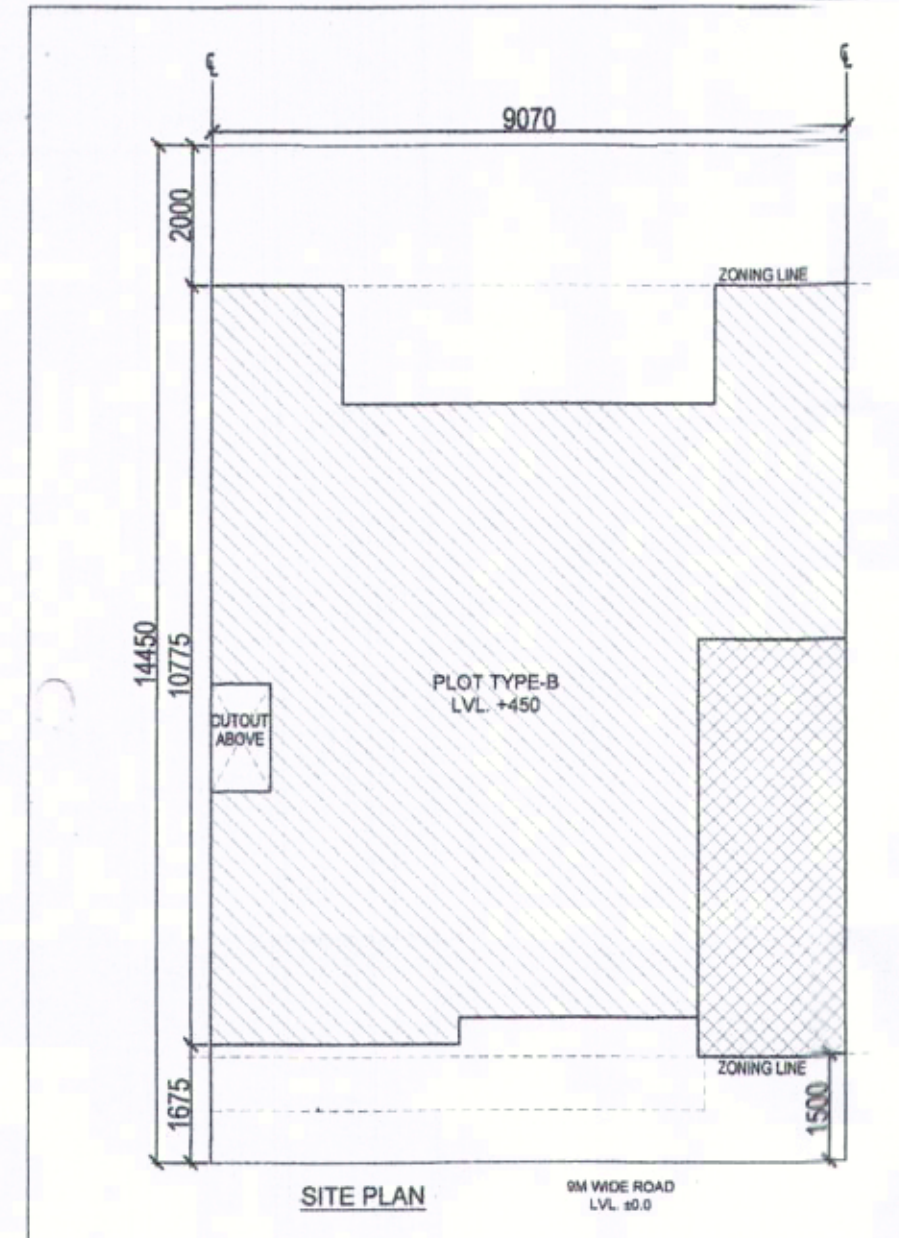
PROJECT TITLE:
 RIVER BUILDING PLAN OF PLOT NO.- A (14,16,18,20,22,24,26,28,30,32,34) TYPE-A FOR RESIDENTIAL PLOTTED COLONY UNDER DDJAY IN SECTOR-63A, GURGAON, OVER AN AREA OF 5.0125 ACRES BEING DEVELOPED BY SIGNATURE GLOBAL INDIA PVT LTD.

OWNER'S NAME:
 SIGNATURE GLOBAL INDIA PVT LTD.
 Architects:
DEEPAK MEHTA & ASSOCIATES
 ARCHITECTS, PLANNERS, VALUERS, LANDSCAPE & INTERIORS
 1st & 2nd FLOOR, PLOT NO. 16, ABHISHEK PLAZA, L.S.C., MAYUR VIHAR PH - II, DELHI - 110091, INDIA
 TEL. (011) 22770180, 91-9999219713, E-mail: deepakmehta1962@gmail.com
 WWW.SIGNATUREGLOBALINDIA.COM

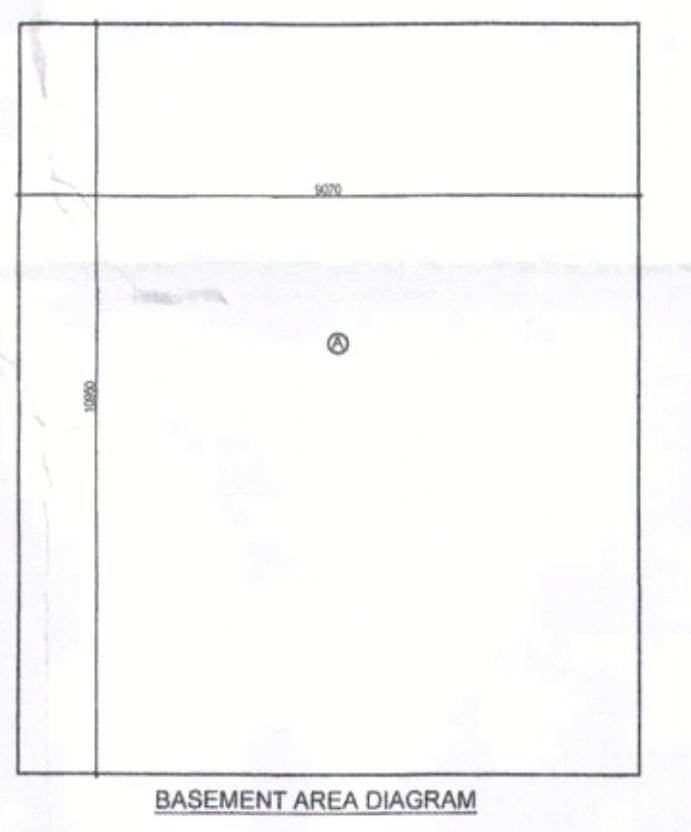
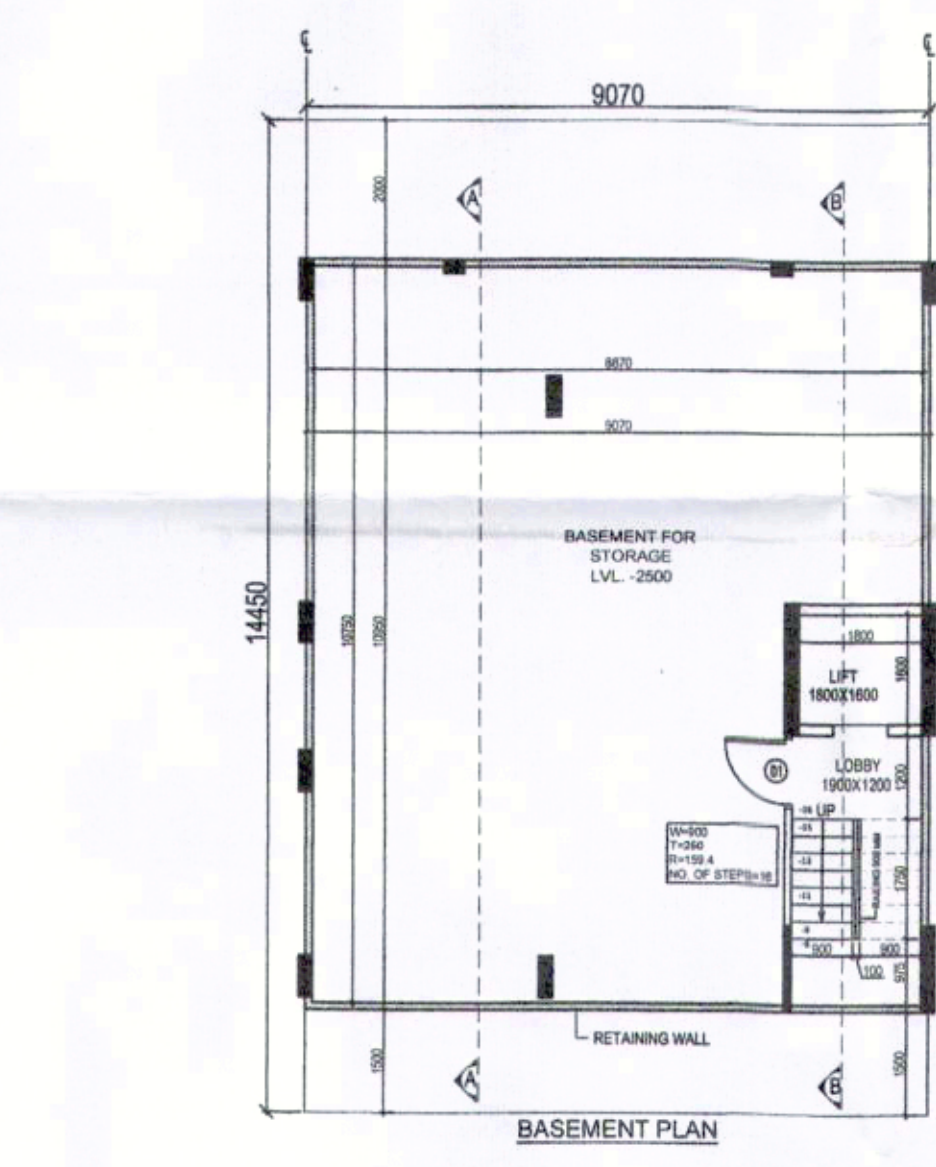
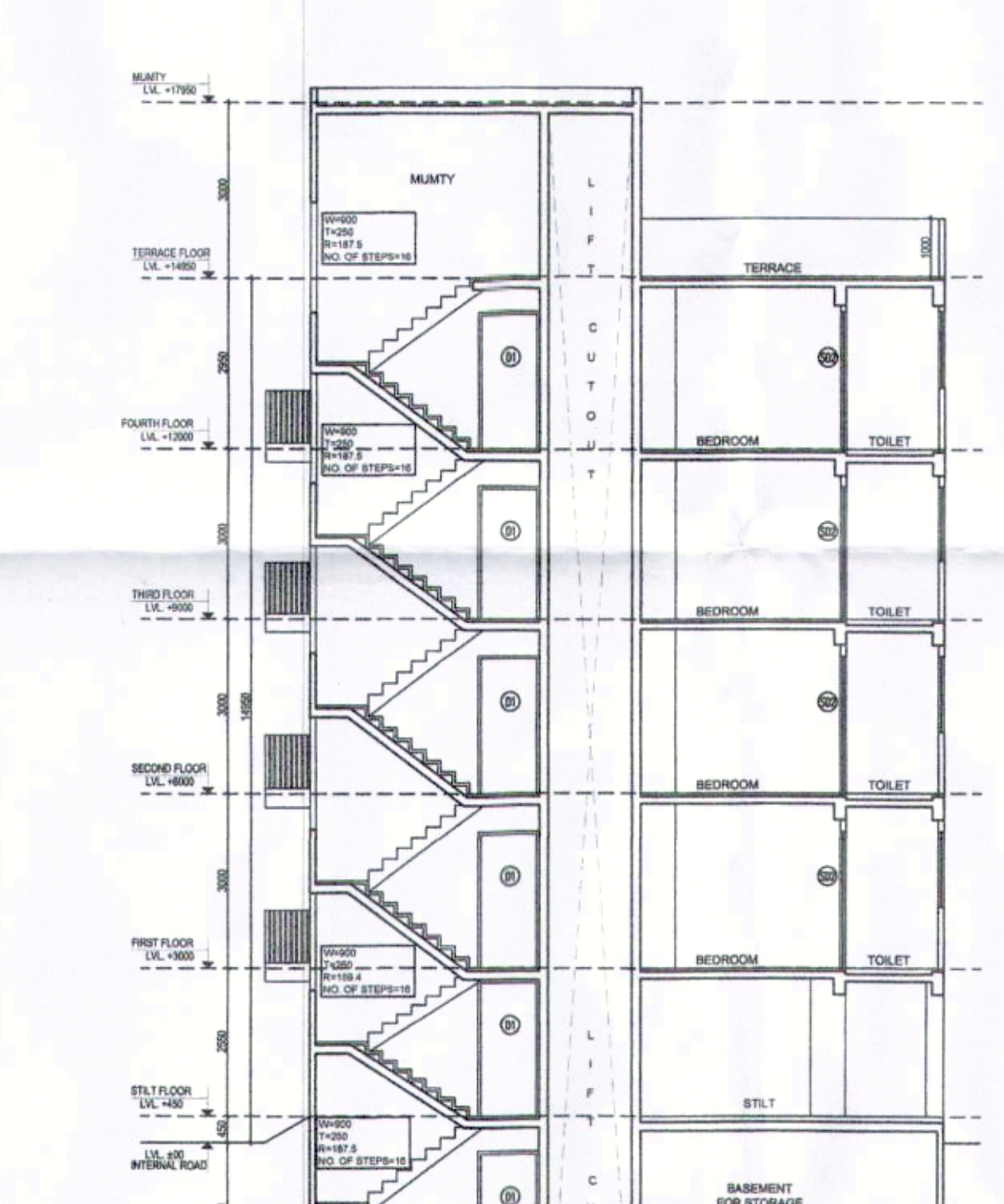
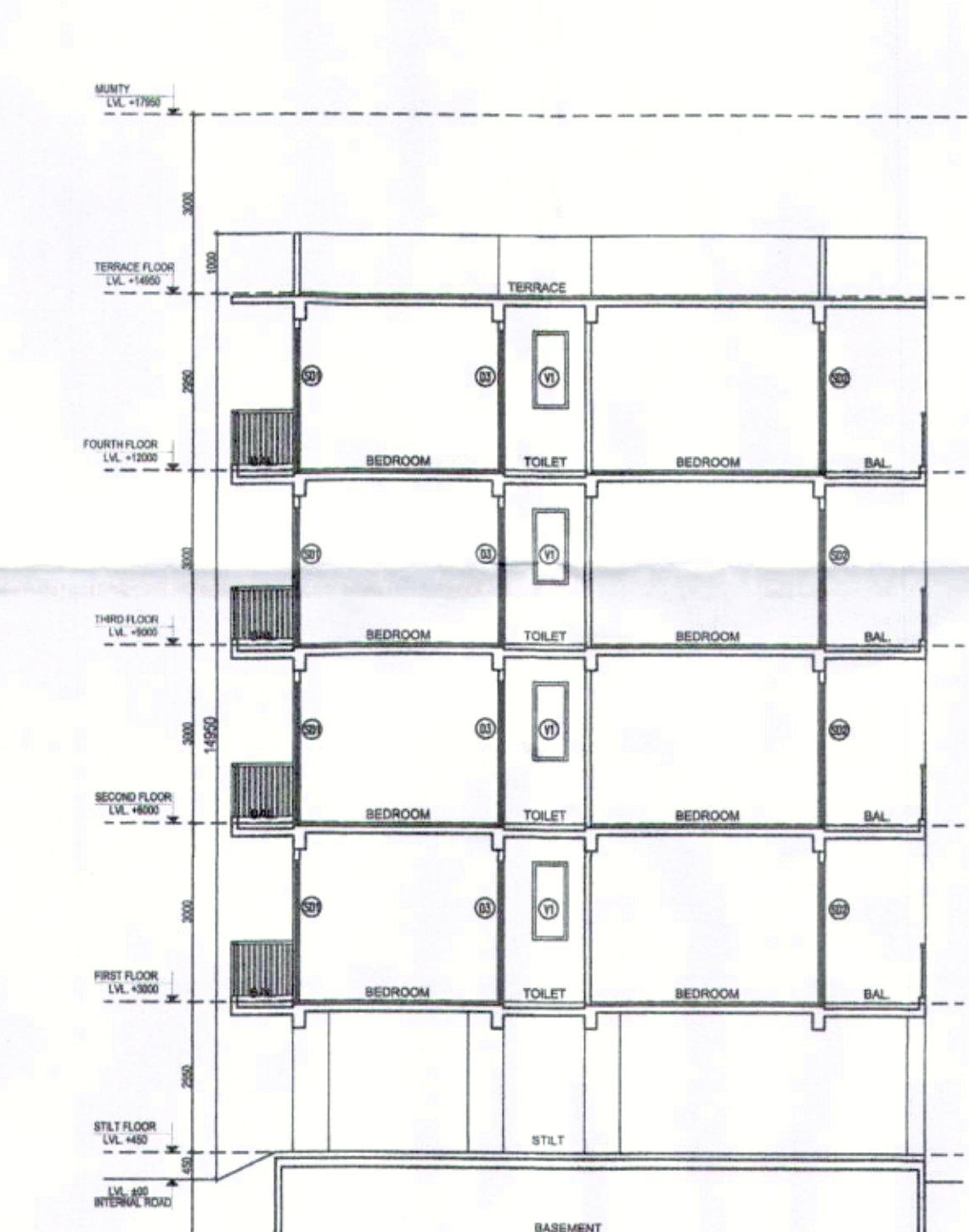
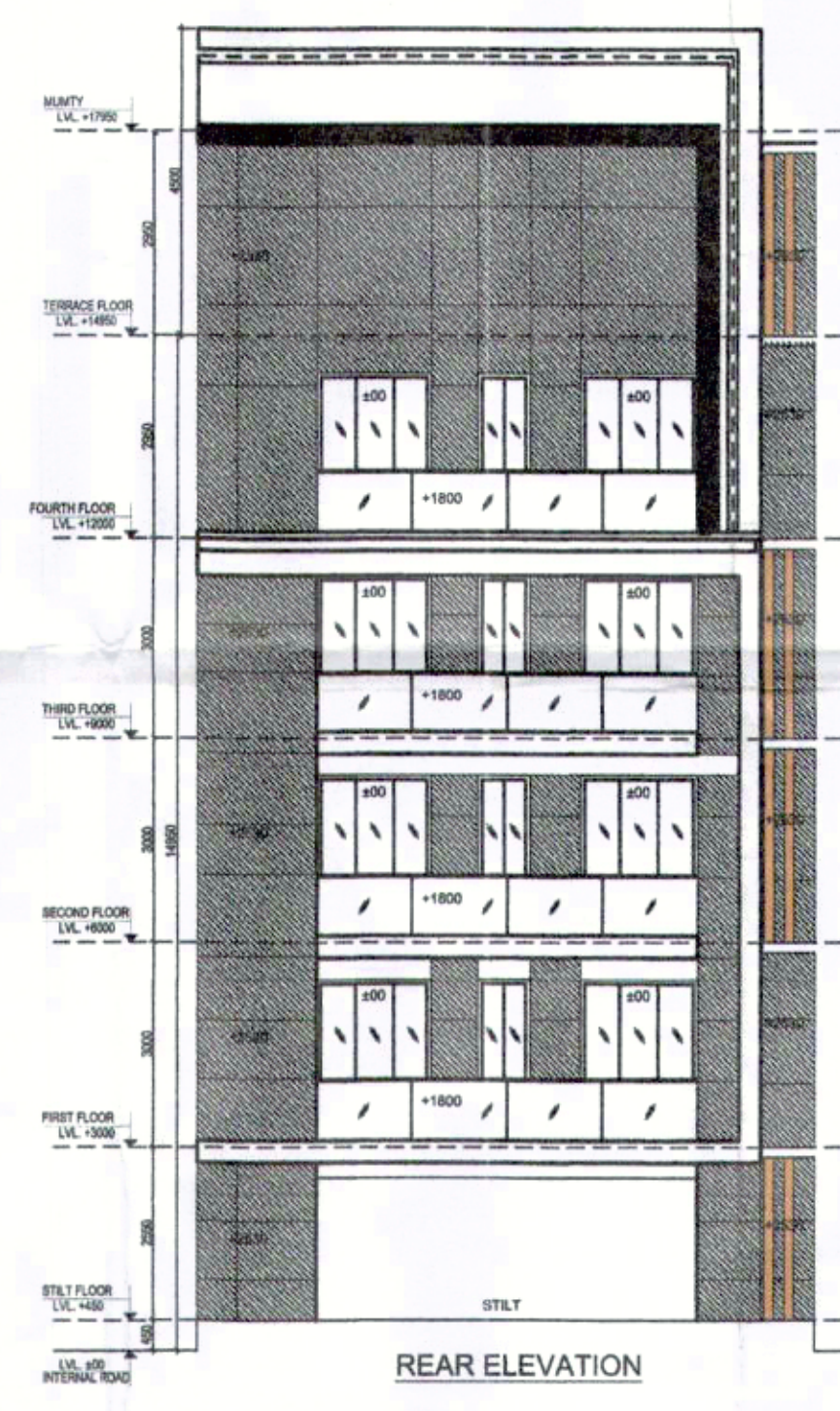
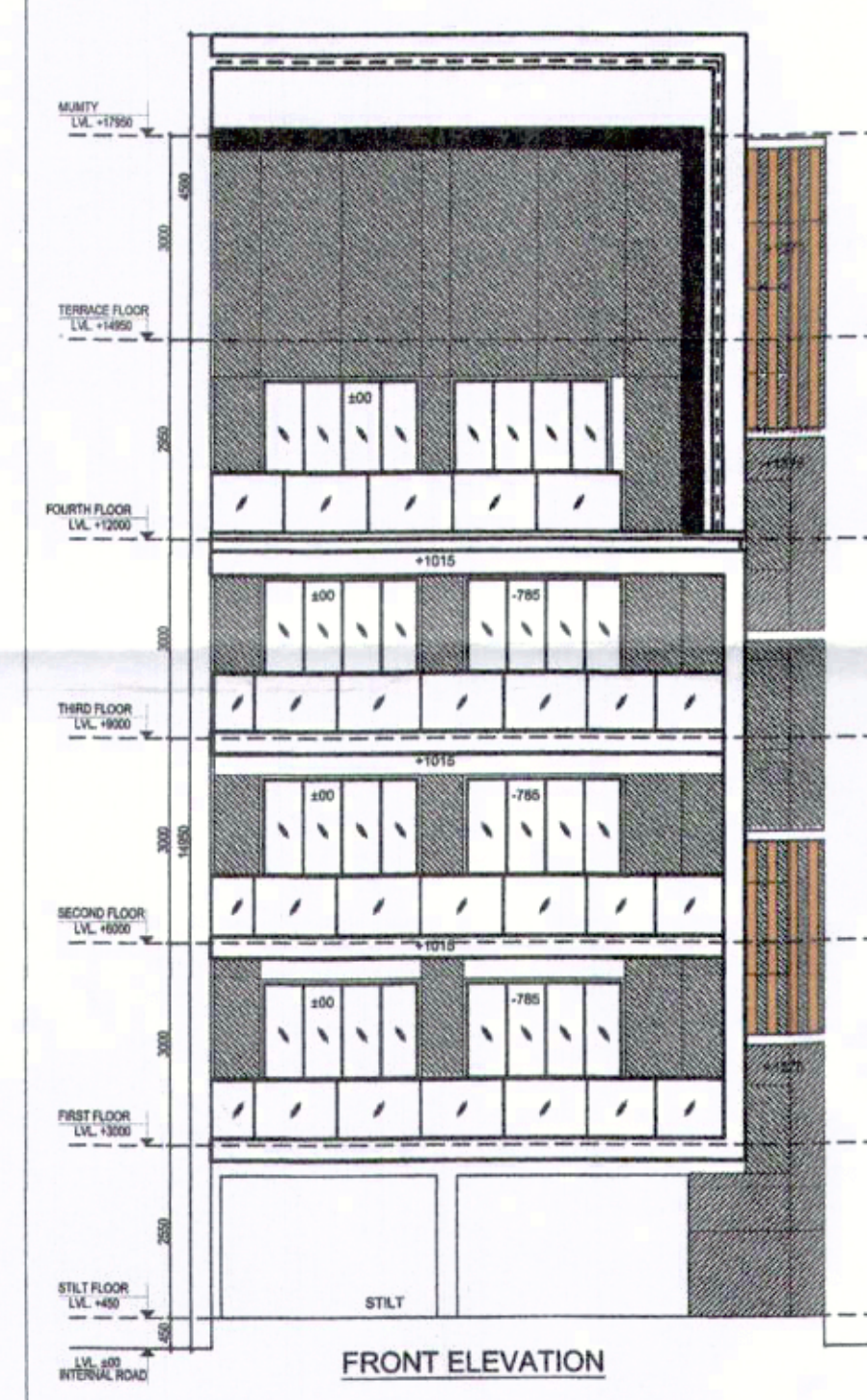
DRAWING TITLE:
 TYPE-A - (LEFT SIDE) FLOOR PLANS WITH AREA CALCULATION, ELEVATIONS & SECTIONS (S+4)

ARCHITECT'S SIGN:

AUTHORIZED SIGN:



FOUND AS PER SELF CERTIFICATION POLICY
Plot No. 21, 23, 25, 27, 29, Type-B
SD Trace PA Kula AD ATP 15/10



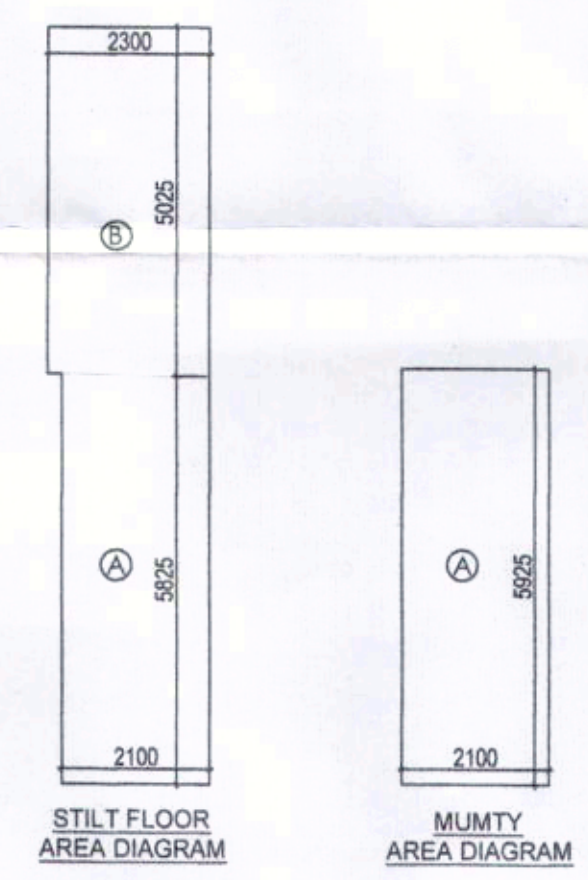
AREA CALCULATION			AREA	UNIT				
TOTAL PLOT AREA (9.07x14.45)			131.062	SQ.M.				
PERMISSIBLE FAR @ 2.0			262.123	SQ.M.				
TOTAL FAR INCLUDING PURCHASABLE @ 2.64			348.002	SQ.M.				
PROPOSED FAR @ 2.83			334.553	SQ.M.				
PERMISSIBLE GR. COV. @ 75.0%			98.296	SQ.M.				
PROPOSED GROUND COVERAGE @ 67.17%			88.028	SQ.M.				
FAR OF STILT FLOOR								
A	2.100	X	5.825	X	1	=	12.233	SQ.M.
B	2.200	X	5.025	X	1	=	11.558	SQ.M.
TOTAL FAR OF STILT FLOOR			TOTAL			=	23.790	SQ.M.
FAR OF TYPICAL FLOOR (1ST TO 4TH)								
A	9.070	X	10.950	X	1	=	99.317	SQ.M.
DEDUCTION								
1	4.470	X	1.675	X	1	=	7.487	SQ.M.
2	0.850	X	1.550	X	1	=	1.318	SQ.M.
3	3.600	X	0.175	X	1	=	0.630	SQ.M.
4	3.370	X	0.550	X	1	=	1.854	SQ.M.
5 (STAIRCASE)	1.900	X	3.925	X	1	=	7.458	SQ.M.
6 (LIFT WELL)	1.900	X	1.600	X	1	=	2.880	SQ.M.
TOTAL FAR OF TYPICAL FLOOR			TOTAL			=	77.891	SQ.M.
TOTAL FAR ON ALL FLOORS						=	334.553	SQ.M.
= (AREA OF STILT + AREA OF TYPICAL FLOOR X 4)								

GROUND COVERAGE			AREA	UNIT				
TOTAL GROUND COVERAGE = AREA OF TYPICAL FLOOR + LIFT WELL + STAIRCASE								
5 (STAIRCASE)	1.900	X	3.925	X	1	=	7.458	SQ.M.
6 (LIFT WELL)	1.900	X	1.600	X	1	=	2.880	SQ.M.
GROUND COVERAGE			TOTAL			=	10.338	SQ.M.
AREA OF MUMTY & MACHINE ROOM								
A	2.100	X	5.925	X	1	=	12.443	SQ.M.
TOTAL			TOTAL			=	12.443	SQ.M.
AREA OF STILT PARKING								
GROUND COVERAGE - FAR AT STILT FLOOR								
A	2.100	X	5.925	X	1	=	12.443	SQ.M.
TOTAL BUILT UP AREA								
AREA OF BASEMENT								
TOTAL AREA OF STILT FLOOR								
FAR OF FIRST FLOOR + STAIRCASE								
FAR OF SECOND FLOOR + STAIRCASE								
FAR OF THIRD FLOOR + STAIRCASE								
FAR OF FOURTH FLOOR + STAIRCASE								
FAR OF MUMTY + MACHINE ROOM								
TOTAL BUILT UP AREA								
A	2.100	X	1.675	X	2	=	6.915	SQ.M.
B	0.600	X	0.100	X	2	=	0.120	SQ.M.
C	8.020	X	3.250	X	1	=	26.065	SQ.M.
D	0.850	X	3.775	X	1	=	3.209	SQ.M.
E	0.100	X	1.050	X	1	=	0.105	SQ.M.
F	6.020	X	5.275	X	1	=	31.799	SQ.M.
G	0.850	X	3.000	X	1	=	2.550	SQ.M.
H	3.300	X	0.375	X	1	=	1.238	SQ.M.
J	1.100	X	0.100	X	2	=	0.220	SQ.M.
TOTAL CARPET AREA			TOTAL			=	71.877	SQ.M.
AREA OF BASEMENT FLOOR								
A	9.070	X	10.950	X	1	=	99.317	SQ.M.
TOTAL AREA OF BASEMENT FLOOR			TOTAL			=	99.317	SQ.M.

AREA OF BASEMENT FLOOR								
A	9.070	X	10.950	X	1	=	99.317	SQ.M.
TOTAL AREA OF BASEMENT FLOOR			TOTAL			=	99.317	SQ.M.

- NOTE: 1. WALLS WILL BE BLOCK WORK AND 100/200 MM THICK
2. TOILET WILL BE MECHANICALLY VENTILATED
3. ADJACENT PLOTS WILL BE AS MIRROR LAYOUT.

DOOR WINDOW SCHEDULE					
TYPE	WIDTH	HEIGHT	SILL LVL.	UNTEL LVL.	REMARKS
D1	1050	2300	+ 00	2300	ENTRANCE
D2	900	2200	+ 00	2200	BEDROOMS
D3	700	2200	+ 00	2200	TOILETS
D4	2200	2200	+ 00	2200	LIVING, BEDROOM
D5	1200	2300	+ 00	2300	BEDROOM
D6	600	1300	1050	2200	KITCHEN
D7	600	1300	1050	2200	TOILETS



PROJECT TITLE:
PROPOSED BUILDING PLAN OF PLOT NO. - B (21.23.25.27.29) TYPE-B FOR RESIDENTIAL PLOTTED COLONY UNDER DDJAY, IN SECTOR-63A, GURGAON, OVER AN AREA OF 5.0125 ACRES BEING DEVELOPED BY SIGNATURE GLOBAL INDIA PVT LTD.

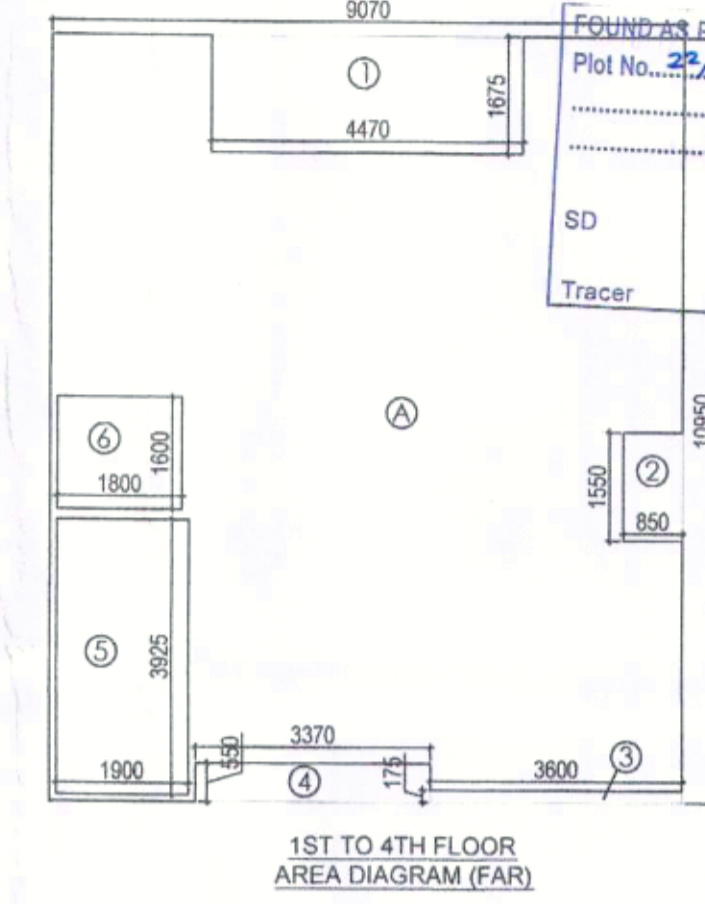
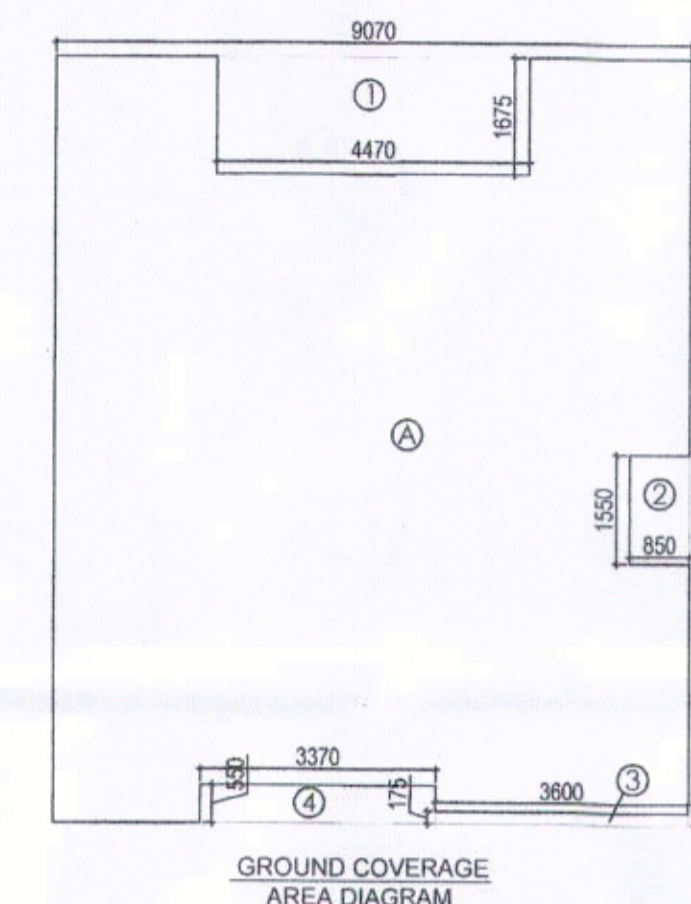
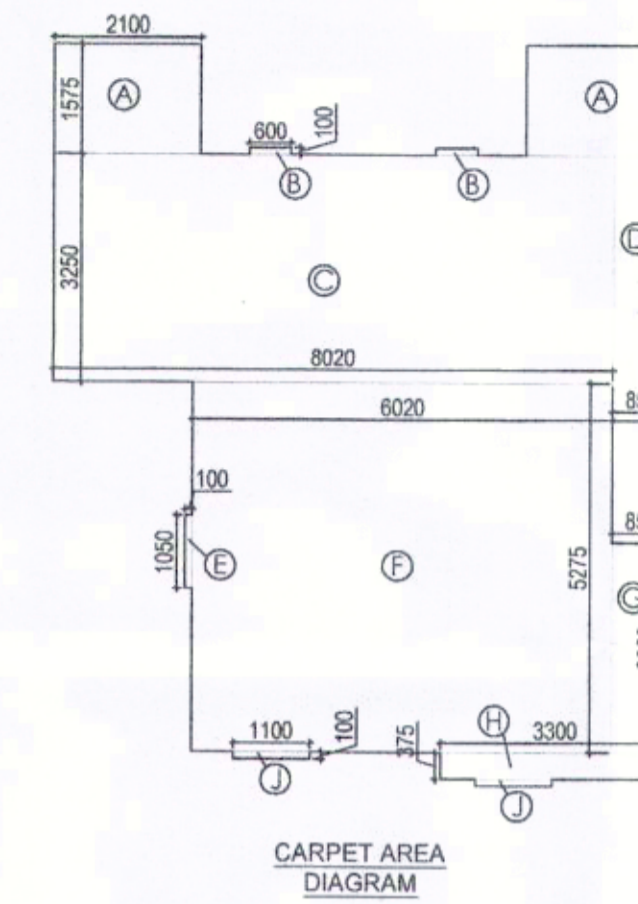
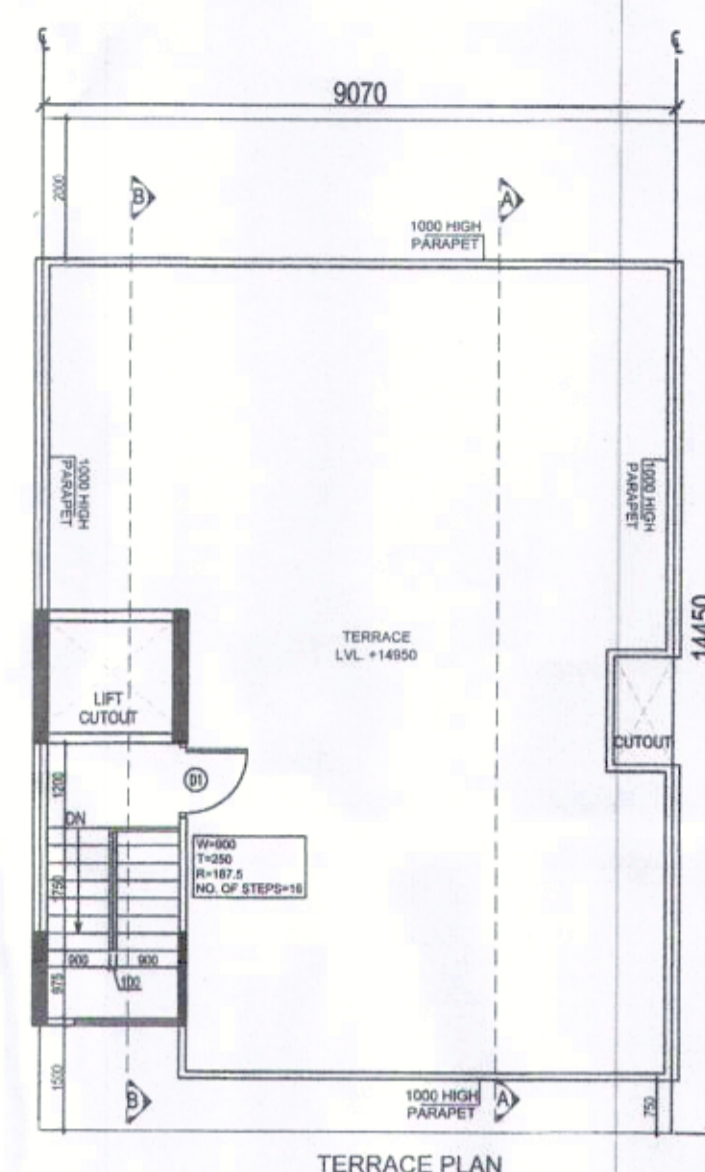
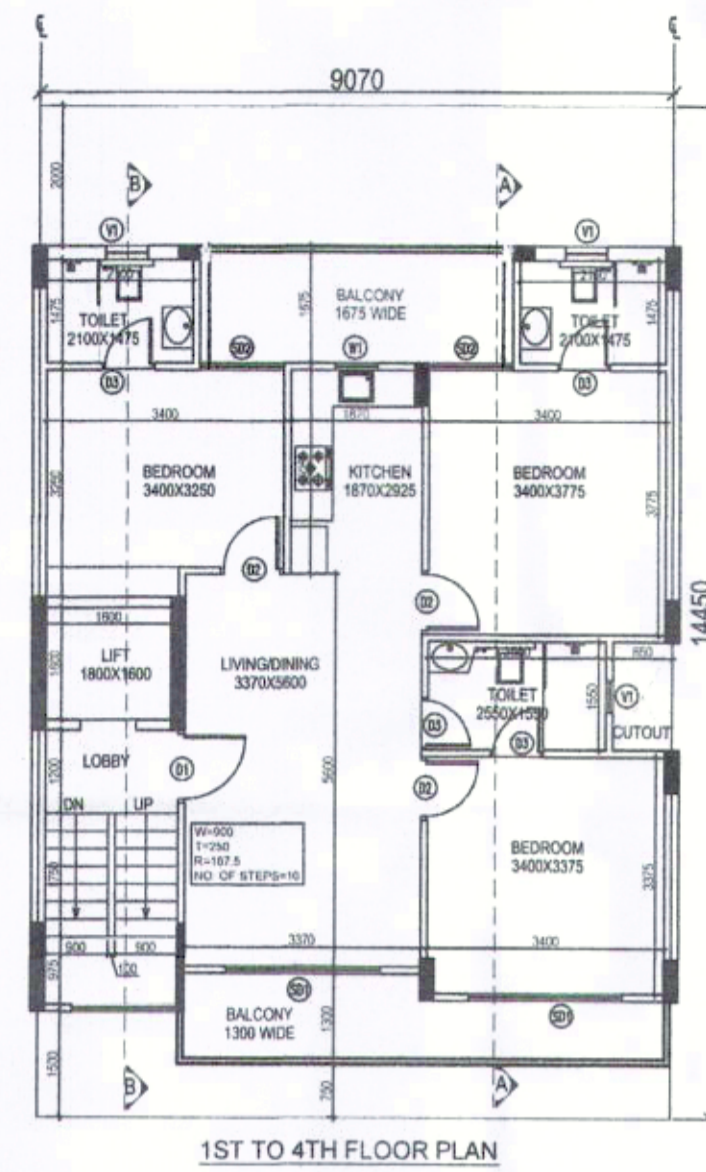
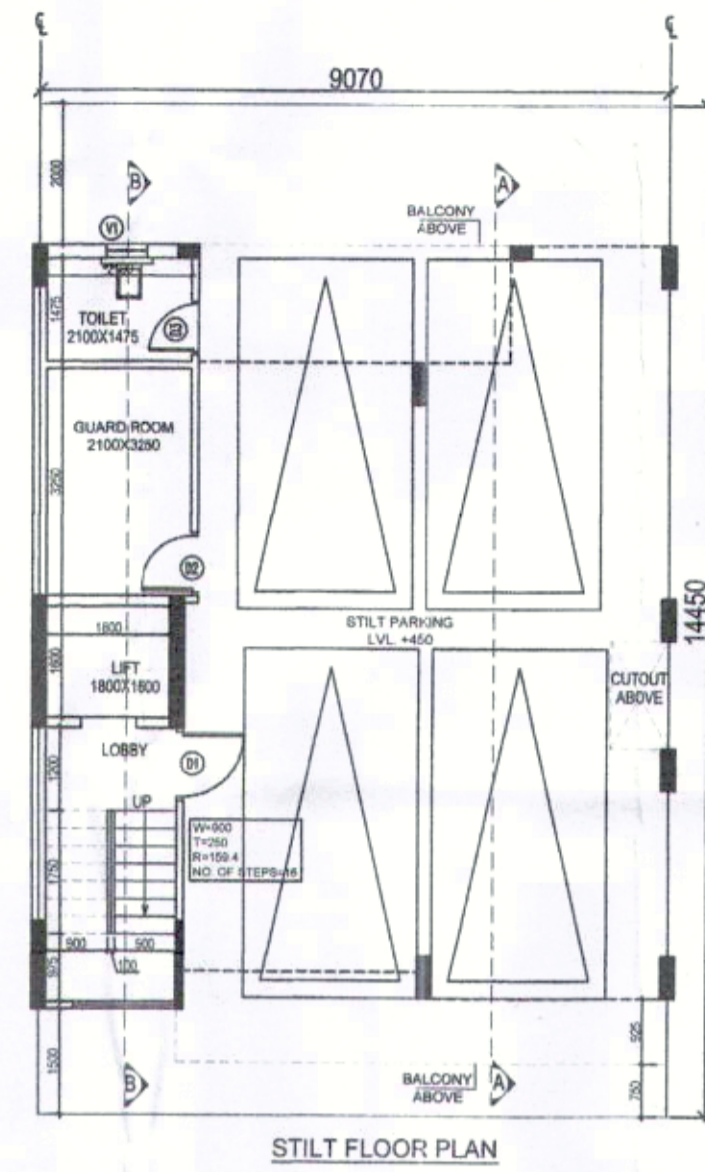
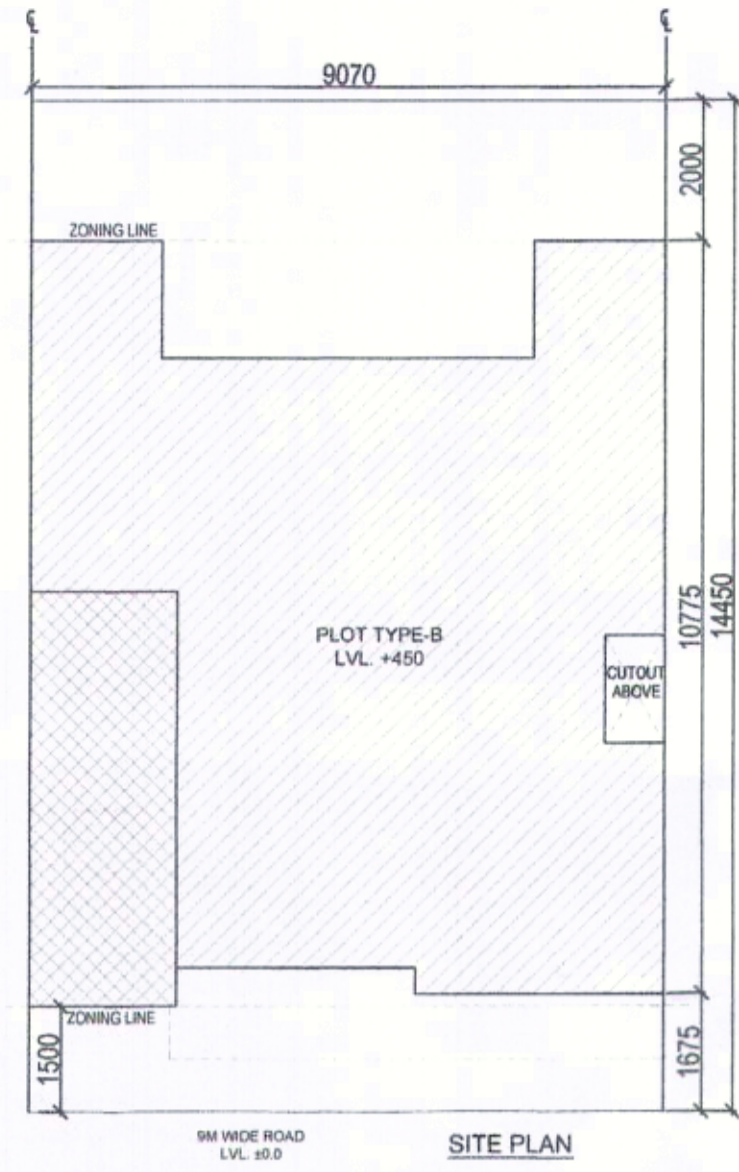
OWNER'S NAME:
SIGNATURE GLOBAL INDIA PVT LTD.

Architects:
DEEPAK MEHTA & ASSOCIATES
ARCHITECTS, PLANNERS, VALUERS, LANDSCAPE & INTERIORS
1st & 2nd FLOOR, PLOT NO. 16, ABHISHEK PLAZA, L.S.C., MATUR VIHAR PH - II, DELHI - 110091, INDIA
TEL: (011) - 49111277/180, 4911921771; E-MAIL: DEEPAKMEHTA1962@gmail.com
Website: www.indianarchitect.co.in

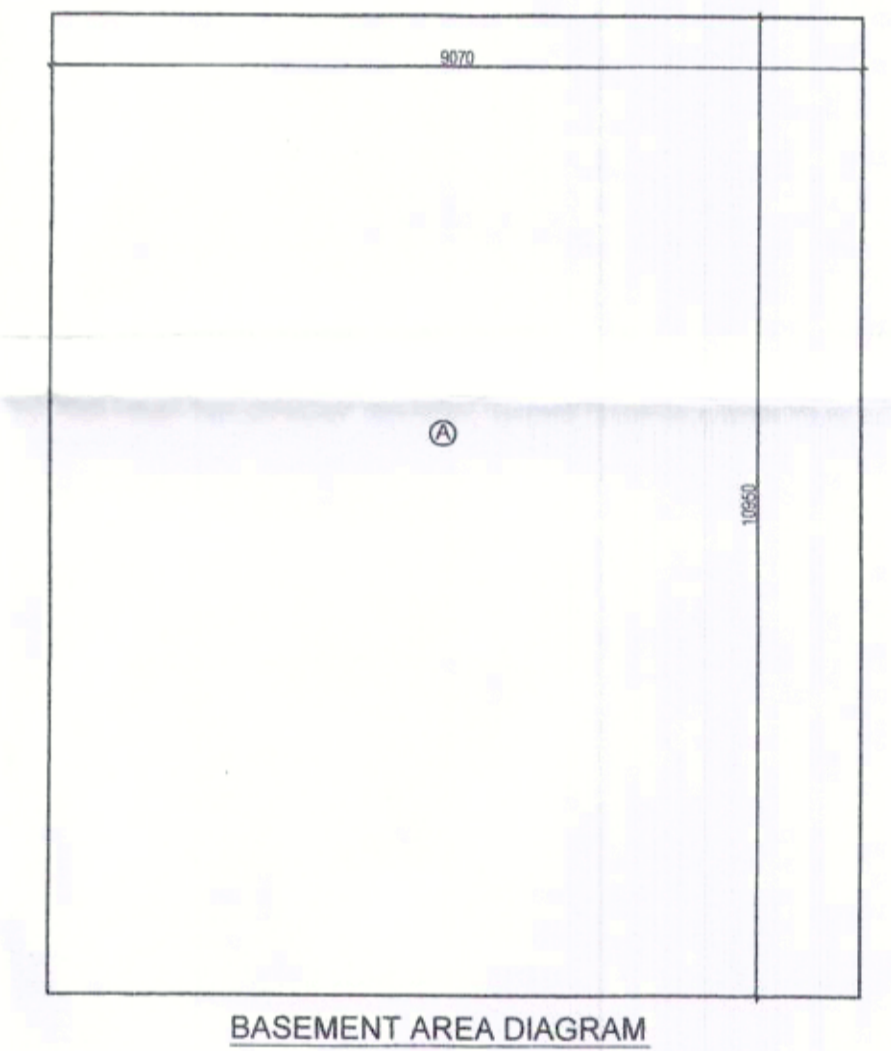
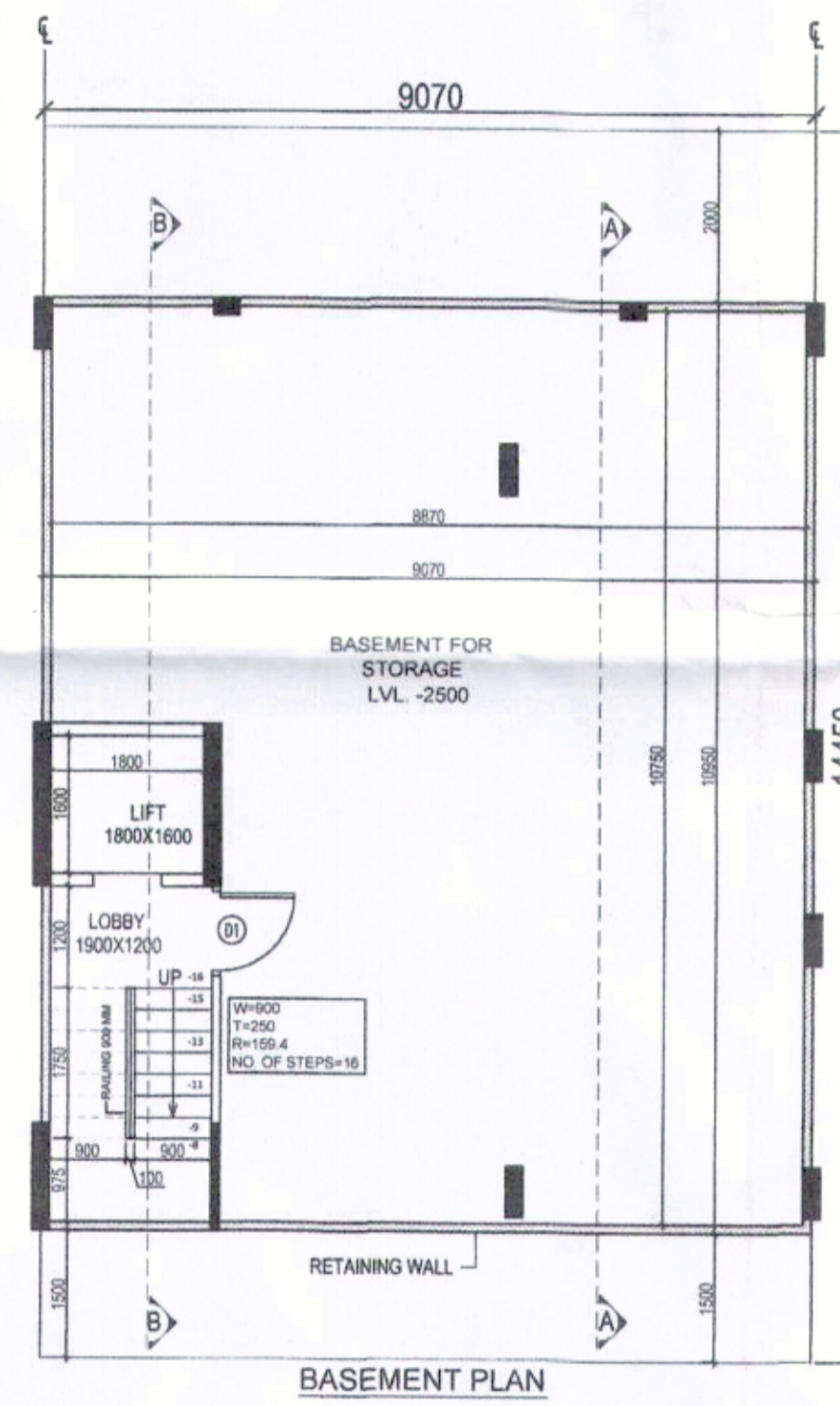
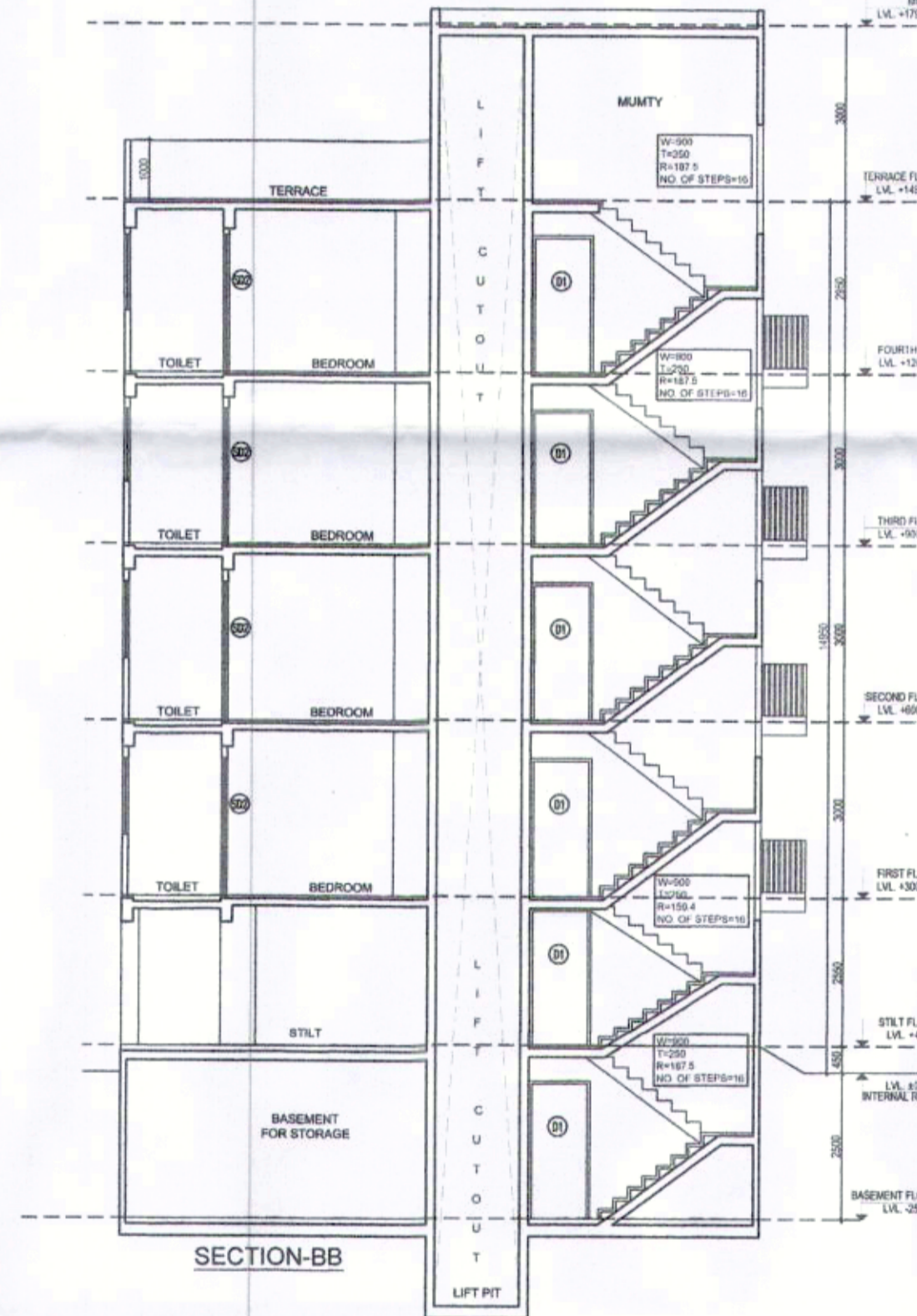
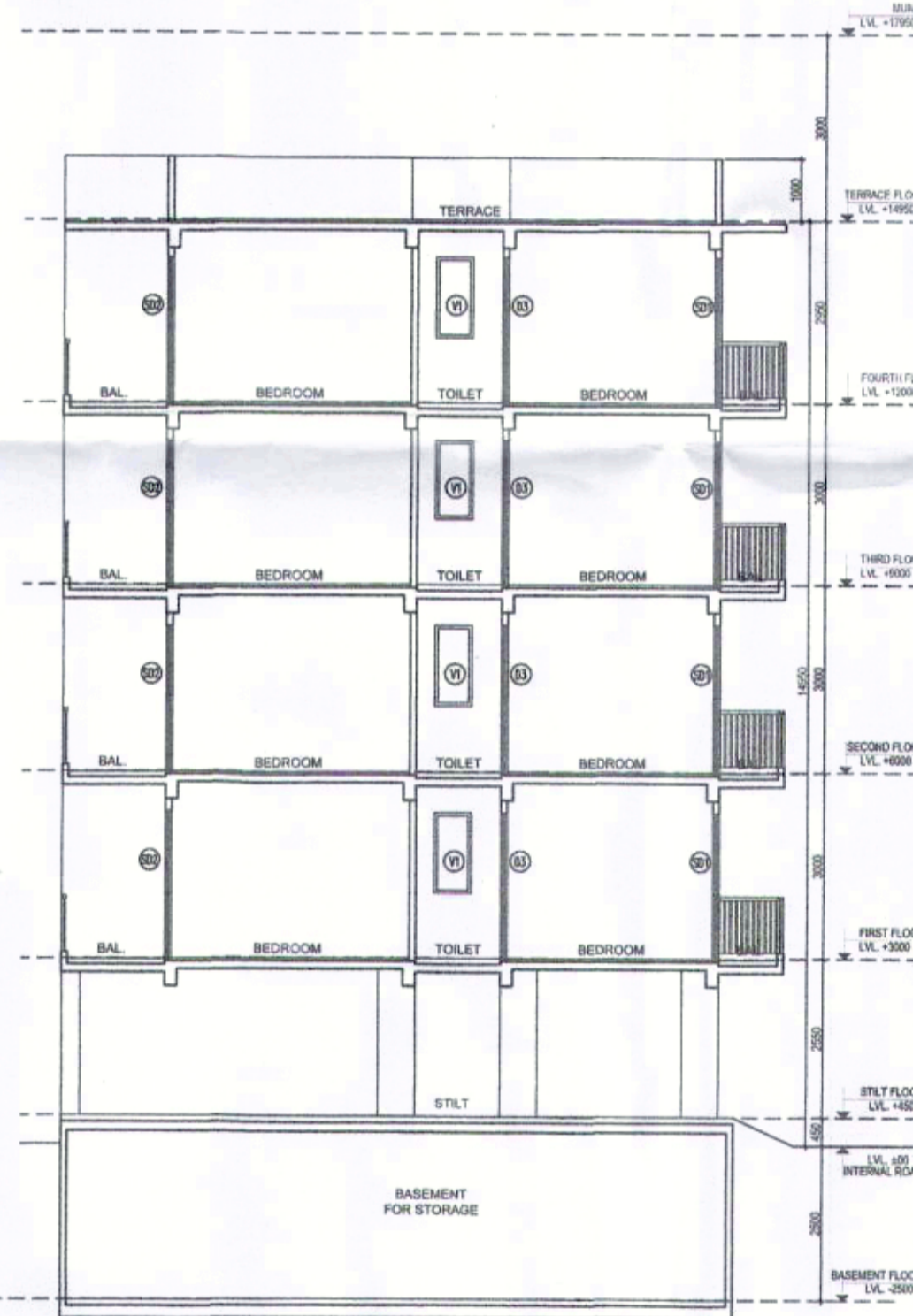
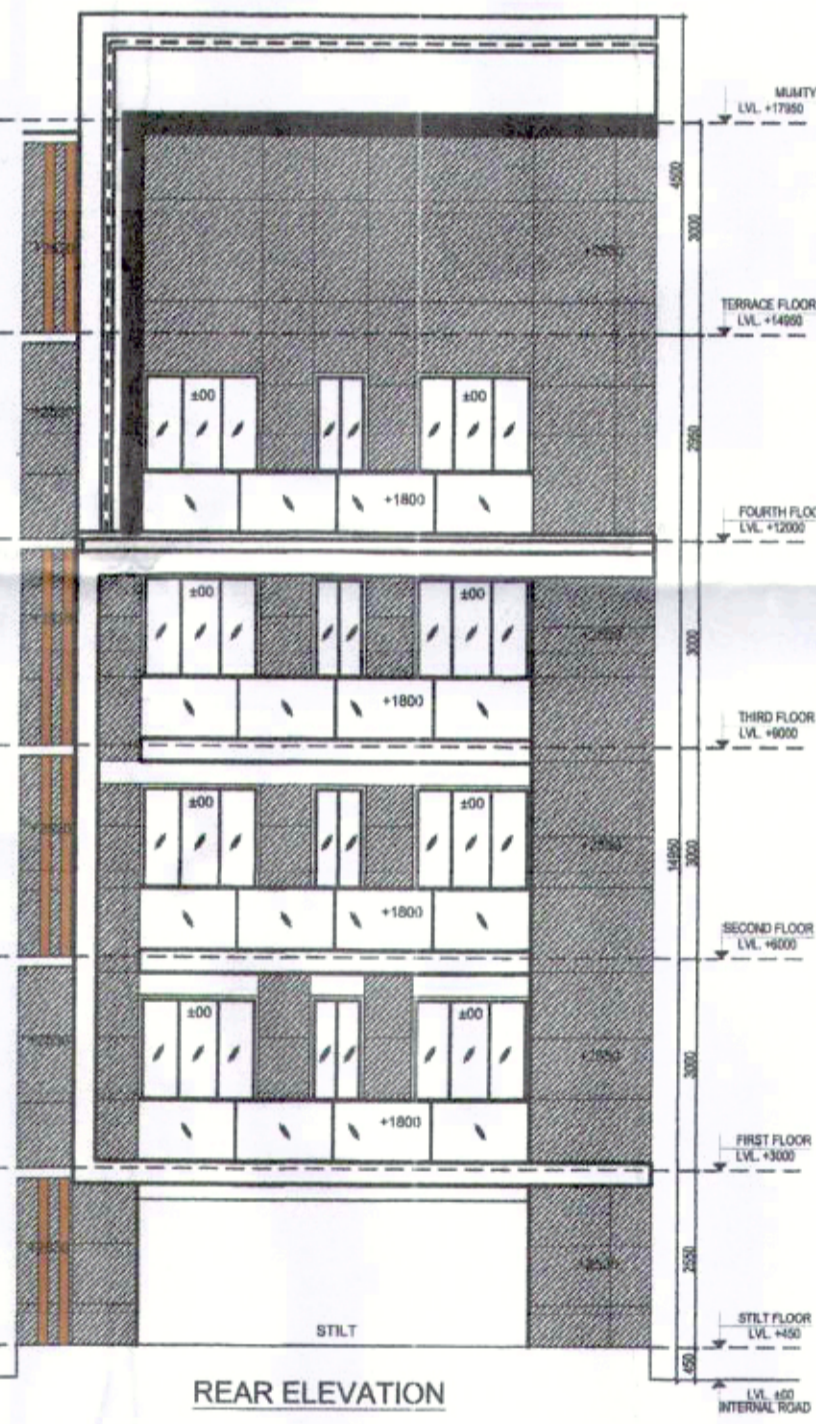
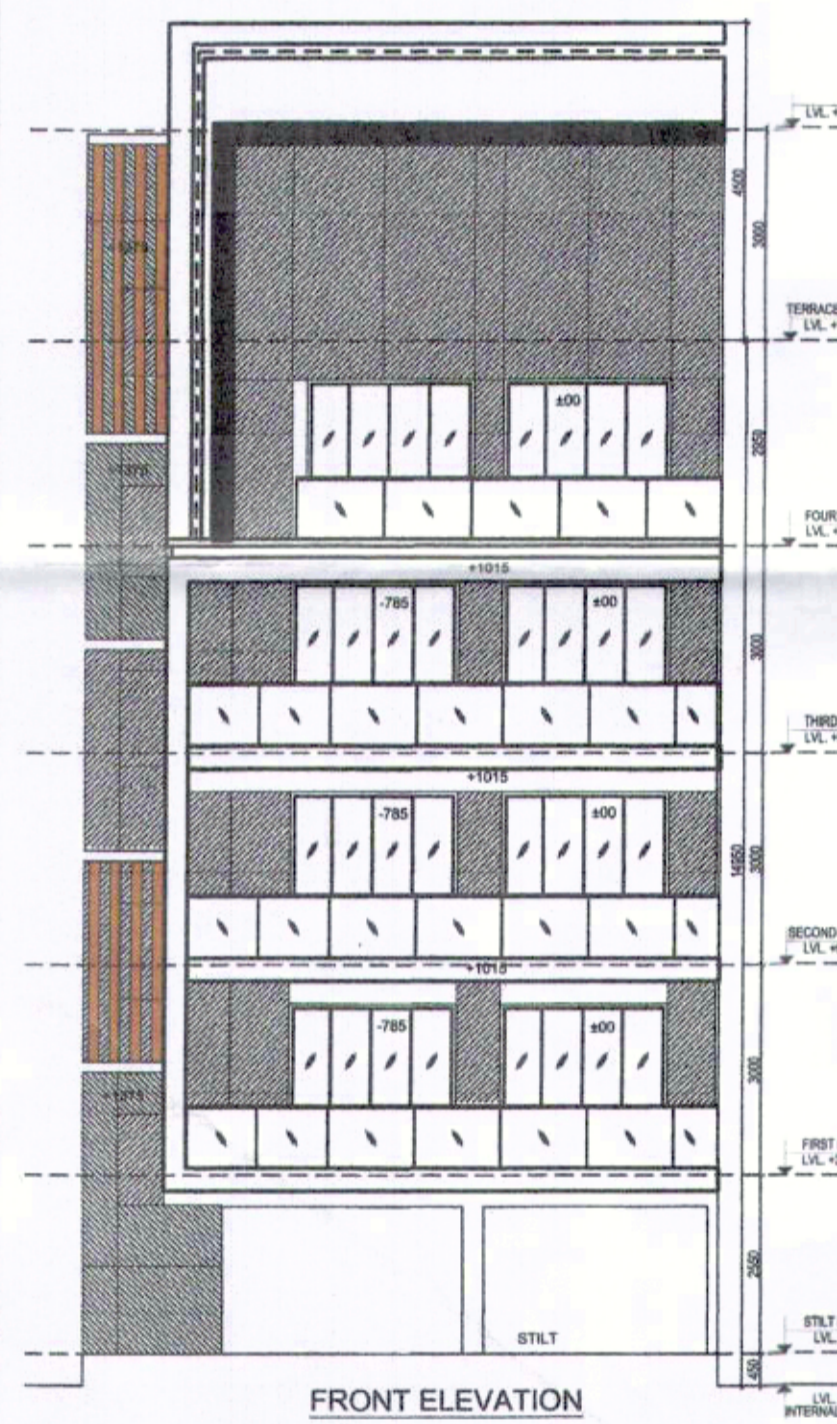
DRAWING TITLE:
TYPE-B - (RIGHT SIDE) FLOOR PLANS WITH AREA CALCULATION, ELEVATIONS & SECTIONS (S+4)

ARCHITECTS SIGN:

AUTHORIZED SIGN:



FOUND AS PER SELF CERTIFICATION POLICY
 Plot No. 24, 25, 26, 28 Type-B
 SD Tracer PA AD ATP



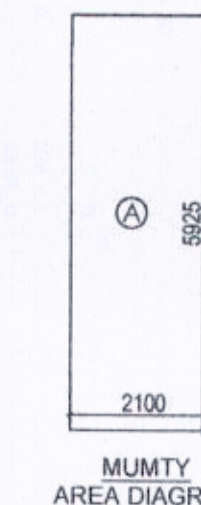
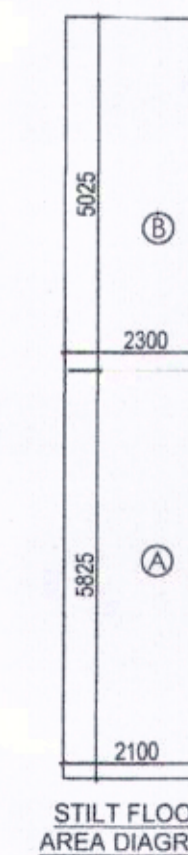
AREA CALCULATION				AREA	UNIT
TOTAL PLOT AREA (9.07X14.45)				131.062	SQ.M.
PERMISSIBLE FAR@ 2.0				262.123	SQ.M.
TOTAL FAR INCLUDING PURCHASABLE @ 2.64				348.002	SQ.M.
PROPOSED FAR @ 2.53				334.553	SQ.M.
PERMISSIBLE GR. COV. @ 75.0%				98.296	SQ.M.
PROPOSED GROUND COVERAGE @ 67.17%				88.028	SQ.M.
FAR OF STILT FLOOR					
A	2.100	X	5.825	X	1 = 12.233
B	2.300	X	5.025	X	1 = 11.558
TOTAL					23.790
TOTAL FAR OF STILT FLOOR					23.790
FAR OF TYPICAL FLOOR (1ST TO 4TH)					
A	9.070	X	10.950	X	1 = 99.317
TOTAL					99.317
DEDUCTION					
1	4.470	X	1.675	X	1 = 7.487
2	0.850	X	1.550	X	1 = 1.318
3	3.600	X	0.175	X	1 = 0.630
4	3.370	X	0.550	X	1 = 1.854
5 (STAIRCASE)	1.900	X	3.925	X	1 = 7.458
6 (LIFT WELL)	1.800	X	1.600	X	1 = 2.880
TOTAL					21.626
TOTAL FAR OF TYPICAL FLOOR					77.691
TOTAL FAR ON ALL FLOORS					334.553
= (AREA OF STILT + AREA OF TYPICAL FLOOR X 4)					

GROUND COVERAGE					
TOTAL GROUND COVERAGE	=	AREA OF TYPICAL FLOOR + LIFT WELL + STAIRCASE			
5 (STAIRCASE)	1.900	X	3.925	X	1 = 7.458
6 (LIFT WELL)	1.800	X	1.600	X	1 = 2.880
GROUND COVERAGE					88.028
AREA OF MUMTY & MACHINE ROOM					
A	2.100	X	5.925	X	1 = 12.443
TOTAL					12.443
AREA OF STILT PARKING					
GROUND COVERAGE - FAR AT STILT FLOOR					64.238
TOTAL BUILT UP AREA					
AREA OF BASEMENT					99.317
TOTAL AREA OF STILT FLOOR					88.028
FAR OF FIRST FLOOR + STAIRCASE					85.148
FAR OF SECOND FLOOR + STAIRCASE					85.148
FAR OF THIRD FLOOR + STAIRCASE					85.148
FAR OF FOURTH FLOOR + STAIRCASE					85.148
FAR OF MUMTY + MACHINE ROOM					12.443
TOTAL BUILT UP AREA					540.381
CARPET AREA					
A	2.100	X	1.575	X	2 = 6.615
B	0.600	X	0.100	X	2 = 0.120
C	0.800	X	3.250	X	1 = 26.005
D	0.850	X	3.775	X	1 = 3.209
E	0.100	X	1.650	X	1 = 0.165
F	0.120	X	5.275	X	1 = 31.756
G	0.850	X	3.000	X	1 = 2.550
H	3.300	X	0.375	X	1 = 1.238
J	1.100	X	0.100	X	2 = 0.220
TOTAL CARPET AREA					71.877
AREA OF BASEMENT FLOOR					
A	9.070	X	10.950	X	1 = 99.317
TOTAL					99.317
TOTAL AREA OF BASEMENT FLOOR					99.317

AREA OF BASEMENT FLOOR					
A	9.070	X	10.950	X	1 = 99.317
TOTAL					99.317
TOTAL AREA OF BASEMENT FLOOR					99.317

- NOTE: 1. WALLS WILL BE BLOCK WORK AND 100/200 MM THICK
- 2. TOILET WILL BE MECHANICALLY VENTILATED
- 3. ADJACENT PLOTS WILL BE AS MIRROR LAYOUT.

DOOR WINDOW SCHEDULE					
TYPE	WIDTH	HEIGHT	SILL L.V.	LINTEL L.V.	REMARKS
D1	1000	2300	+ 90	2350	ENTRANCE
D2	900	2300	+ 90	2350	BEDROOMS
D3	700	2300	+ 90	2350	TOILETS
D4	2000	2300	+ 90	2350	LIVING BEDROOM
D5	1200	2300	+ 90	2350	BEDROOM
W1	600	1300	1050	2350	KITCHEN
V1	600	1300	1050	2350	TOILETS



PROJECT TITLE:
 DEEPAK MEHTA & ASSOCIATES BUILDING PLAN OF PLOT NO.-B (22,24,26,28) FOR RESIDENTIAL PLOTTED COLONY UNDER DDJAY, IN SECTOR-63A, GURGAON, OVER AN AREA OF 5.0125 ACRES BEING DEVELOPED BY SIGNATURE GLOBAL INDIA PVT LTD.
 OWNERS NAME:
 SIGNATURE GLOBAL INDIA PVT LTD.
 Architects:
DEEPAK MEHTA & ASSOCIATES
 ARCHITECTS, PLANNERS, VALUERS, LANDSCAPE & INTERIORS
 1st & 2nd FLOOR, PLOT NO. 16, ABHISHEK PLAZA, L.S.C., MAYAPUR VIHAR PH - II, DELHI - 110091, INDIA
 TEL: (011) 22770180, 91-9999319713, E-mail: deepamehta192@gmail.com
 Website: www.indianarchitect.co.in
 DRAWING TITLE:
 TYPE-B - (LEFT SIDE) FLOOR PLANS WITH AREA CALCULATION, ELEVATIONS & SECTIONS (S+4)

