

DIRECTORATE OF TOWN & COUNTRY PLANNING, HARYANA
Nagar Yojna Bhawan, Plot No. 3, Block-A, Sector-18-A, Madhya Marg, Chandigarh
Tele -Fax: -0172-2548475: 0172-2549851, E-mail:tcpharyana7@gmail.com
Web Site: www.tcpharyana.gov.in

Memo No. ZP-1544/AD(RA)/2022/ 11408 Dated 26-04-2021

To

Pyramid Infratech Pvt. Ltd.
M2K White House,
Sector-57, Gurugram

Subject: **Approval of Standard Design of SCO's in Commercial Plotted Colony over an area measuring 2.16875 acres (Licence No. 107 of 2021 dated 20.12.2021), Sector-73, Gurugram being developed by Pyramid Infratech Pvt. Ltd.**

Please find enclosed a set of approved Standard Design of commercial site given as under:-

Description	Area	Drawing No.	Dated
Commercial site	2.16875 acres	DTCP-8275 (i to xvi)	25.04.2022

The standard designs are approved with the following conditions:-

- (i) The connecting corridors/passage provided at ground Floor shall be used for circulation purpose only for the general public and shall not be sold in any manner whatsoever.
- (ii) The developer/individual allottees shall get detailed building plans of SCOs/Booths etc. approved from DTP office *as per order dt. 31.01.2022.*
- (iii) The parking/open area shall not be sold in any manner whatsoever.

DA/as above

Hitesh Sharma
(Hitesh Sharma)

Senior Town Planner (HQ),
Member Secretary,

For: Chief Town Planner Haryana-cum-Chairman,
A Building Plan Approval Committee.

Endst. No. ZP-1544/AD(RA)/2022/ _____ Dated _____

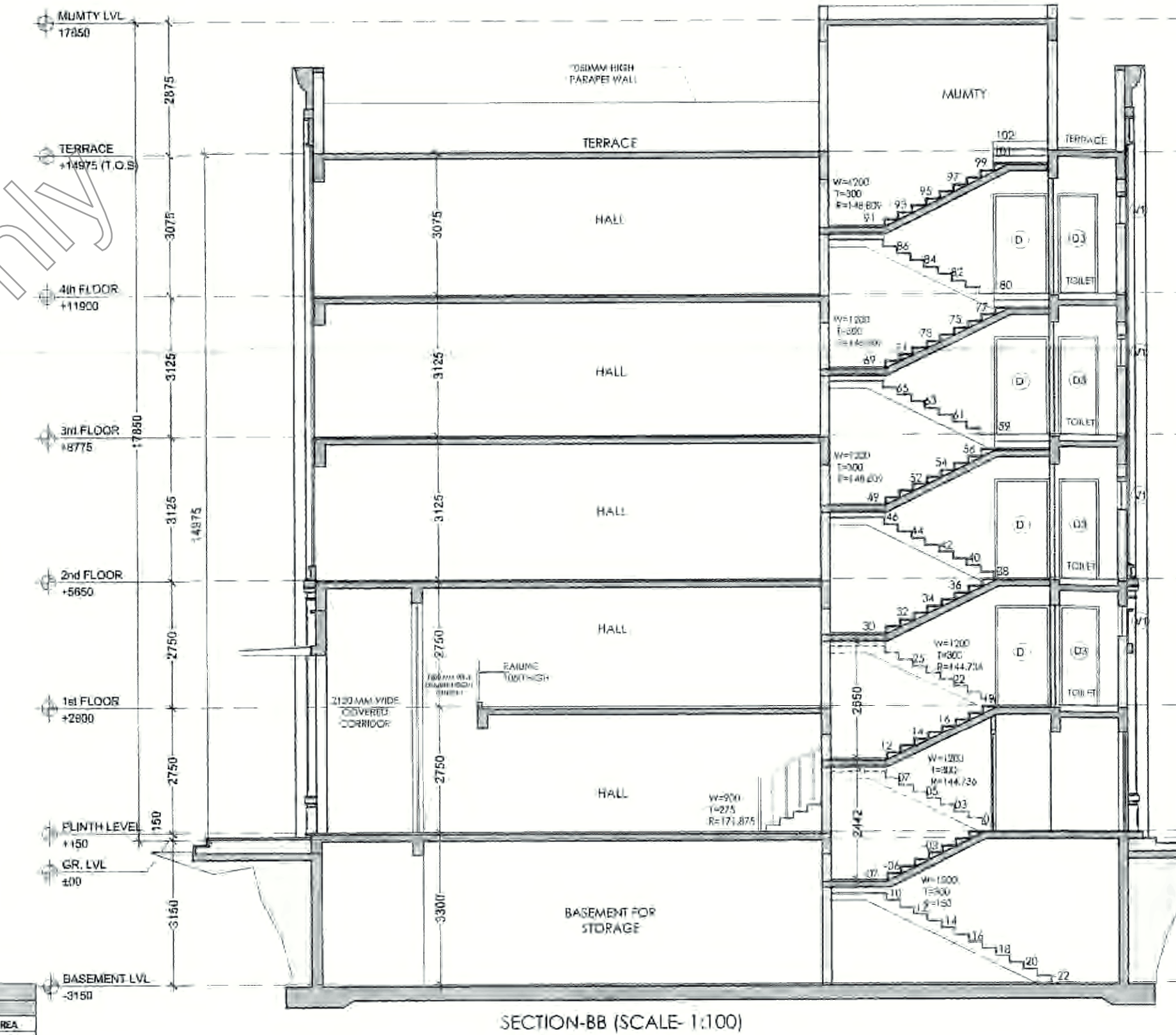
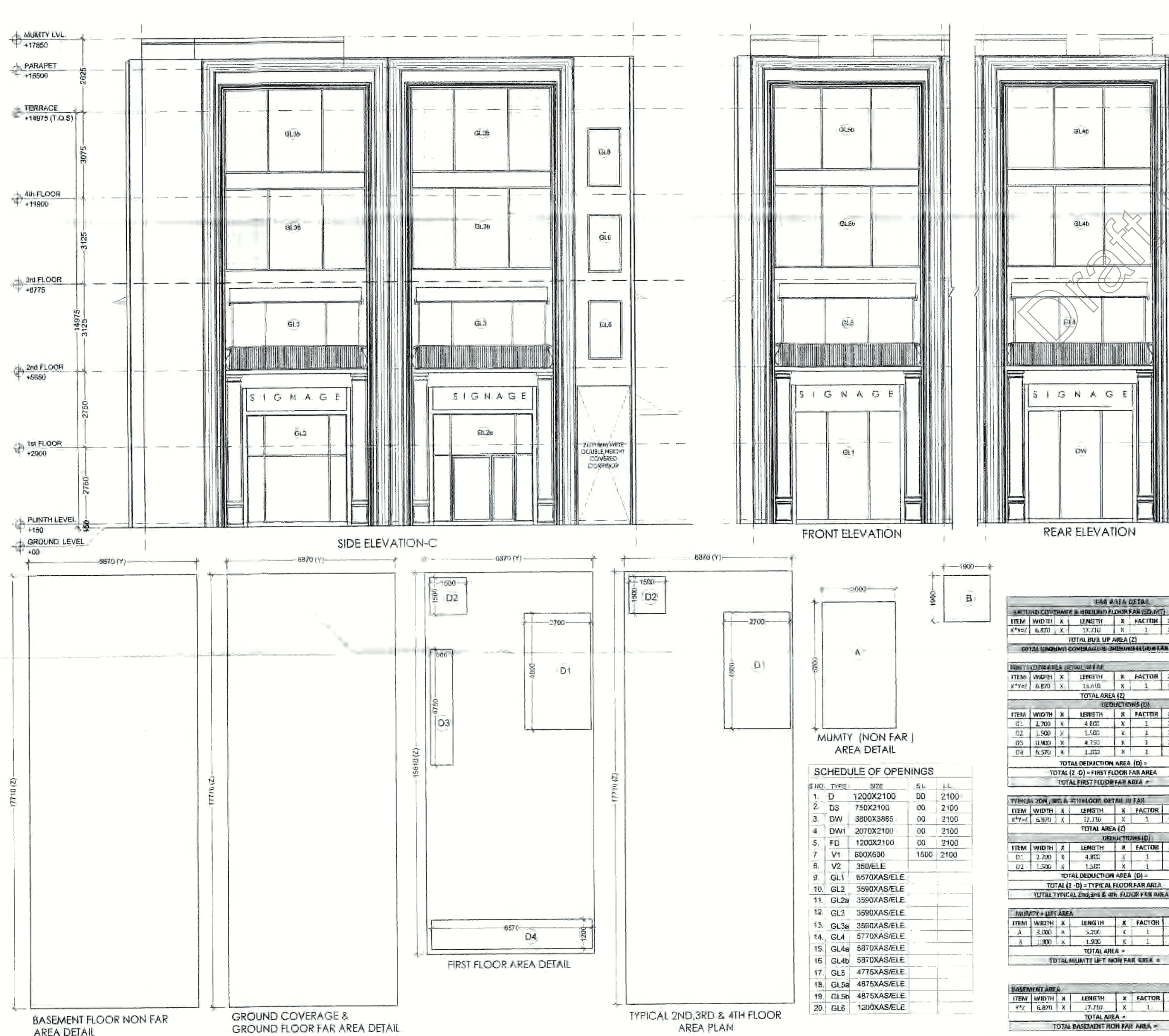
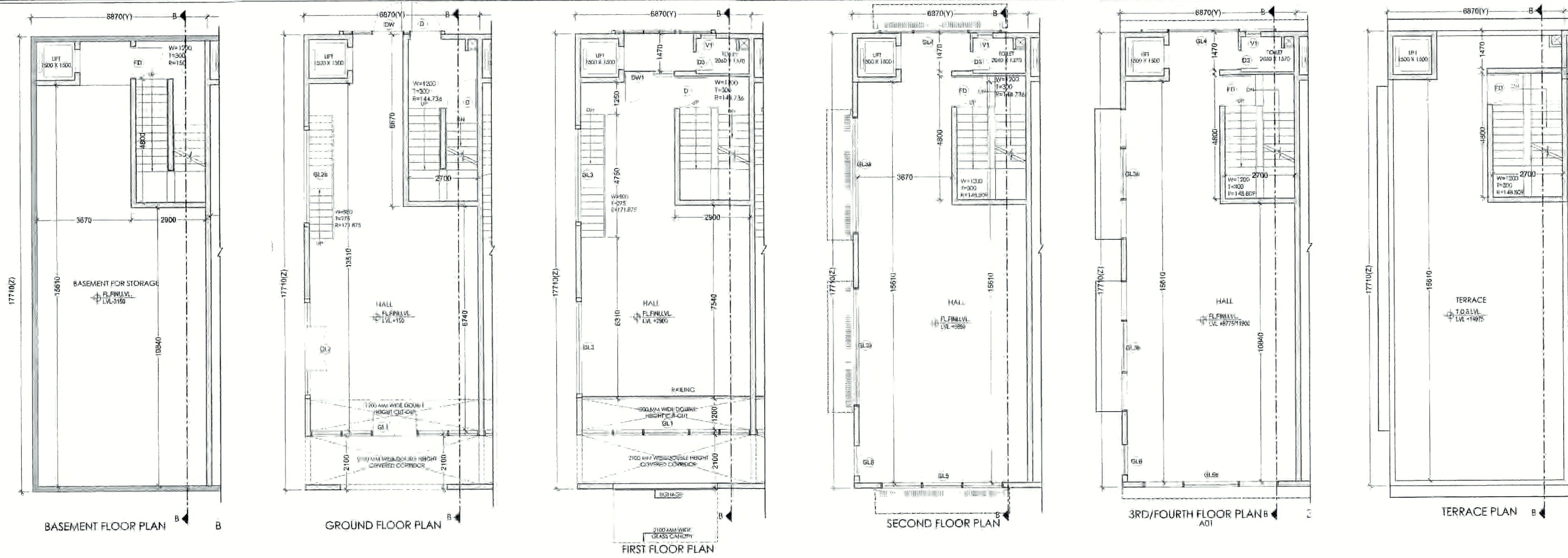
A copy alongwith a set of approved Standard Designs is forwarded to the following for information and necessary action as per office order dated 31.01.2022 pertaining to Standard-Operating-Procedure (SOP) to be followed for approval of Standard Design/ Building Plan/ OC in Commercial Plotted Site/Colony:-

1. The Senior Town Planner, Gurugram alongwith a set of approved Standard Design.
2. The District Town Planner, Gurugram alongwith a set of approved Standard Design.

DA/As above.

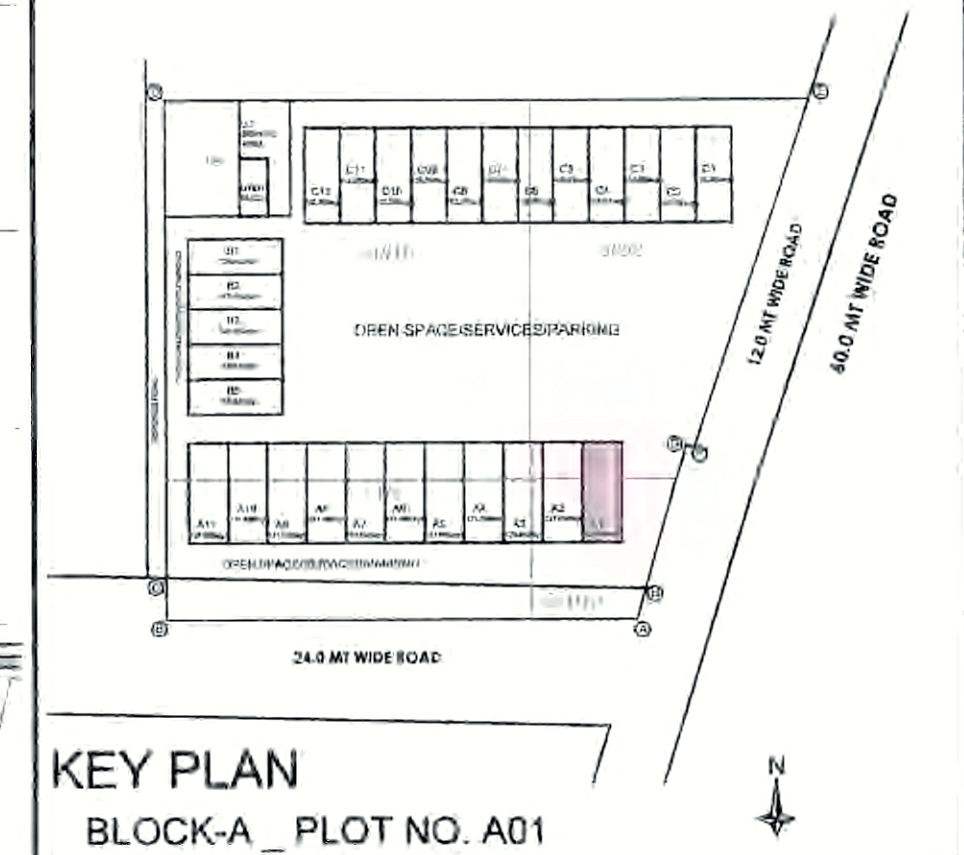
(Hitesh Sharma)
Senior Town Planner (HQ),
Member Secretary,

For: Chief Town Planner Haryana-cum-Chairman,
Building Plan Approval Committee.



(HITESH SHARMA) STP (HQ)
 (P. R. N. GH) CIP (HR)
 (K. MAKRAND R. ANDURANG, IAS) DTCP (HR)
 (RAM AVTAR BASSI) AD (HQ)
 (RAKESH BANSAL) ATP (HQ)

DRG-NO. 1-DTCP 8275 L1 DATED: 25-04-21



KEY PLAN
BLOCK-A_PLOT NO. A01

PRINCIPAL ARCHITECT:

ACPL
ACPL Design Ltd

PROJECT:-
COMMERCIAL PLOTTED COLONY ON THE LAND MEASURING 2.16875 ACRES IN THE REVENUE ESTATE OF VILLAGE BEGUMPUR KHATOLA SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID INFRA TECH PVT. LTD.

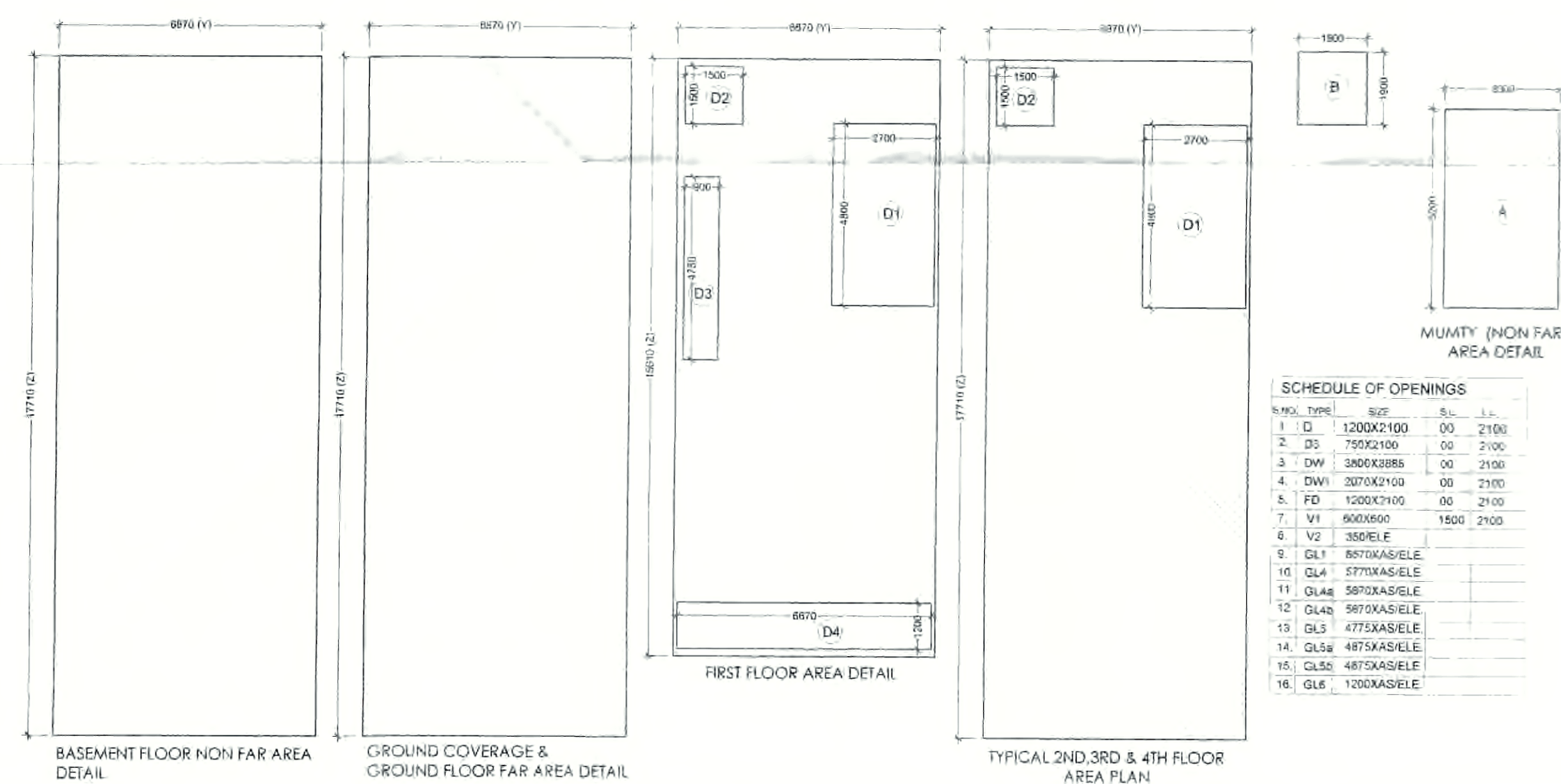
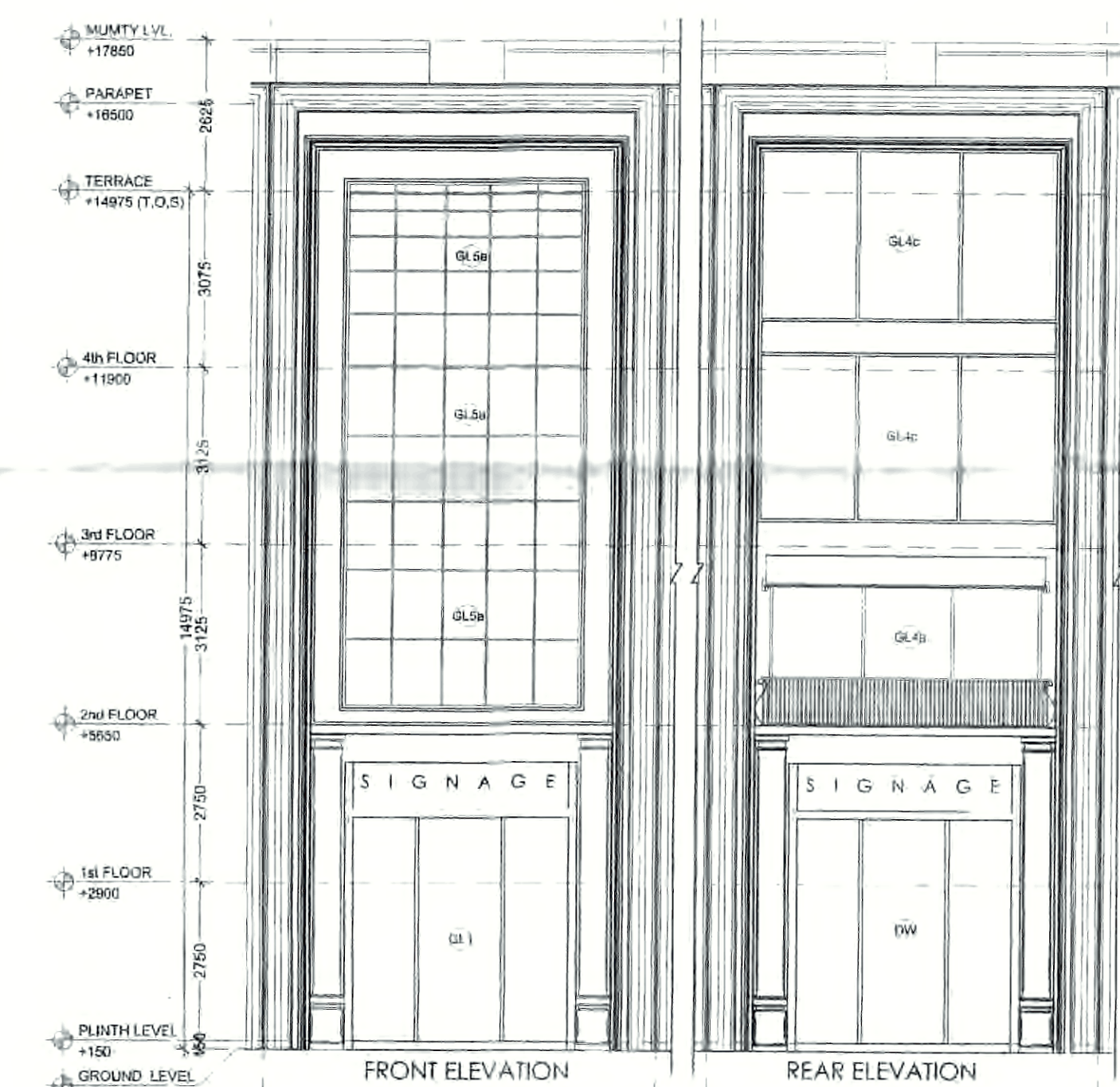
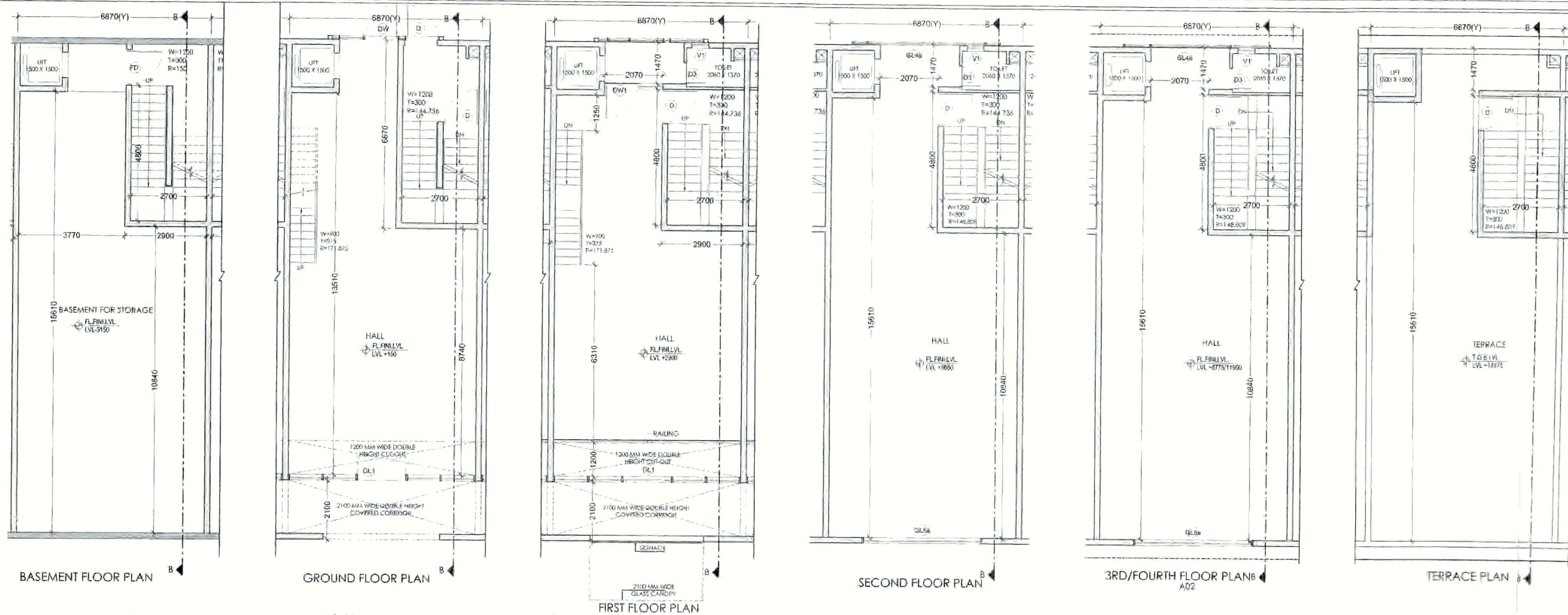
AUTH. SIGN. ARCHITECT'S SIGN.

DRAWING TITLE:
BLOCK-A_PLOT OF (6.870x17.710) 121.668 SQMT, PLOT NO. A01
FLOOR PLANS, ELEVATIONS, SECTIONS AND AREA DETAILS

DRAWING NO. A-101 SCALE: 1:100

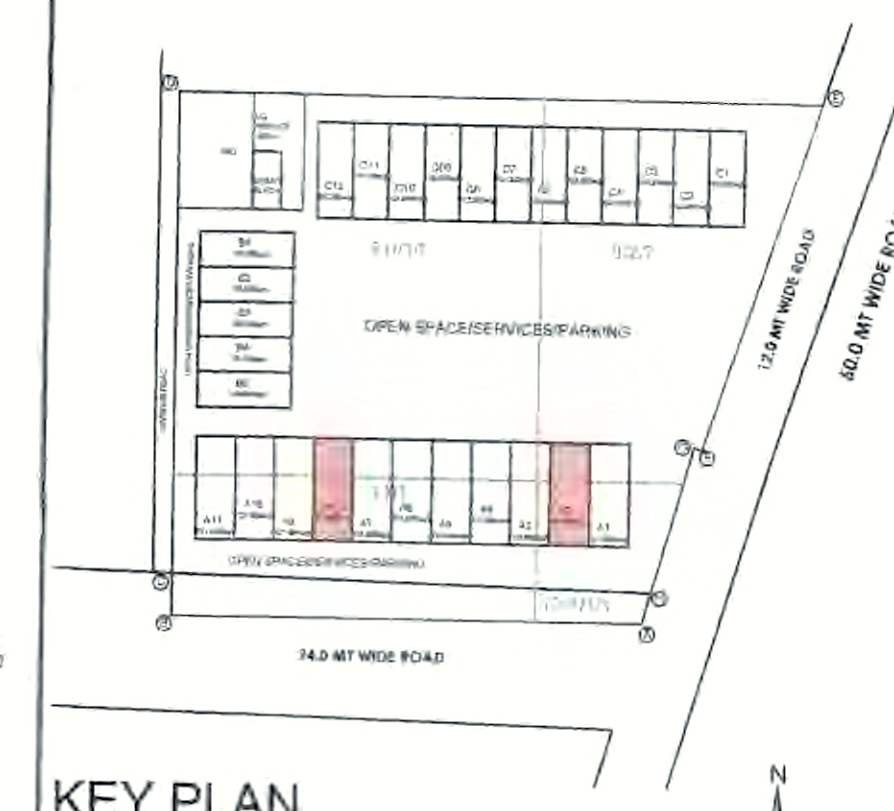
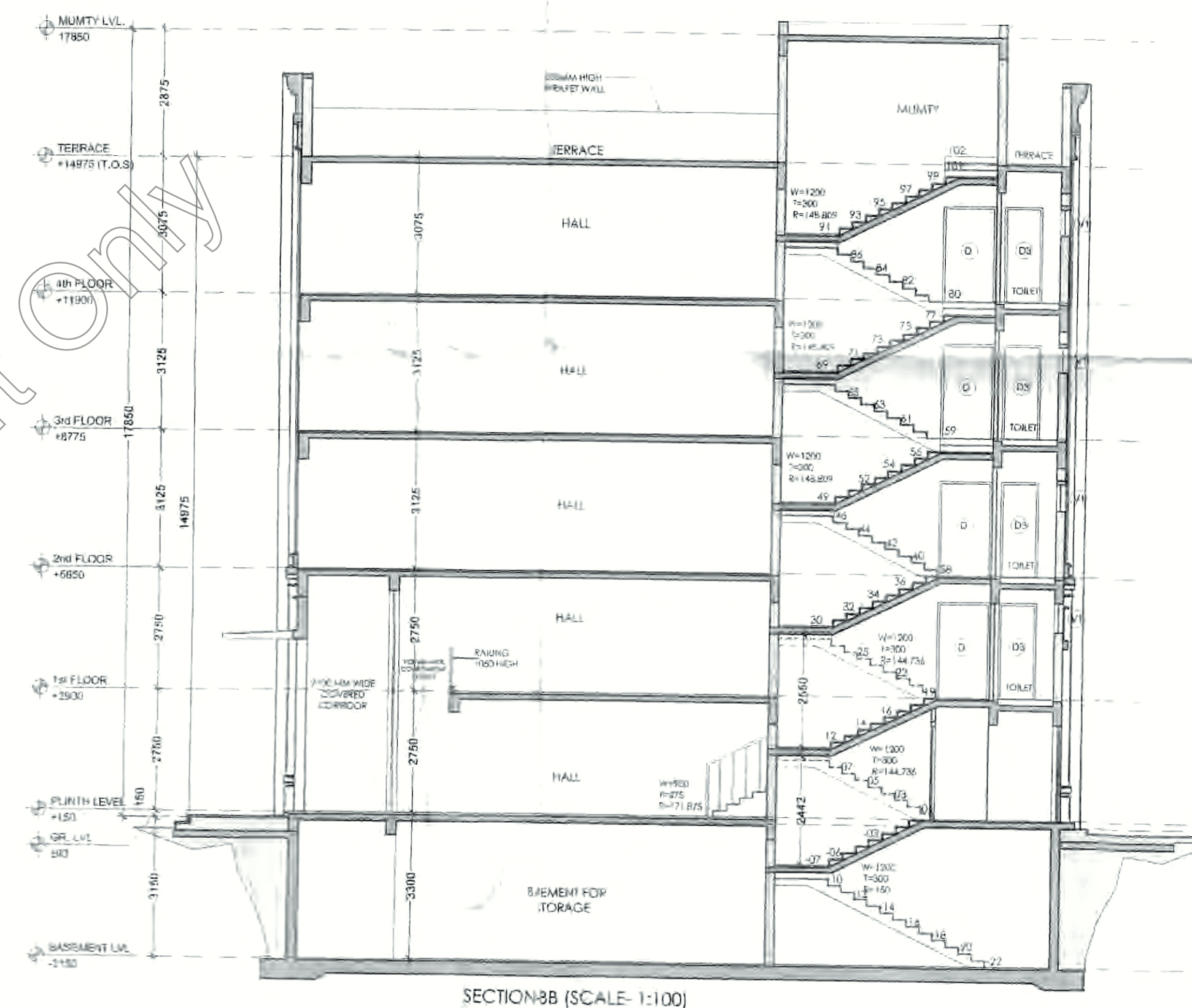
ITEM	WIDTH	LENGTH	NO.	AREA
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4	6.870	17.710	1	121.668
5	6.870	17.710	1	121.668
6	6.870	17.710	1	121.668
7	6.870	17.710	1	121.668
8	6.870	17.710	1	121.668
9	6.870	17.710	1	121.668
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12	6.870	17.710	1	121.668
13	6.870	17.710	1	121.668
14	6.870	17.710	1	121.668
15	6.870	17.710	1	121.668
16	6.870	17.710	1	121.668
17	6.870	17.710	1	121.668
18	6.870	17.710	1	121.668
19	6.870	17.710	1	121.668
20	6.870	17.710	1	121.668

AREA DETAIL SUMMARY (sq.mt.)			
PLOT AREA	F.A.R.	NON F.A.R.	
121.668	4.286	521.468	
PROPOSED F.A.R.	520.913		
BALANCED F.A.R.	0.555		
GROUND COVERAGE	121.668		
FLOORS	F.A.R.	NON F.A.R.	
BASEMENT		121.668	
GROUND FLOOR	121.668		
1st FLOOR	79.872	27.369	
2nd FLOOR	106.458	15.210	
3rd FLOOR	106.458	15.210	
4th FLOOR	106.458	15.210	
TERRACE (MUMTY+LIFT)		19.210	
TOTAL	520.913	213.577	



SCHEDULE OF OPENINGS

Sl. No.	Type	Size	Qty	Area
1	D	1200X2100	00	2100
2	D3	750X2100	00	2100
3	DW	300X3885	00	2100
4	DW1	3070X2100	00	2100
5	FD	1200X1100	00	2100
6	V1	900X500	1500	2100
7	V2	350X500	1500	2100
8	GL1	6870X5/ELE		
9	GL2	5770X5/ELE		
10	GL3	5870X5/ELE		
11	GL4	5870X5/ELE		
12	GL5	5870X5/ELE		
13	GL6	4775X5/ELE		
14	GL7	4875X5/ELE		
15	GL8	4875X5/ELE		
16	GL9	1200X5/ELE		



KEY PLAN
* BLOCK-A _ PLOT NO. A02 & A08

PRINCIPAL ARCHITECT:

ACPL

ACPL Design Ltd

Architectural
Management
Planning

PROJECT:

COMMERCIAL PLOTTED COLONY ON THE LAND
MEASURING 2.16875 ACRES IN THE REVENUE
ESTATE OF VILLAGE BEGUMPUR KHATOLA
SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID
INFRA TECH PVT. LTD.

Author's Sign

AUTH. SIGN.

Architect's Sign

ARCHITECT'S SIGN.

DRAWING TITLE
BLOCK-A _ PLOT OF (6.870X17.710) 121.688 SQMT.
PLOT NO. A02 & A08
FLOOR PLANS, ELEVATIONS, SECTIONS AND AREA DETAILS

DRAWING NO. A-102

SCALE 1:100

DRG. NO. - DTP 8275 (11) DATED: 25-04-22

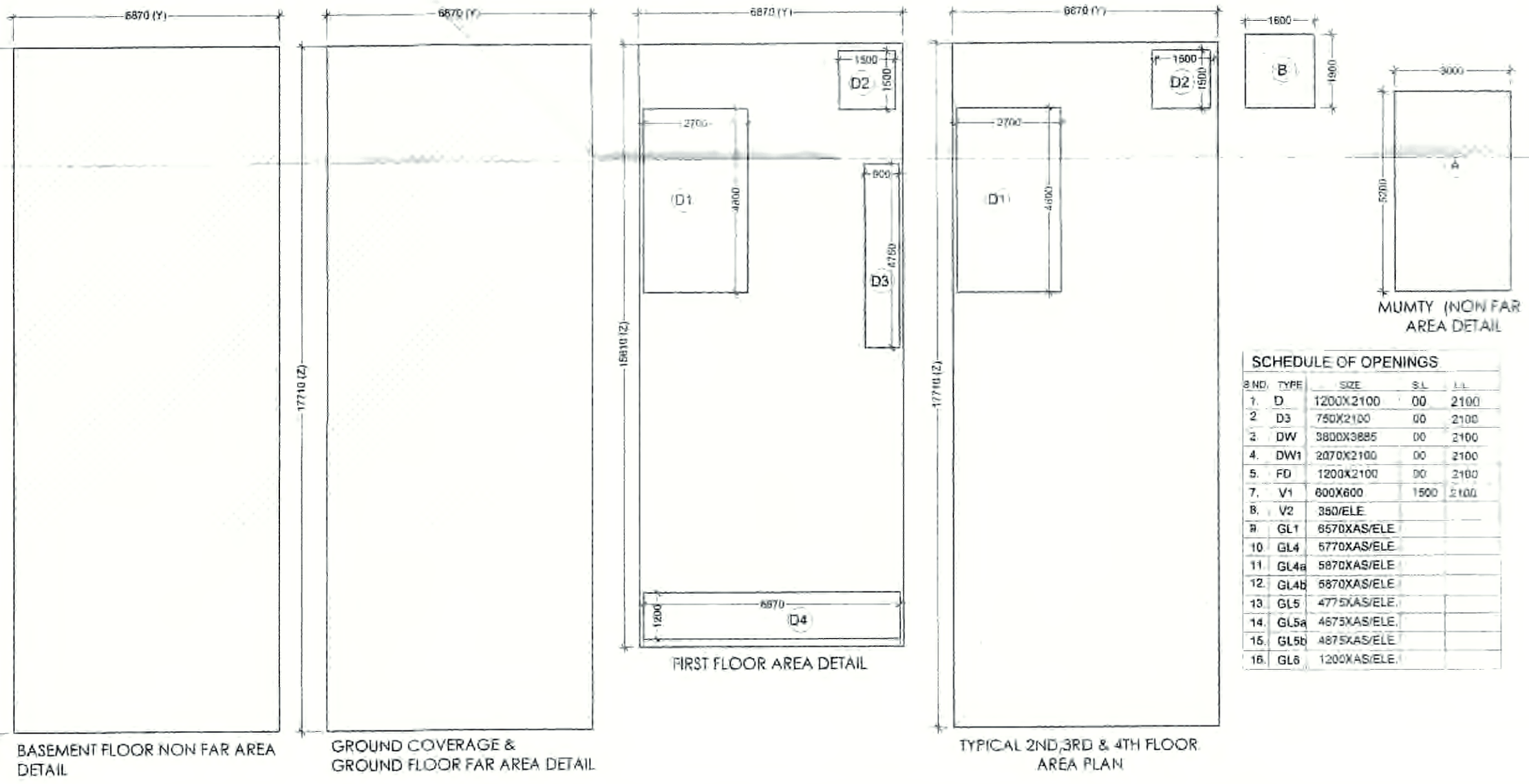
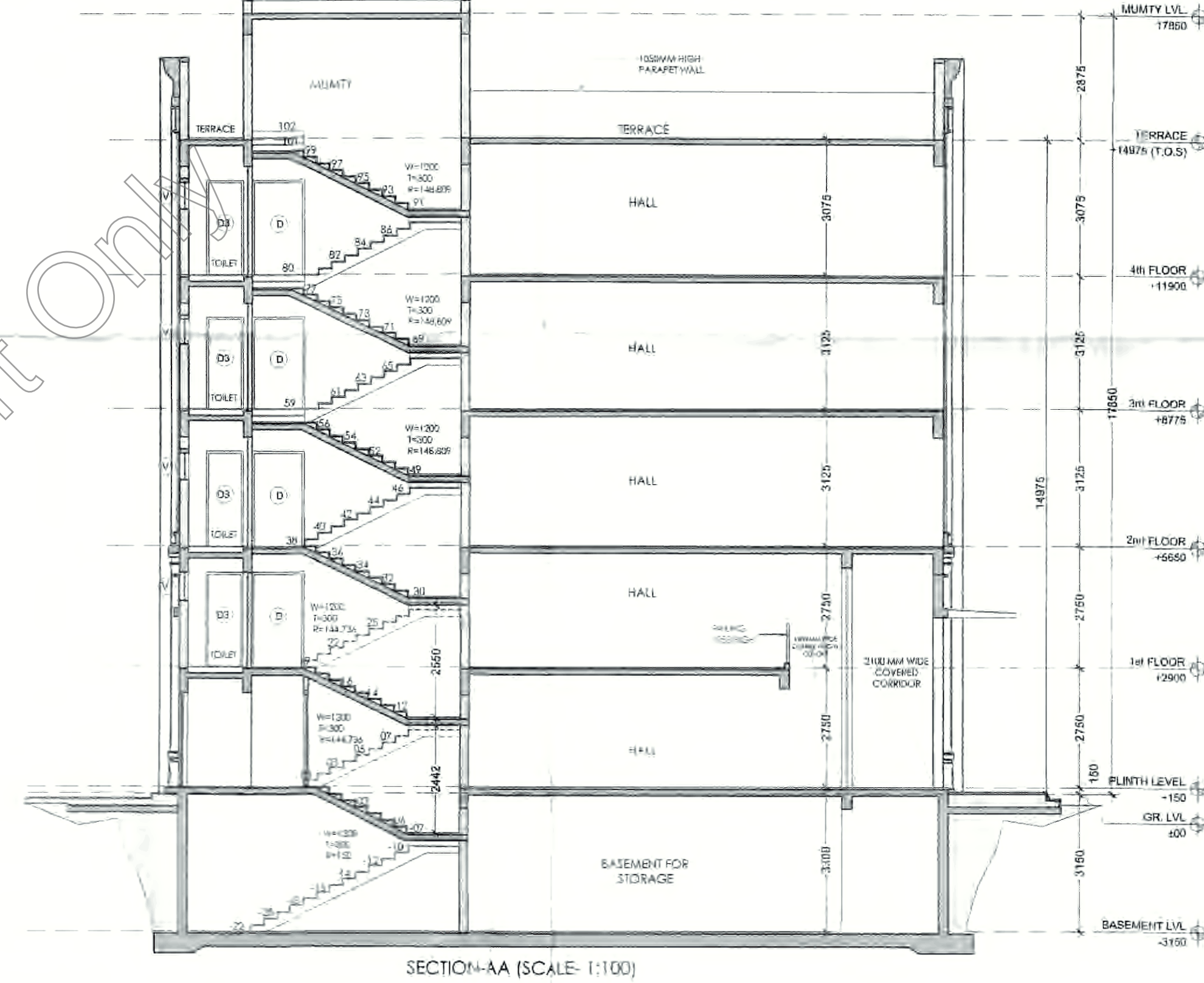
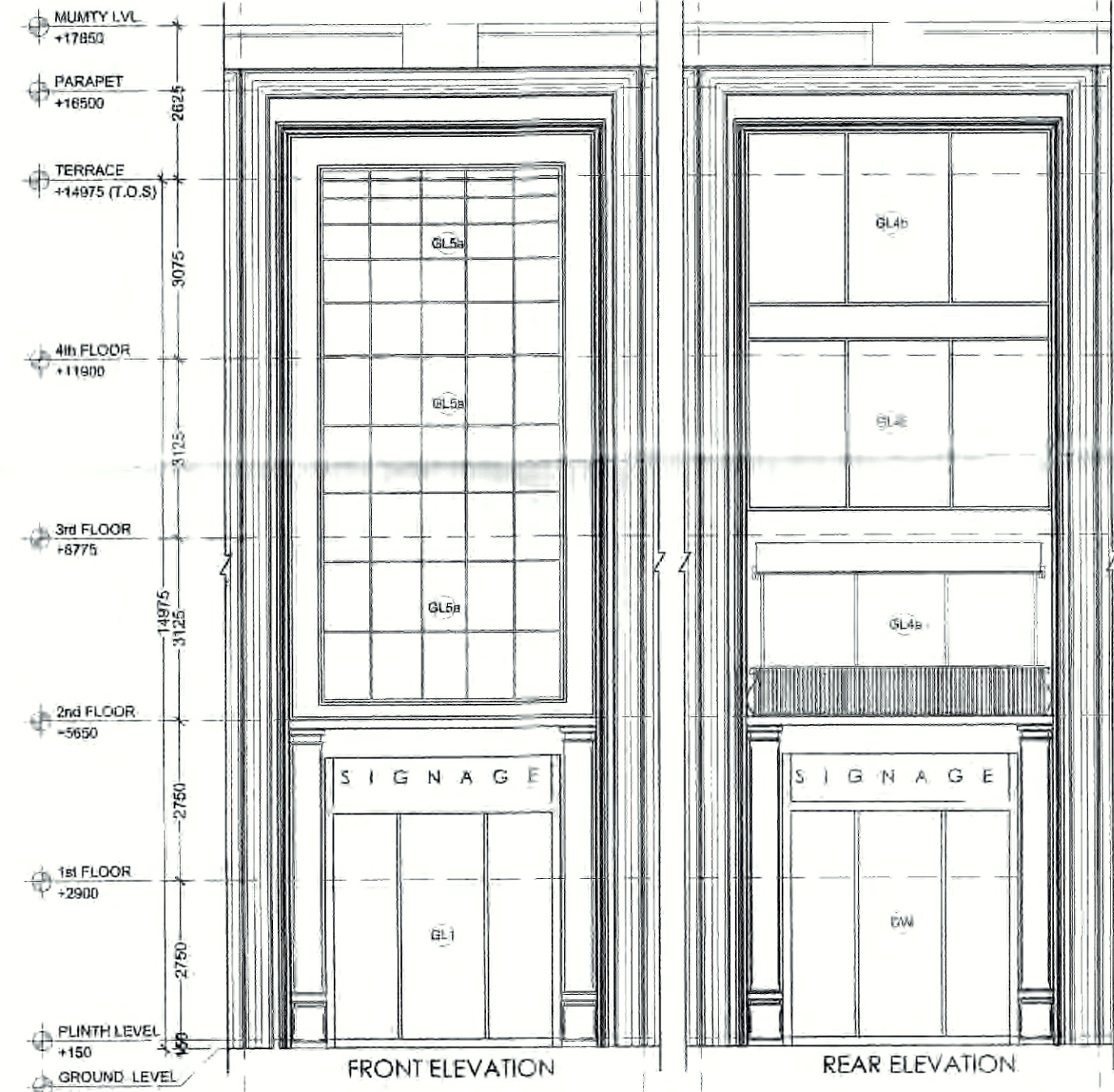
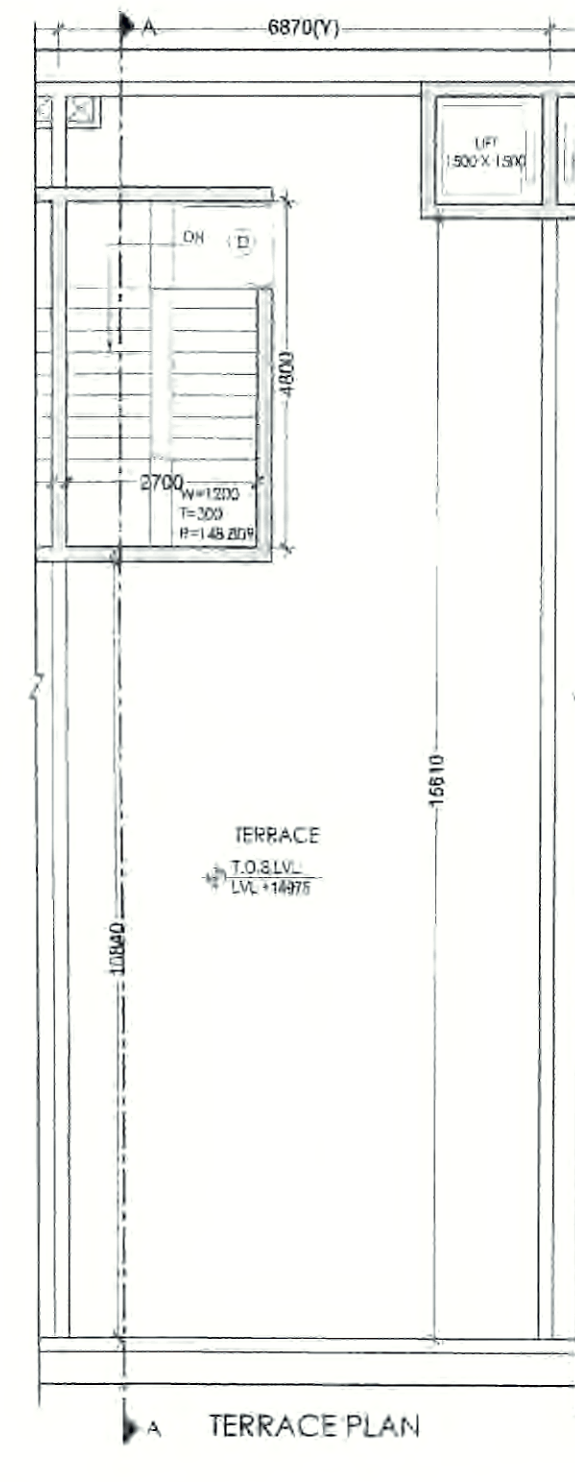
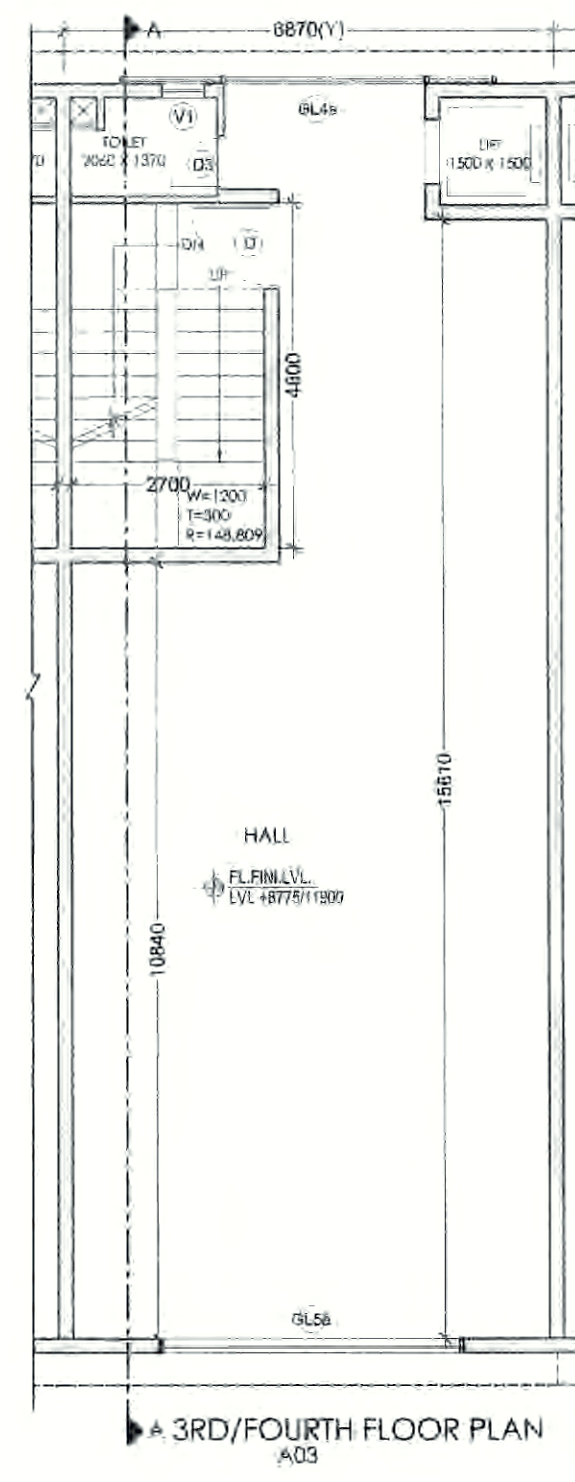
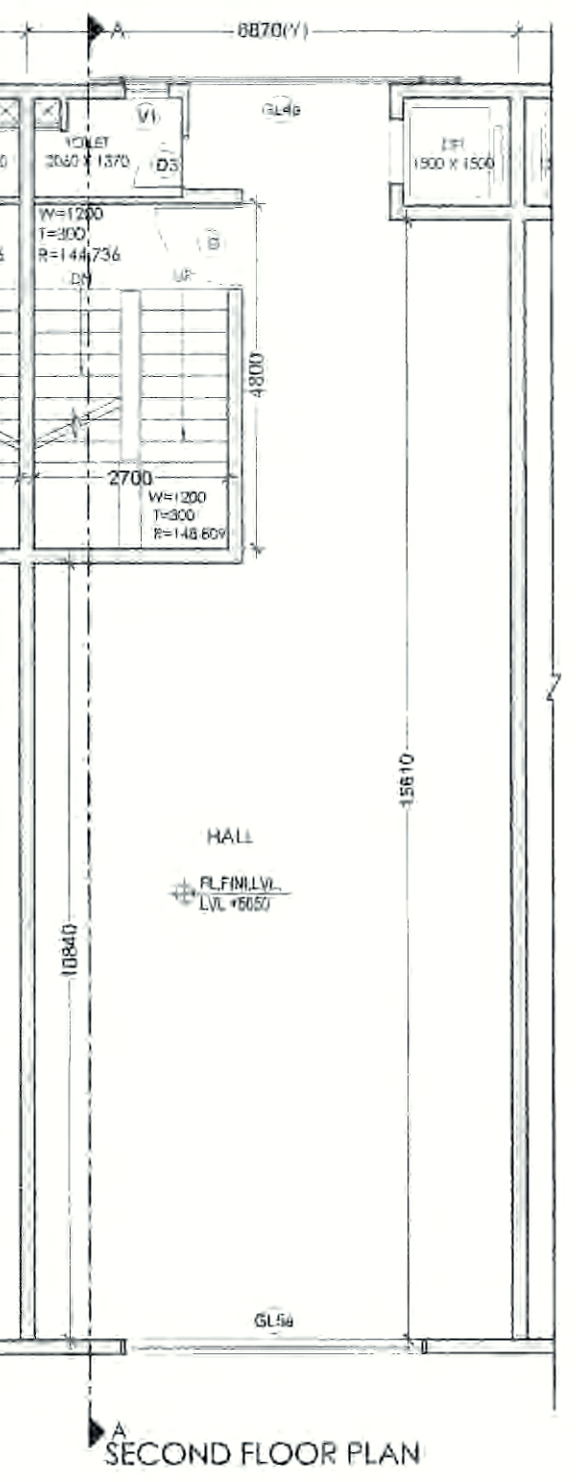
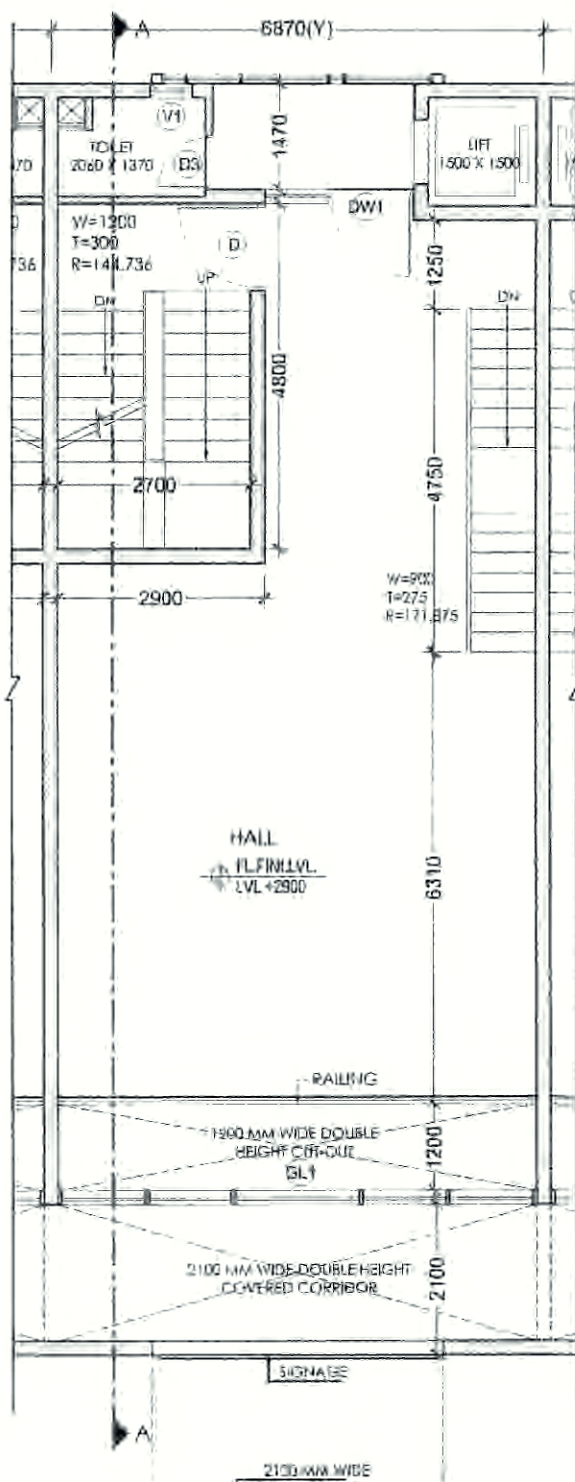
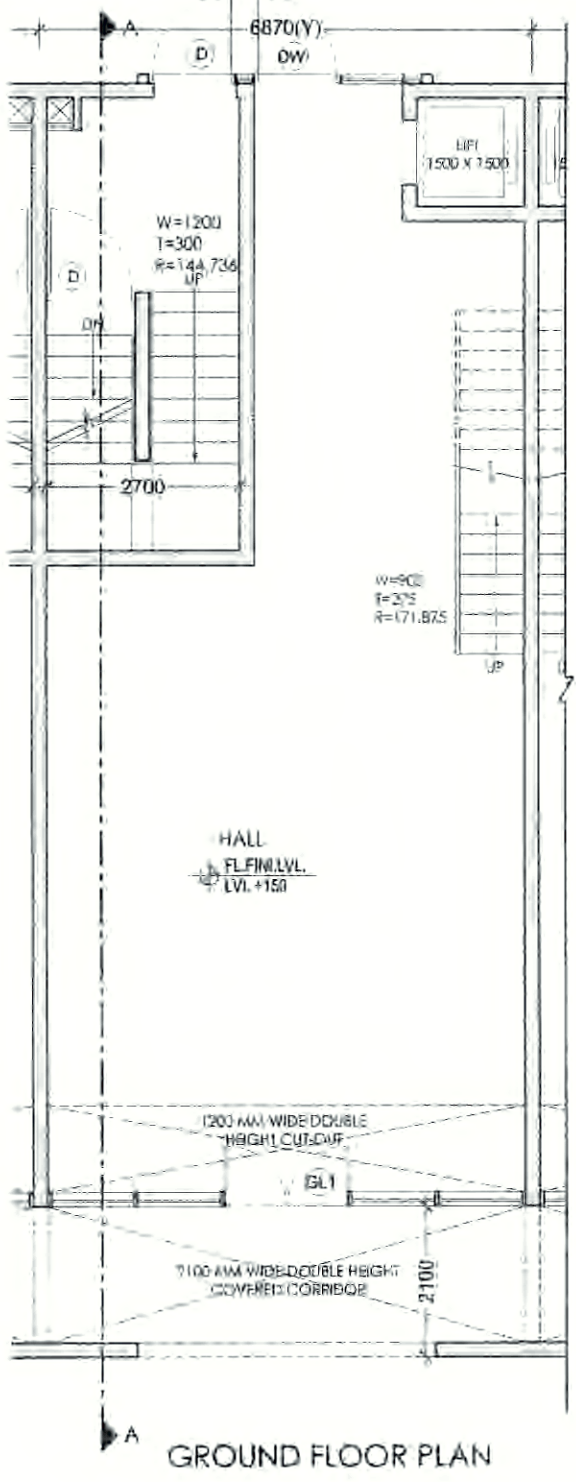
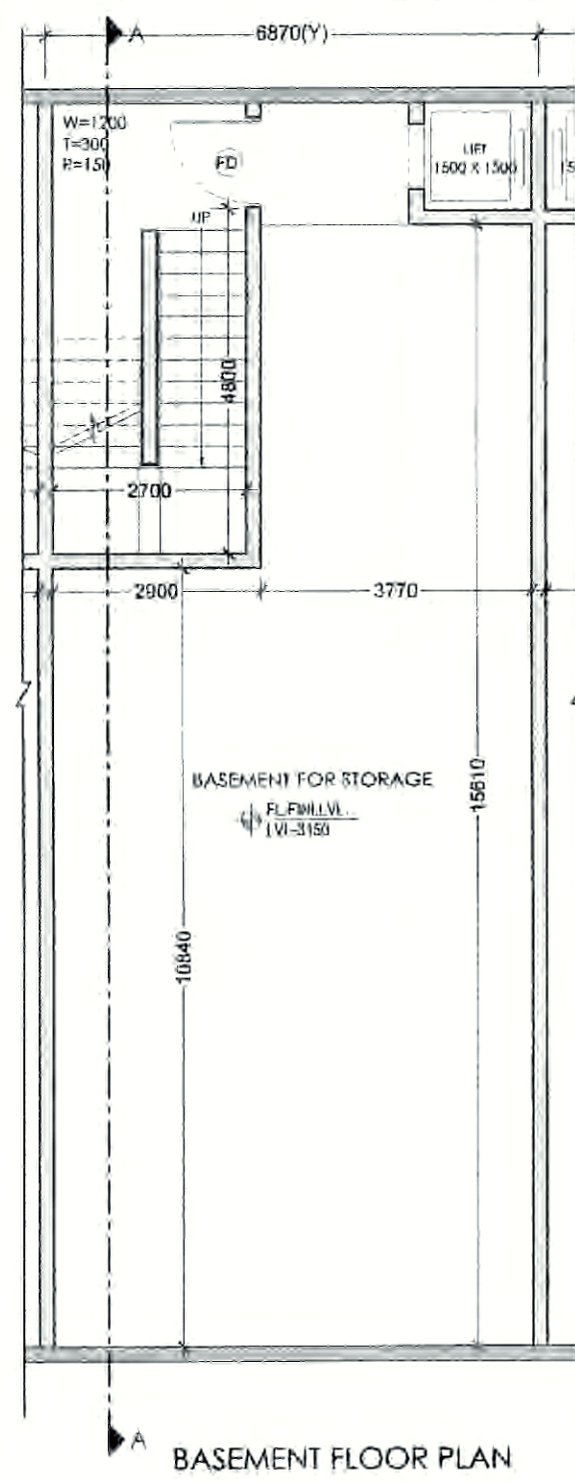
(HITESH SHARMA)
STP (HQ)

(P. P. SINGH)
CTP (HR)

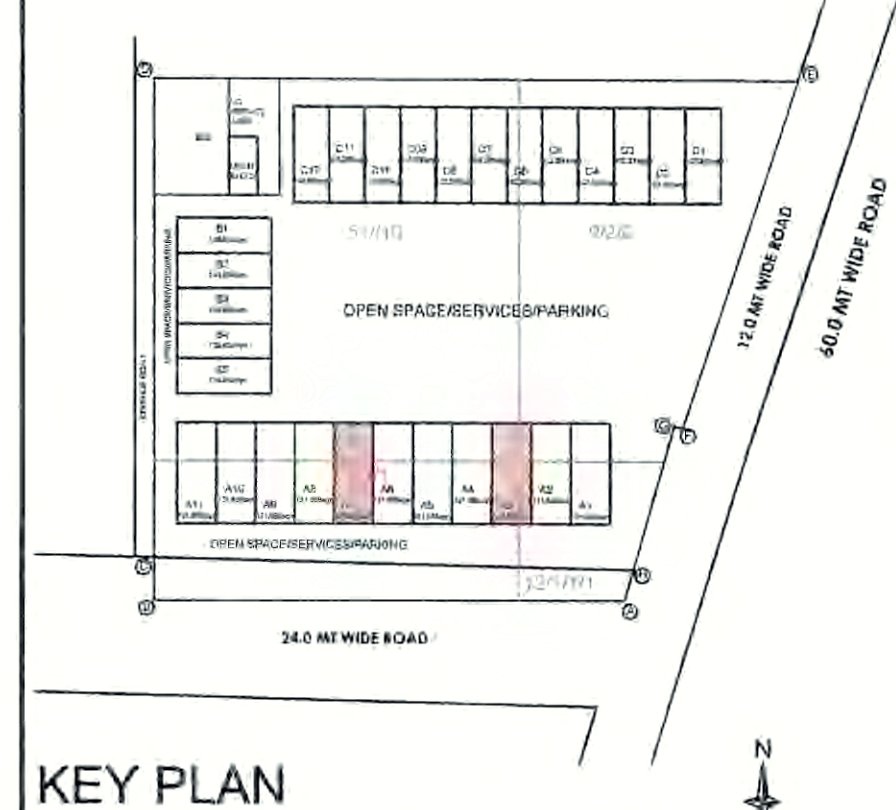
(K. MAKRAJ PANDURANG, IAS)
DTP (HR)

(RAM AVTAR BASSI)
AD (HQ)

(RAKESH BANSAL)
ATP (HQ)



S.NO.	TYPE	SIZE	S.A.	T.A.
1	D	1200x2100	00	2100
2	D3	750x2100	00	2100
3	DW	3600x3685	00	2100
4	DW1	2070x2100	00	2100
5	FD	1200x2100	00	2100
7	V1	600x600	1500	2100
8	V2	360x600	1500	2100
9	GL1	6570xAS/ELE		
10	GL4	5770xAS/ELE		
11	GL4H	5870xAS/ELE		
12	GL4S	6570xAS/ELE		
13	GL5	4775xAS/ELE		
14	GL5H	4675xAS/ELE		
15	GL5S	4875xAS/ELE		
16	GL6	1200xAS/ELE		



KEY PLAN
BLOCK-A - PLOT NO. A03 & A07

PRINCIPAL ARCHITECT:

ACPL

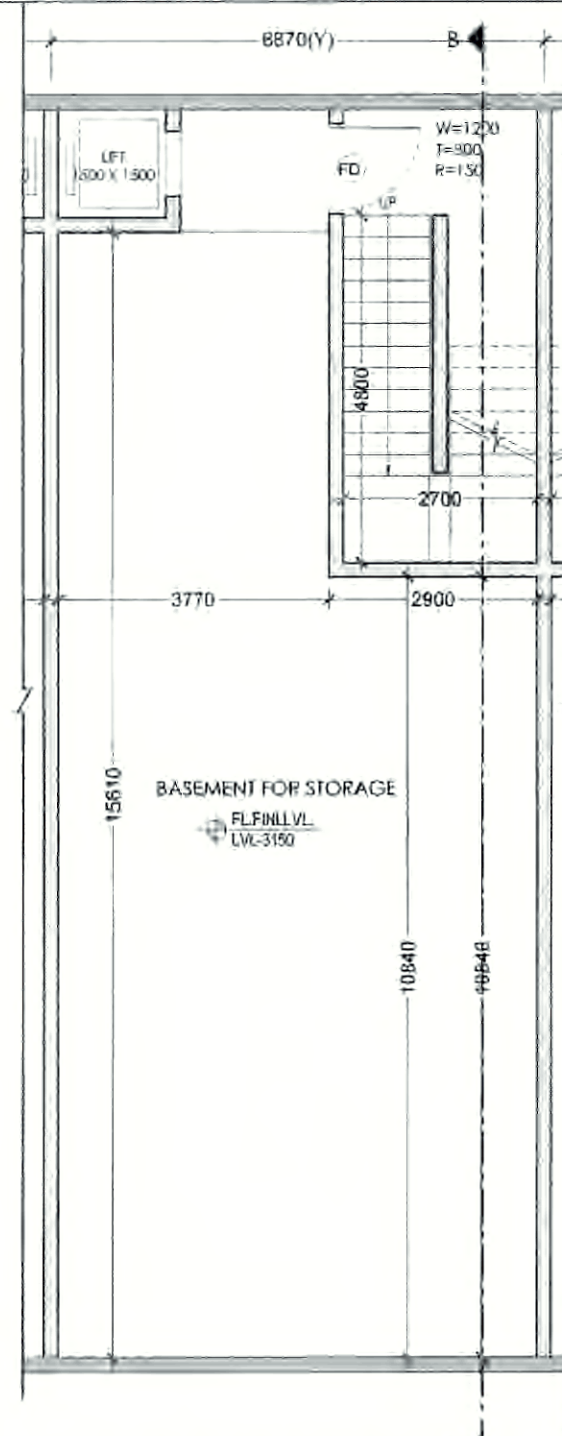
ACPL Design Ltd

PROJECT:
COMMERCIAL PLOTTED COLONY ON THE LAND MEASURING 2.16875 ACRES IN THE REVENUE ESTATE OF VILLAGE BEGUMPUR KHATOLA SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID INFRA TECH PVT. LTD.

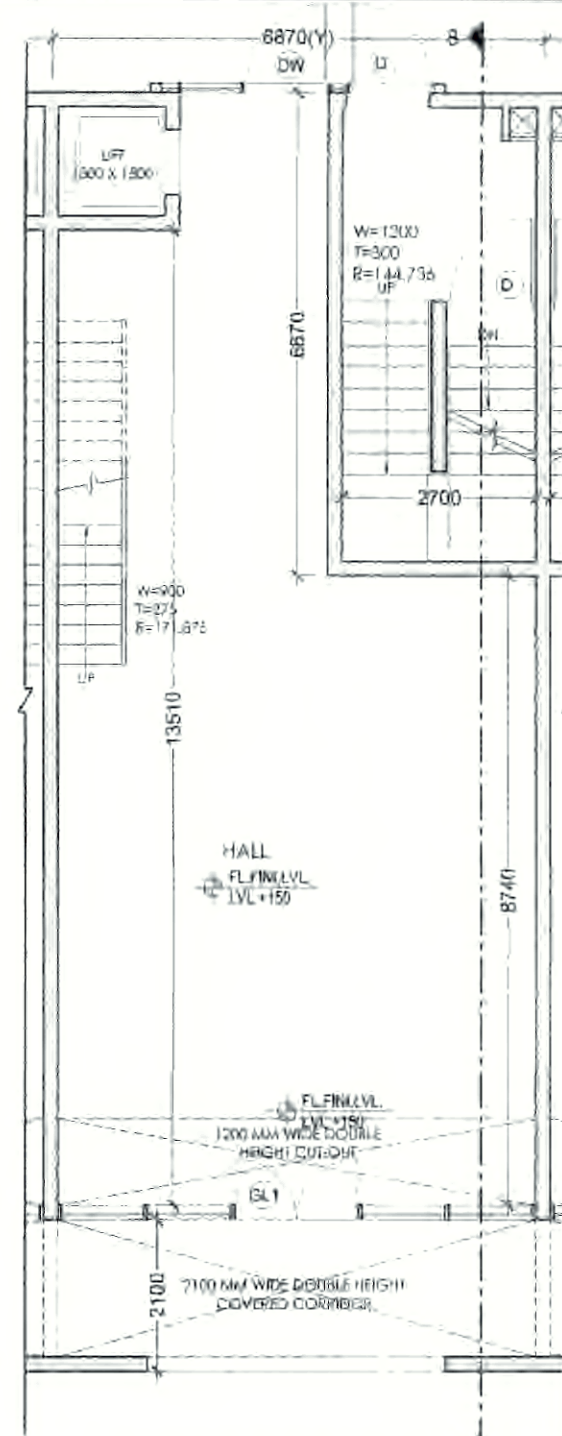
AUTH. SIGN. ARCHITECT'S SIGN.

DRAWING TITLE:
BLOCK-A - PLOT OF (6.870x17.710) 121.668 SQMT. PLOT NO. A03 & A07
FLOOR PLANS, ELEVATIONS, SECTIONS AND AREA DETAILS

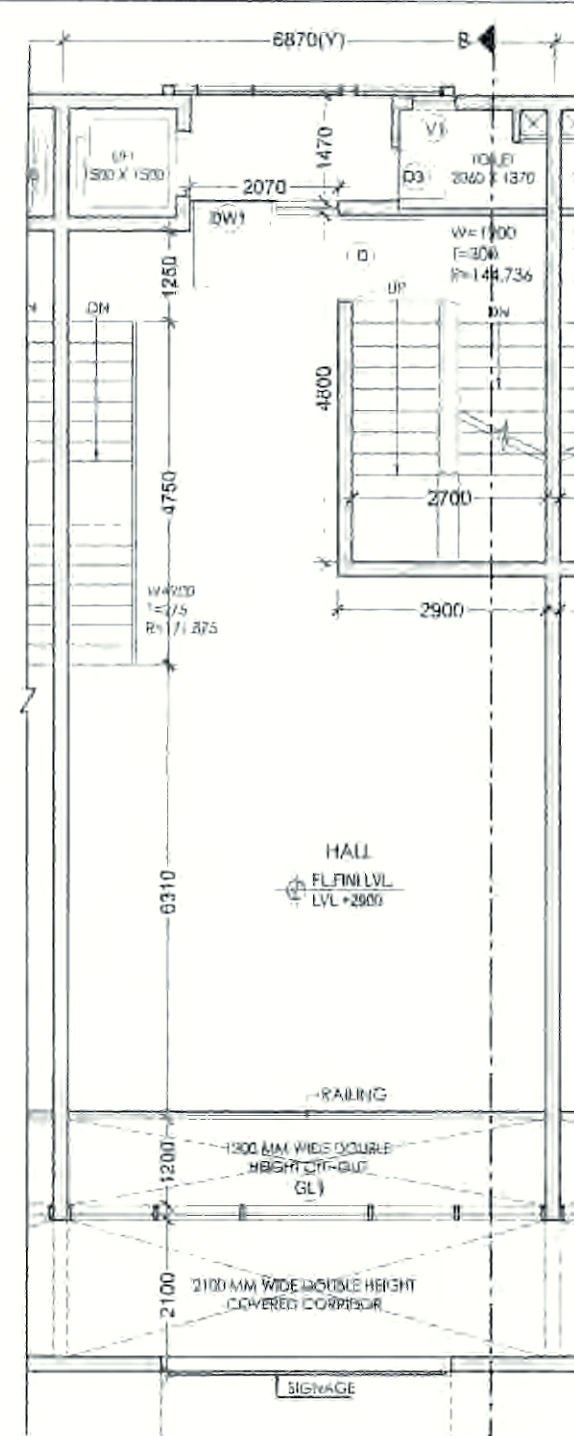
DRAWING NO. A-103 SCALE: 1:100



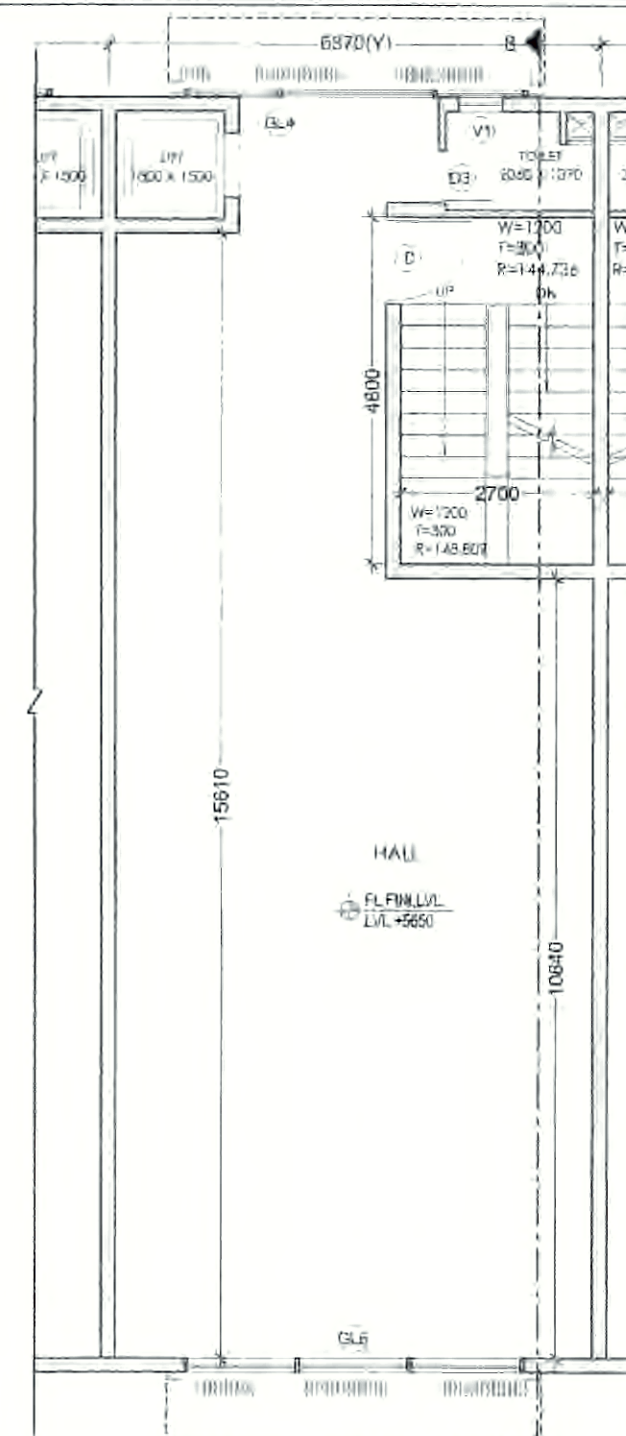
BASMENT FLOOR PLAN



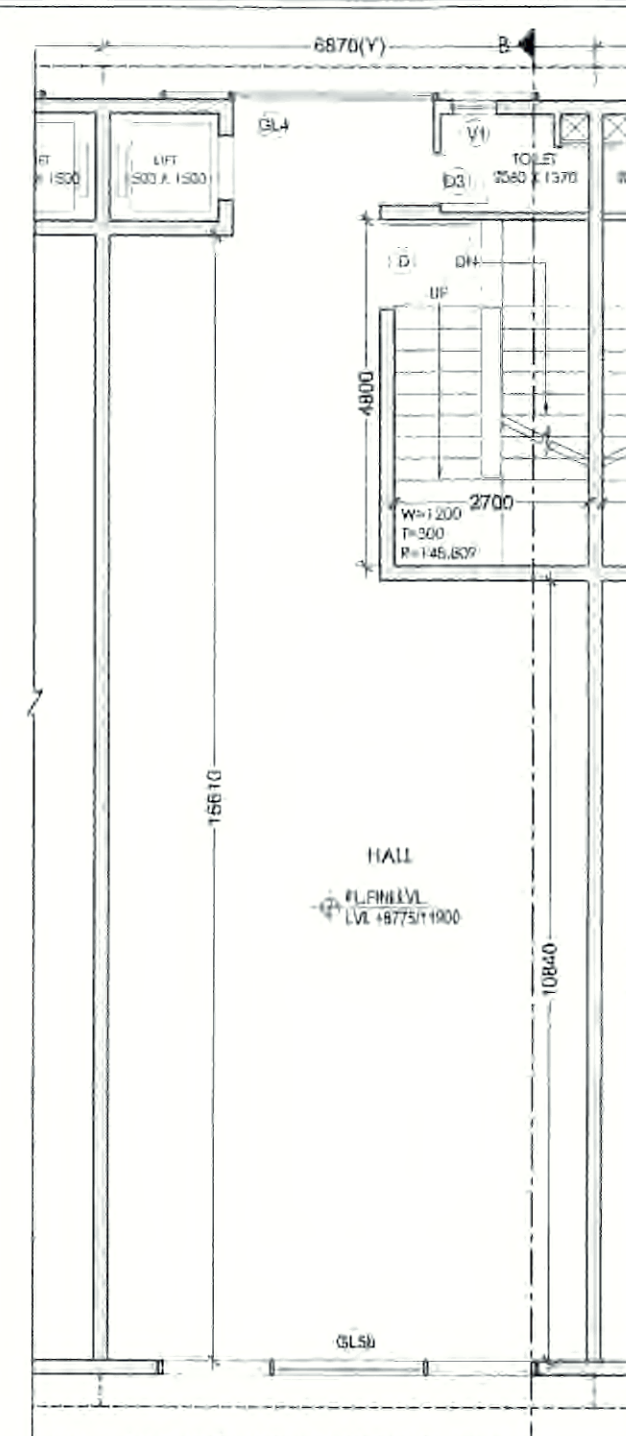
GROUND FLOOR PLAN



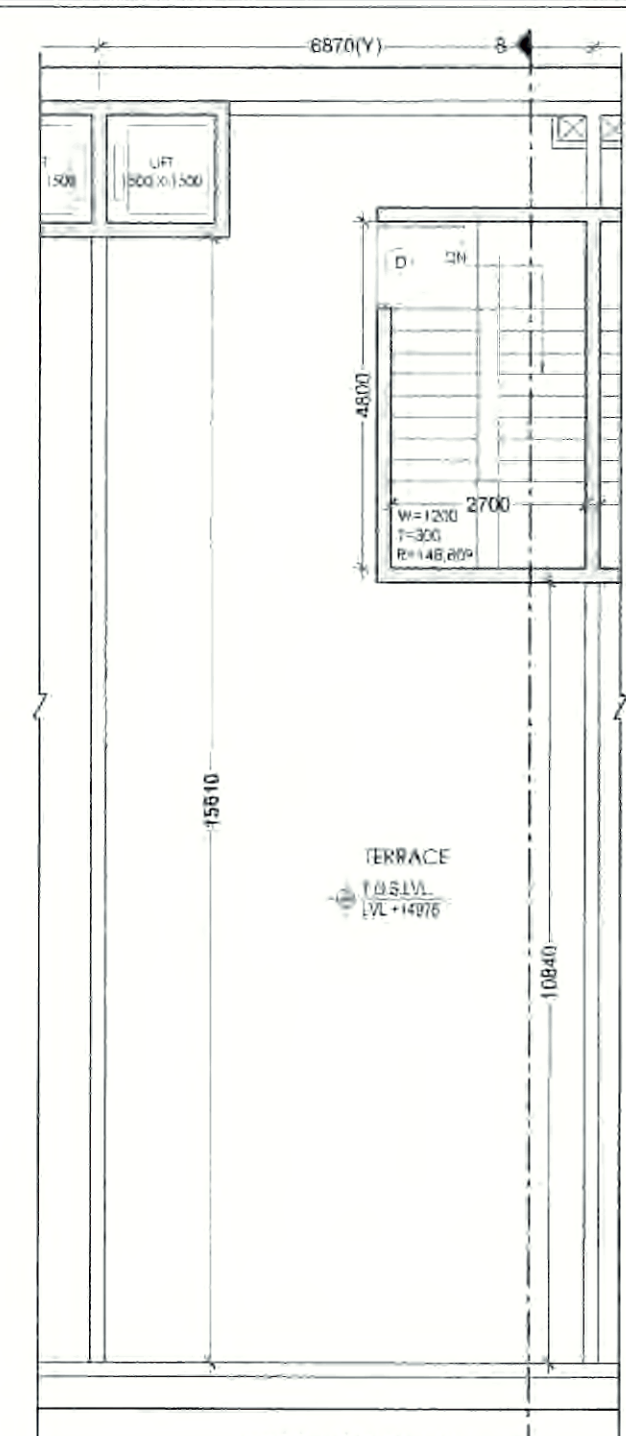
FIRST FLOOR PLAN



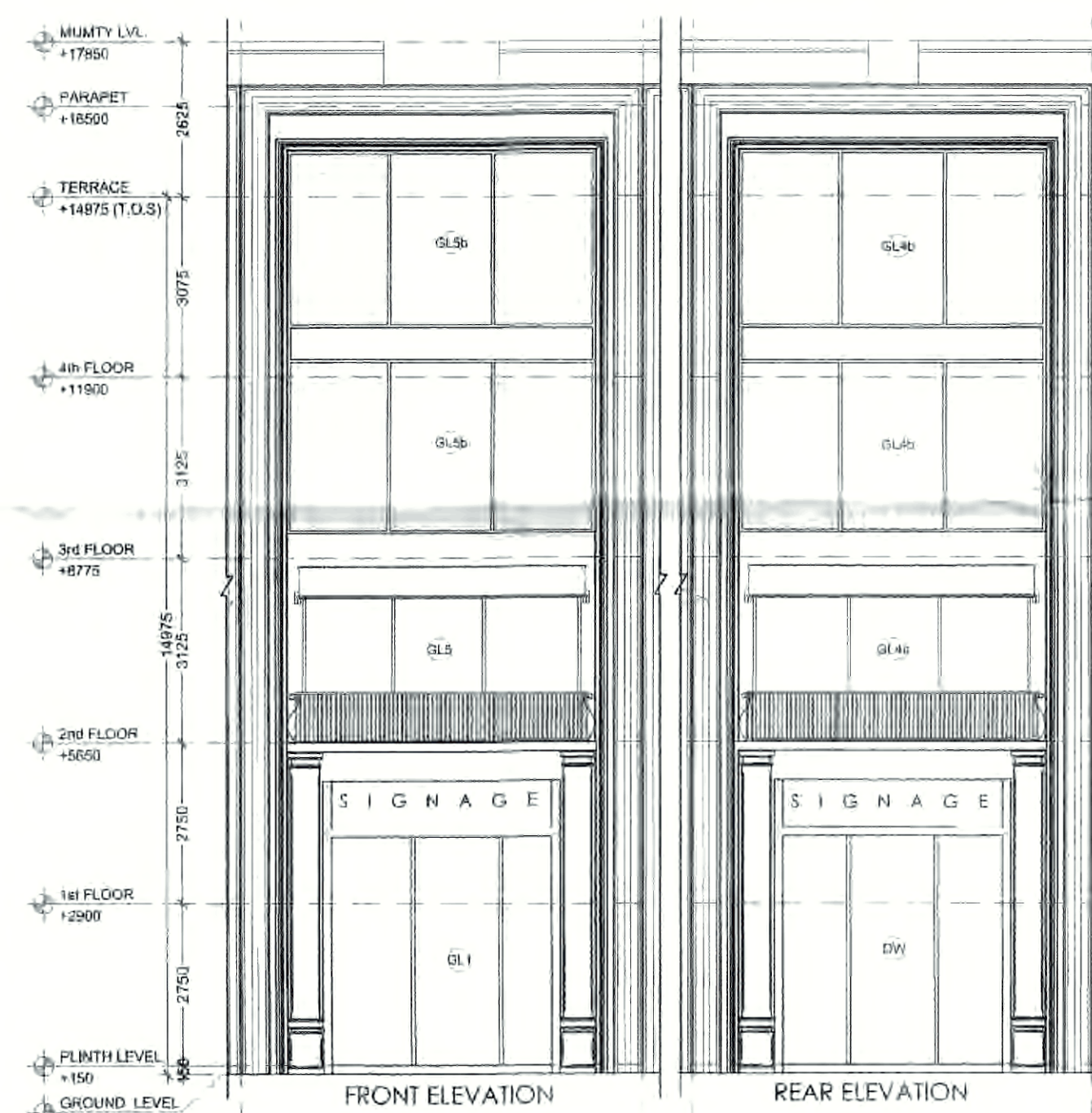
SECOND FLOOR PLAN



3RD/4TH FLOOR PLAN

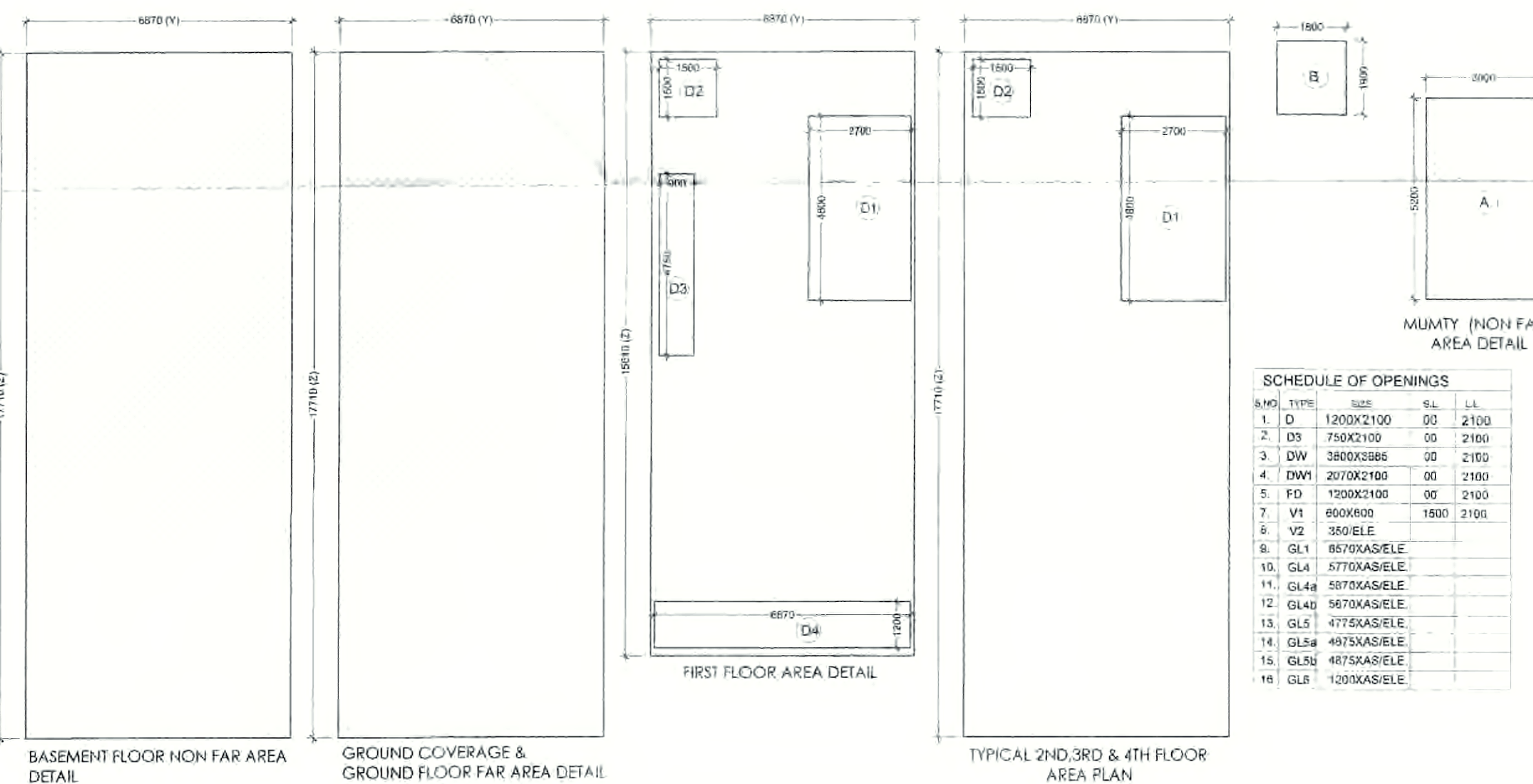


TERRACE PLAN



FRONT ELEVATION

REAR ELEVATION

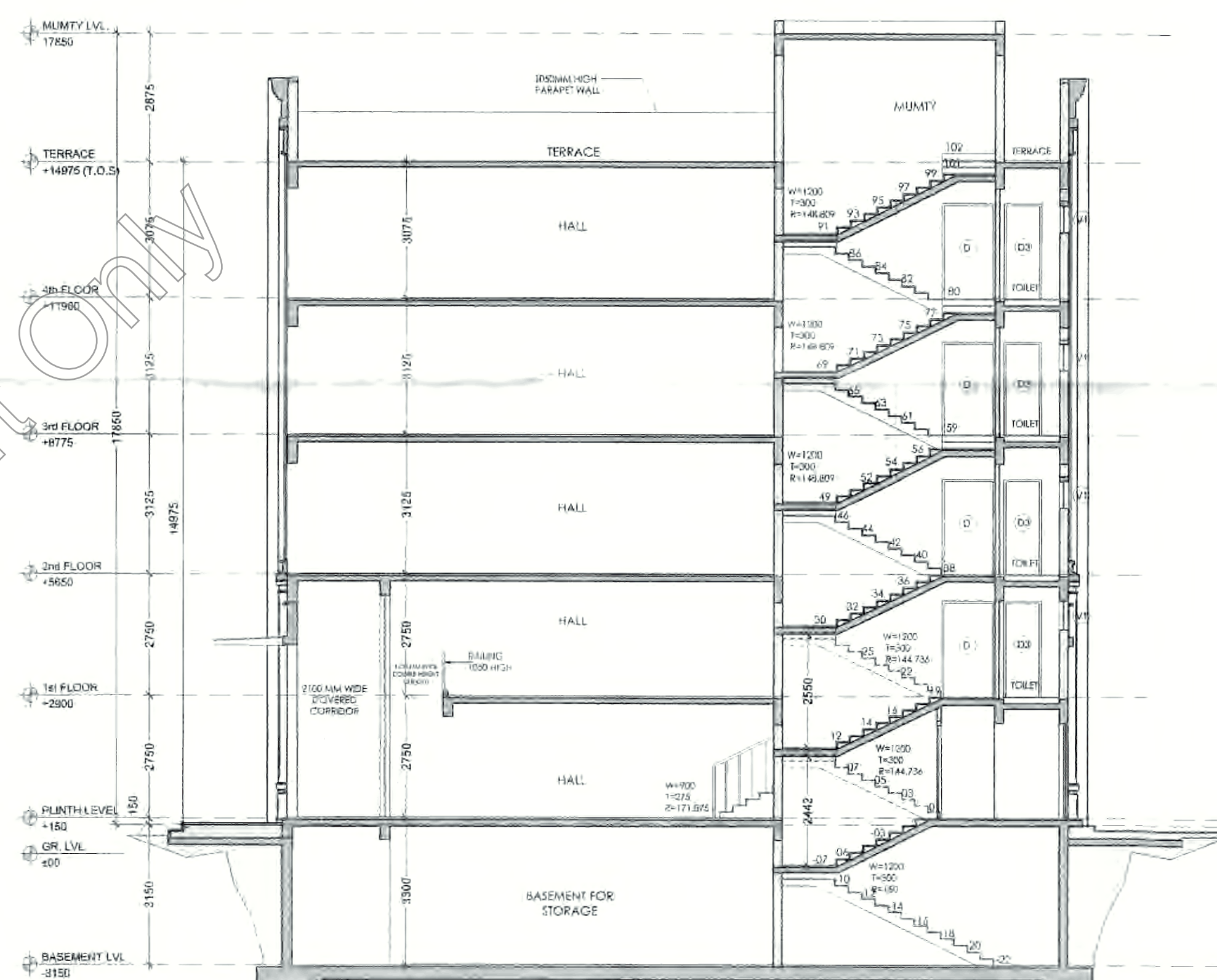


BASMENT FLOOR NON FAR AREA DETAIL

GROUND COVERAGE & GROUND FLOOR FAR AREA DETAIL

TYPICAL 2ND, 3RD & 4TH FLOOR AREA PLAN

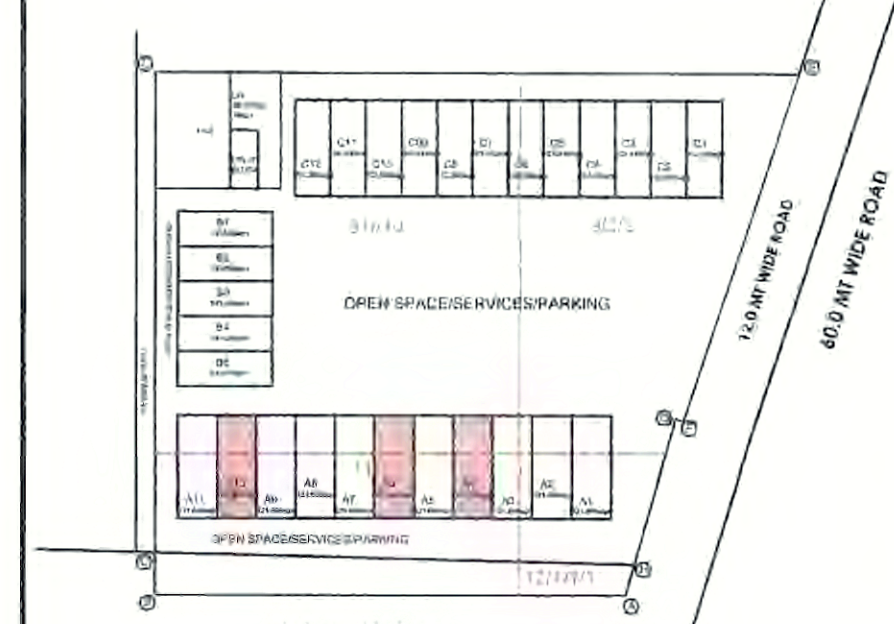
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2.	D3	750X2100	00	2100
3.	DW	3600X3686	00	2100
4.	DW1	2070X2100	00	2100
5.	FD	1200X2100	00	2100
6.	V1	600X900	1900	2100
7.	V2	350 X 500		
8.	GL1	6570X5450		
9.	GL2	5770X5450		
10.	GL3	5870X5450		
11.	GL4	5670X5450		
12.	GL5	4775X5450		
13.	GL6	4875X5450		
14.	GL7	4875X5450		
15.	GL8	1200X5450		



SECTION-BB (SCALE: 1:100)

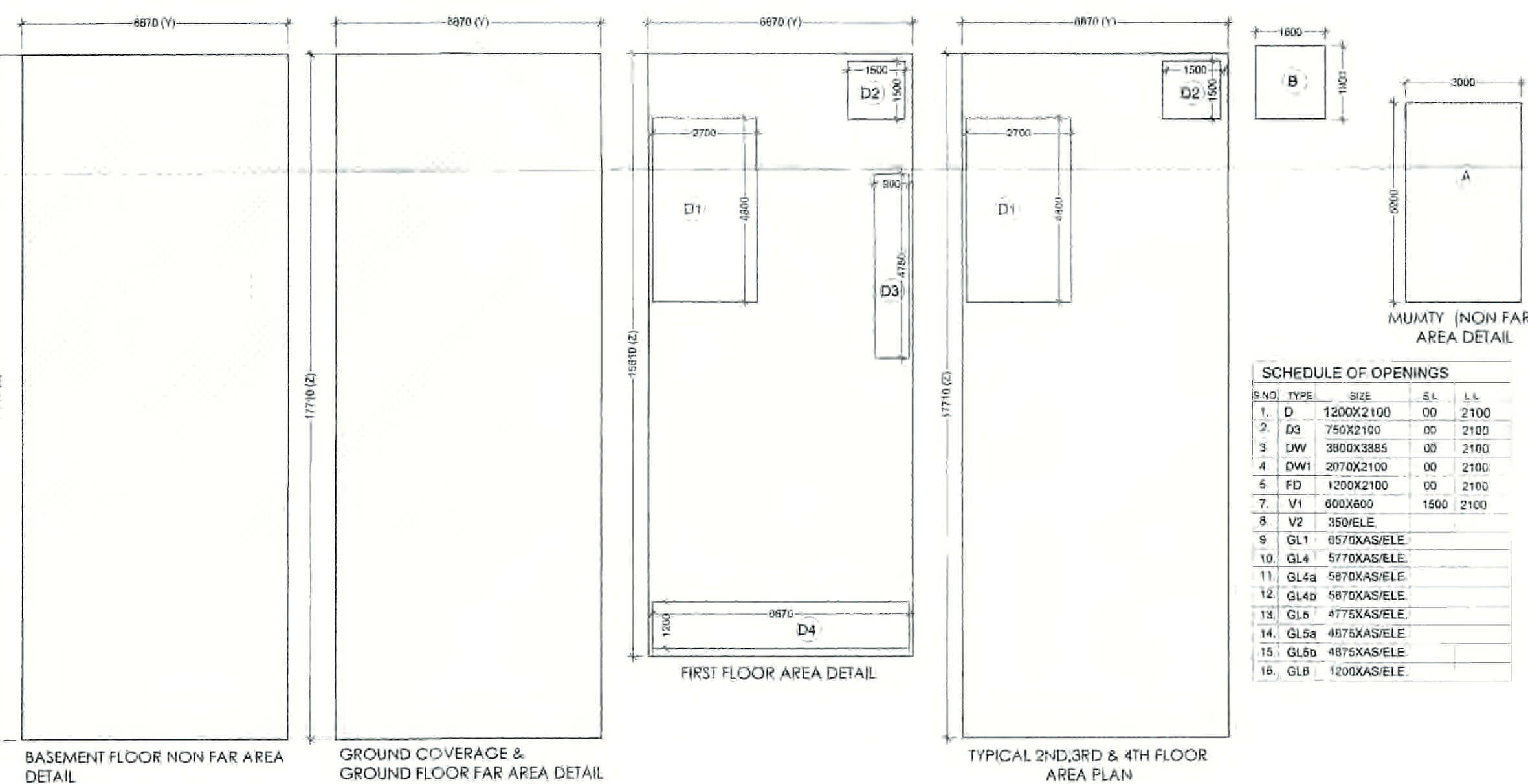
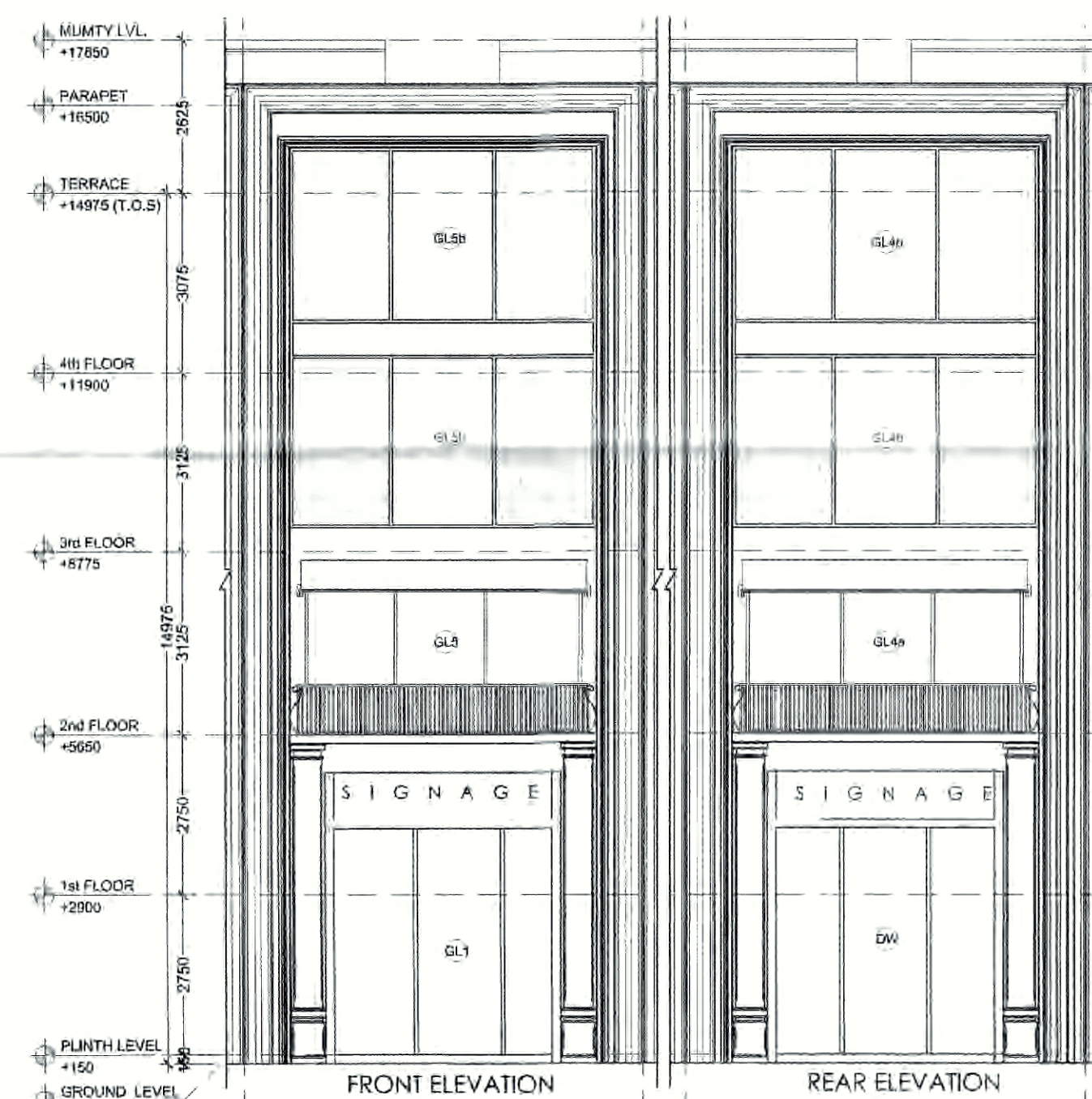
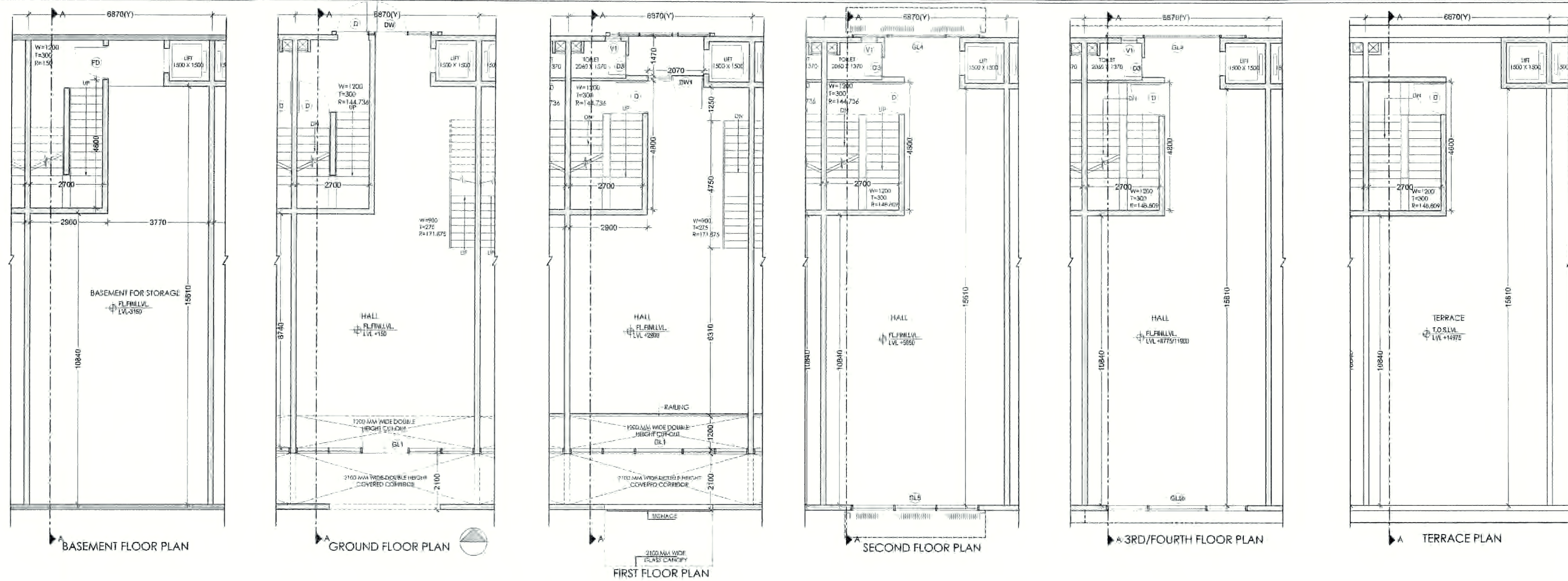
Hitesh Sharma (HITESH SHARMA) STP (HQ)
 P. Singh (P. SINGH) CTP (HR)
 K. Makrand Pandurang, IAS (K. MAKRAND PANDURANG, IAS) DTP (HR)
 Ram Avtar Bassi (RAM AVTAR BASSI) AD (HQ)
 Rakesh Bansal (RAKESH BANSAL) ATP (HQ)

DRG. NO.: DTP 275 (IV) DATED: 25-4-22

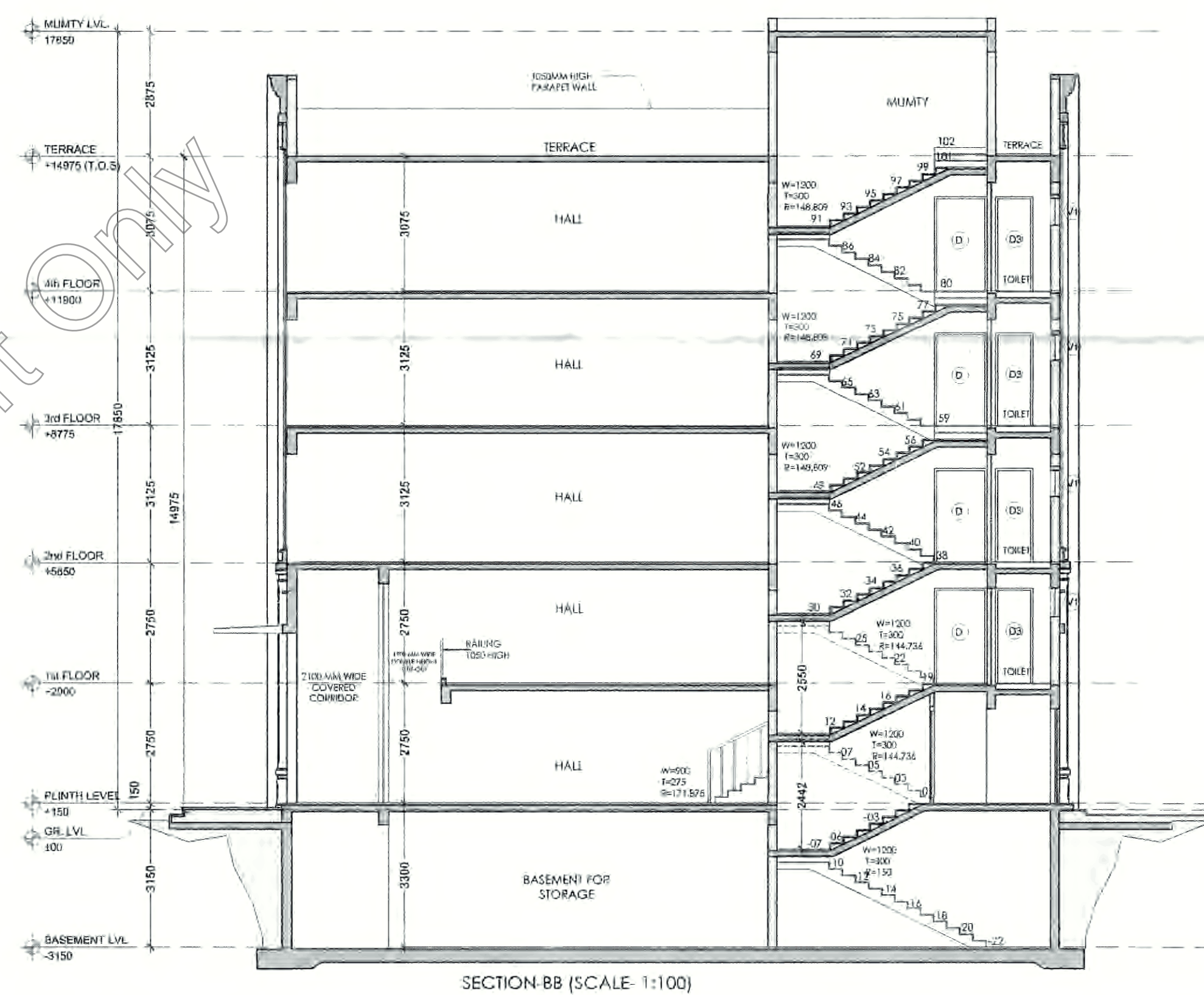


KEY PLAN
BLOCK-A, PLOT NO. A04, A06 & A10

PRINCIPAL ARCHITECT:
ACPL
 ACPL Design Ltd
 PROJECT:
 COMMERCIAL PLOTTED COLONY ON THE LAND MEASURING 2.16875 ACRES IN THE REVENUE ESTATE OF VILLAGE BEGUMPUR KHATOLA SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID INFRA TECH PVT. LTD.
 AUTH. SIGN: [Signature]
 ARCHITECT'S SIGN: [Signature]
 DRAWING TITLE:
 BLOCK-A, PLOT OF (6.870X17.710) 121.668 SQMT.
 PLOT NO. A04, A06 & A10
 FLOOR PLANS, ELEVATIONS, SECTIONS AND AREA DETAILS
 DRAWING NO. A-104 SCALE: 1:100

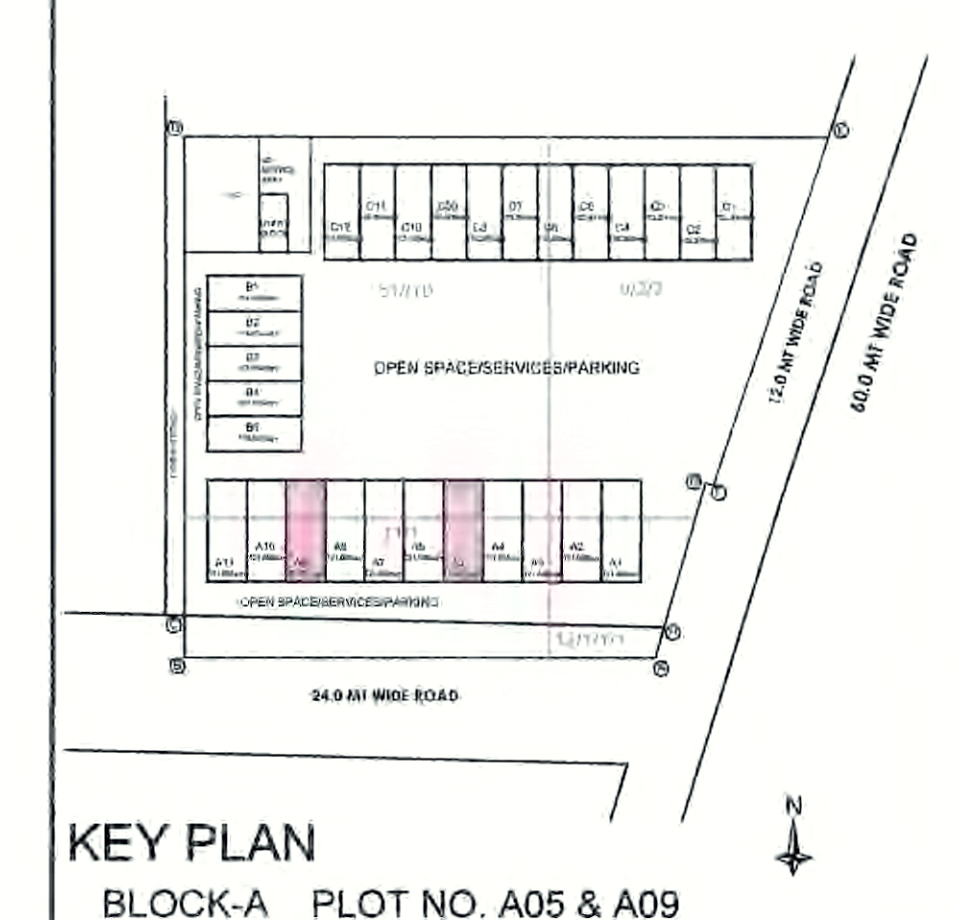


S.NO.	TYPE	SIZE	S.E.	L.L.
1.	D	1200X2100	00	2100
2.	D3	750X2100	00	2100
3.	DW	3800X3885	00	2100
4.	DW1	2070X2100	00	2100
5.	FD	1200X2100	00	2100
6.	V1	600X600	1500	2100
7.	V2	350X600	1500	2100
8.	GL1	6570XAS/ELE		
9.	GL4	5770XAS/ELE		
10.	GL4a	5670XAS/ELE		
11.	GL4b	5670XAS/ELE		
12.	GL4c	4775XAS/ELE		
13.	GL4d	4875XAS/ELE		
14.	GL4e	4875XAS/ELE		
15.	GL4f	4875XAS/ELE		
16.	GL8	1200XAS/ELE		

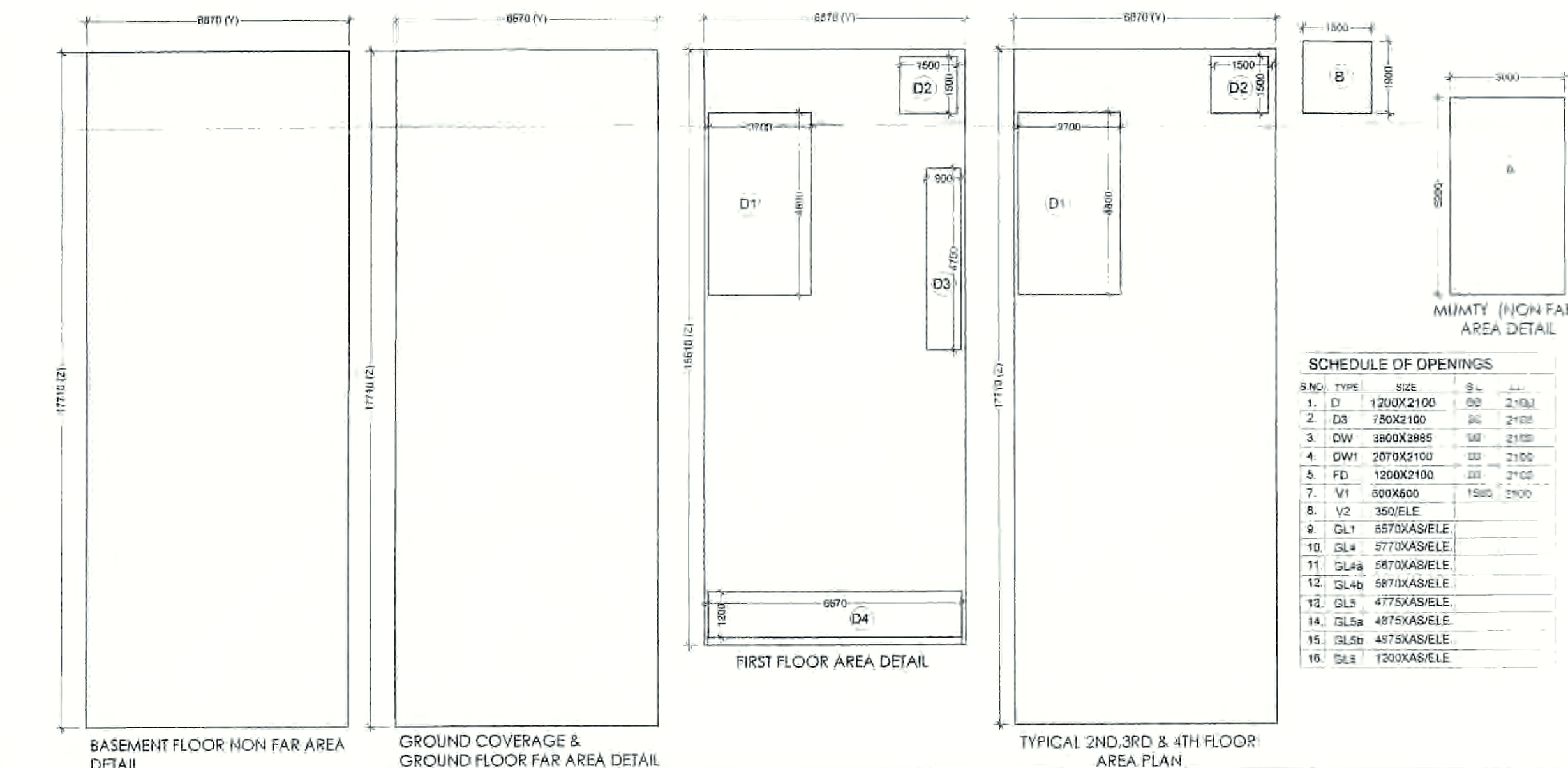
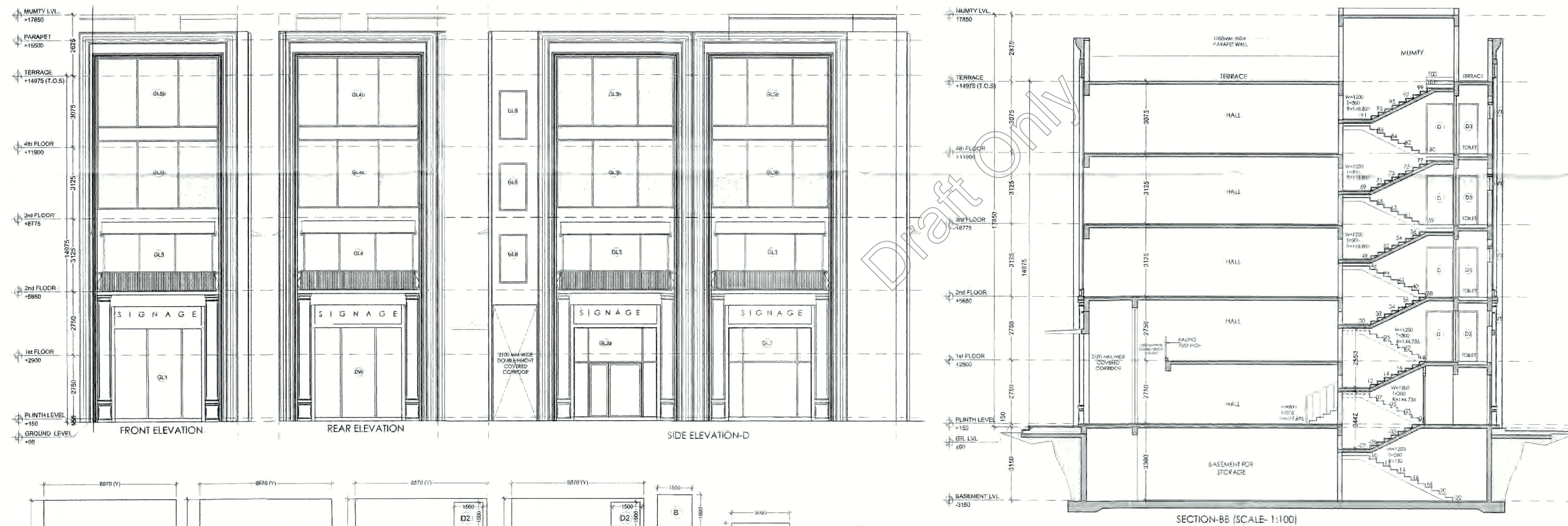
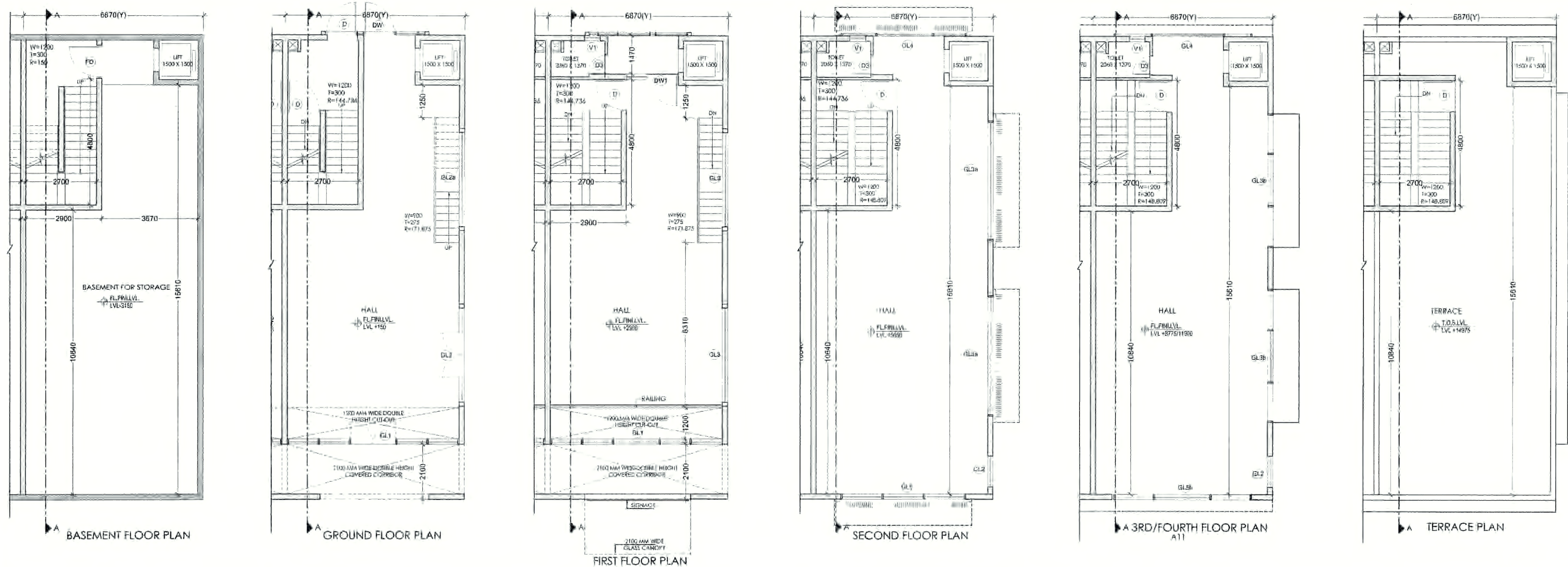


(HITESH SHARMA) STP (HQ)
 (R. SINGH) CTP (HR)
 (K. MAKRAND PANDURANG, IAS) DTCP (HR)
 (RAM AVTAR BASSI) AD (HQ)
 (RAKESH BANSAL) ATP (HQ)

DRG. NO. DTP 8275 (V) DATED: 25-04-22



PRINCIPAL ARCHITECT:
ACPL
 ACPL Design Ltd
 PROJECT:
 COMMERCIAL PLOTTED COLONY ON THE LAND MEASURING 2.16875 ACRES IN THE REVENUE ESTATE OF VILLAGE BEGUMPUR KHATOLA SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID INFRA TECH PVT. LTD.
 AUTH. SIGN.
 ARCHITECT'S SIGN.
 DRAWING TITLE:
 BLOCK-A _ PLOT OF (6.870x17.710) 121.668 SQMT.
 PLOT NO. A-05 & A09
 FLOOR PLANS, ELEVATIONS, SECTIONS AND AREA DETAILS
 DRAWING NO. A-105 SCALE: 1:100



FAR AREA DETAIL					
ITEM	WIDTH	LENGTH	K. FACTOR	NO.	AREA
1	1200	2100	1	1	2520.00
2	7500	100	1	1	750.00
3	3600	3985	1	1	14346.00
4	2070	2100	1	1	4347.00
5	1200	2100	1	1	2520.00
6	600	600	1	1	360.00
7	350	350	1	1	122.50
8	870	350	1	1	304.50
9	870	350	1	1	304.50
10	870	350	1	1	304.50
11	870	350	1	1	304.50
12	870	350	1	1	304.50
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80	870	350	1	1	304.50
81	870	350	1	1	304.50
82	870	350	1	1	304.50
83	870	350	1	1	304.50
84	870	350	1	1	304.50
85	870	350	1	1	304.50
86	870	350	1	1	304.50
87	870	350	1	1	304.50
88	870	350	1	1	304.50
89	870	350	1	1	304.50
90	870	350	1	1	304.50
91	870	350	1	1	304.50
92	870	350	1	1	304.50
93	870	350	1	1	304.50
94	870	350	1	1	304.50
95	870	350	1	1	304.50
96	870	350	1	1	304.50
97	870	350	1	1	304.50
98	870	350	1	1	304.50
99	870	350	1	1	304.50
100	870	350	1	1	304.50

AREA DETAIL SUMMARY (sq.m.)			
ITEM	WIDTH	LENGTH	AREA
1	1200	2100	2520.00
2	7500	100	750.00
3	3600	3985	14346.00
4	2070	2100	4347.00
5	1200	2100	2520.00
6	600	600	360.00
7	350	350	122.50
8	870	350	304.50
9	870	350	304.50
10	870	350	304.50
11	870	350	304.50
12	870	350	304.50
13	870	350	304.50
14	870	350	304.50
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26	870	350	304.50
27	870	350	304.50
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30	870	350	304.50
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33	870	350	304.50
34	870	350	304.50
35	870	350	304.50
36	870	350	304.50
37	870	350	304.50
38	870	350	304.50
39	870	350	304.50
40	870	350	304.50
41	870	350	304.50
42	870	350	304.50
43	870	350	304.50
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45	870	350	304.50
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84	870	350	304.50
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86	870	350	304.50
87	870	350	304.50
88	870	350	304.50
89	870	350	304.50
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91	870	350	304.50
92	870	350	304.50
93	870	350	304.50
94	870	350	304.50
95	870	350	304.50
96	870	350	304.50
97	870	350	304.50
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99	870	350	304.50
100	870	350	304.50

Hitesh Sharma
(HITESH SHARMA)
STP (HQ)

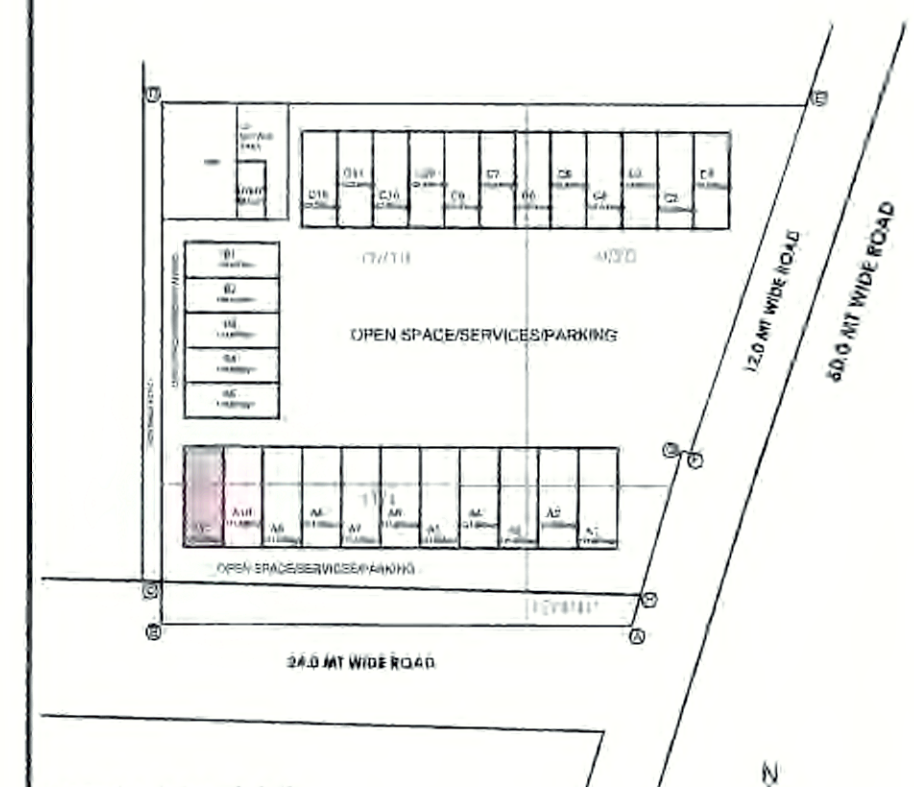
(K. MAKRANDI PANDURANG, IAS)
CTP (HR)

(K. MAKRANDI PANDURANG, IAS)
DTP (HR)

(RAM AVTAR BASSI)
AD (HQ)

(RAKESH BANSAL)
ATP (HQ)

BRG NO. 07EP 5275(V) DATED: 25-4-12



PRINCIPAL ARCHITECT:

ACPL

ACPL Design Ltd

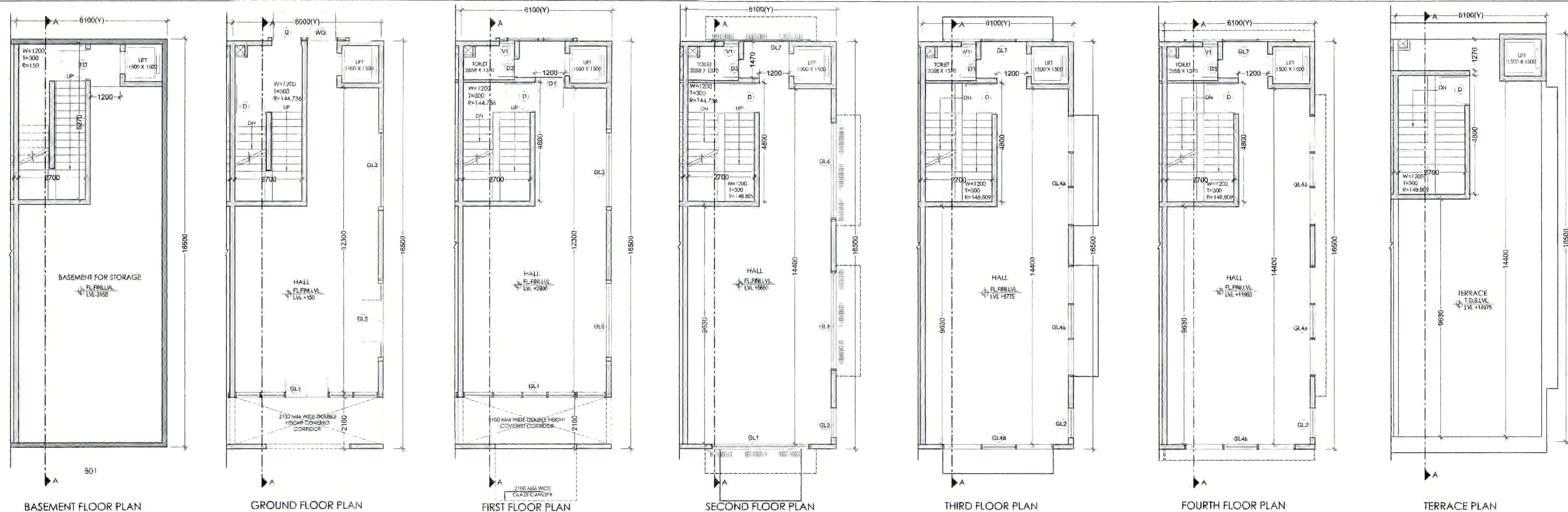
PROJECT:-
COMMERCIAL PLOTTED COLONY ON THE LAND
MEASURING 2.16875 ACRES IN THE REVENUE
ESTATE OF VILLAGE BEGUMPUR KHATOLA
SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID
INFRA TECH PVT. LTD.

AUTH. SIGN.

ARCHITECT'S SIGN.

DRAWING TITLE
BLOCK-A - PLOT OF (6.870x17.710) 121.668 SQMT.
PLOT NO. A-11
FLOOR PLANS, ELEVATIONS, SECTIONS AND AREA DETAILS

DRAWING NO A-106 SCALE: 1:100



BASEMENT FLOOR PLAN

GROUND FLOOR PLAN

FIRST FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

FOURTH FLOOR PLAN

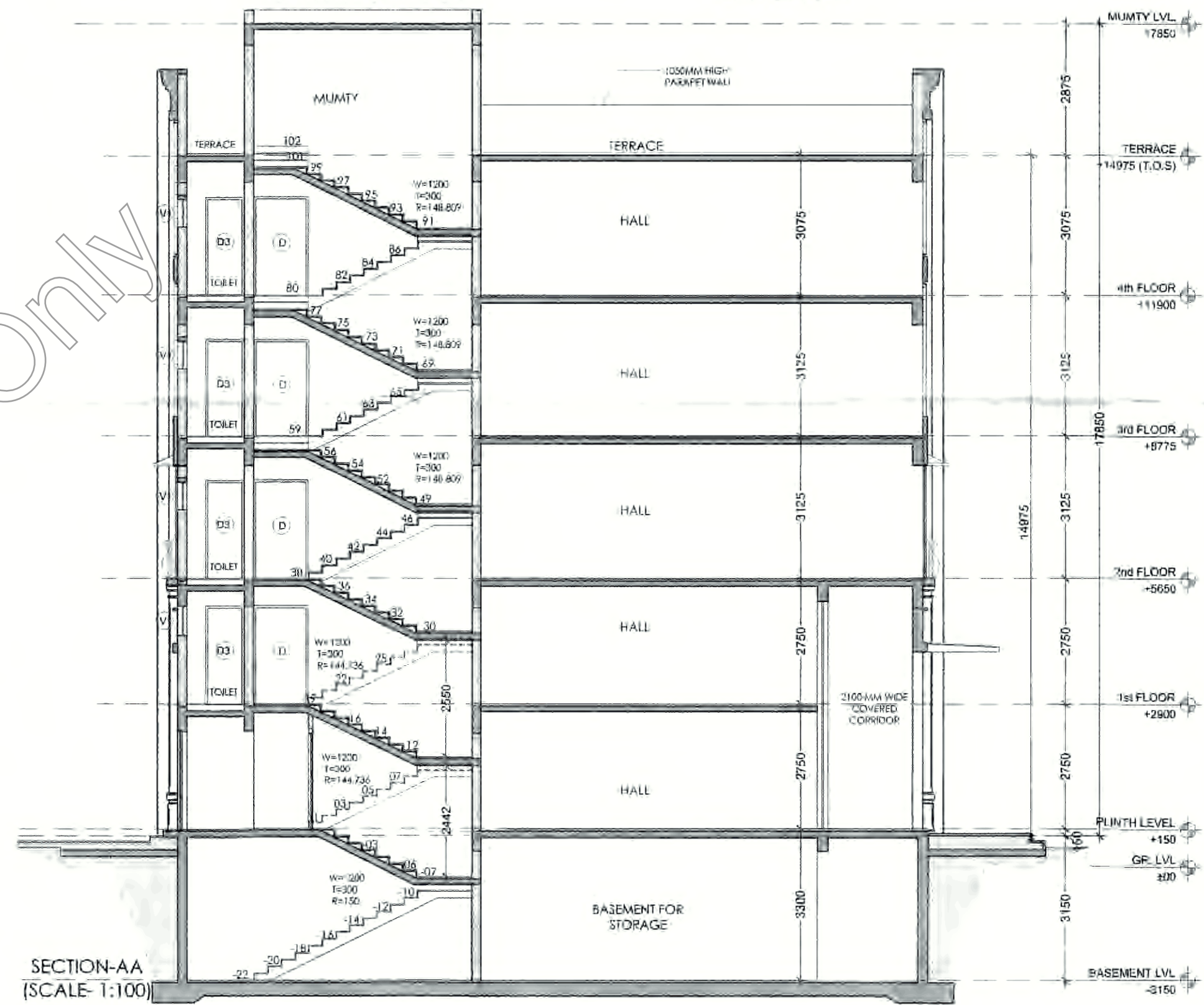
TERRACE PLAN



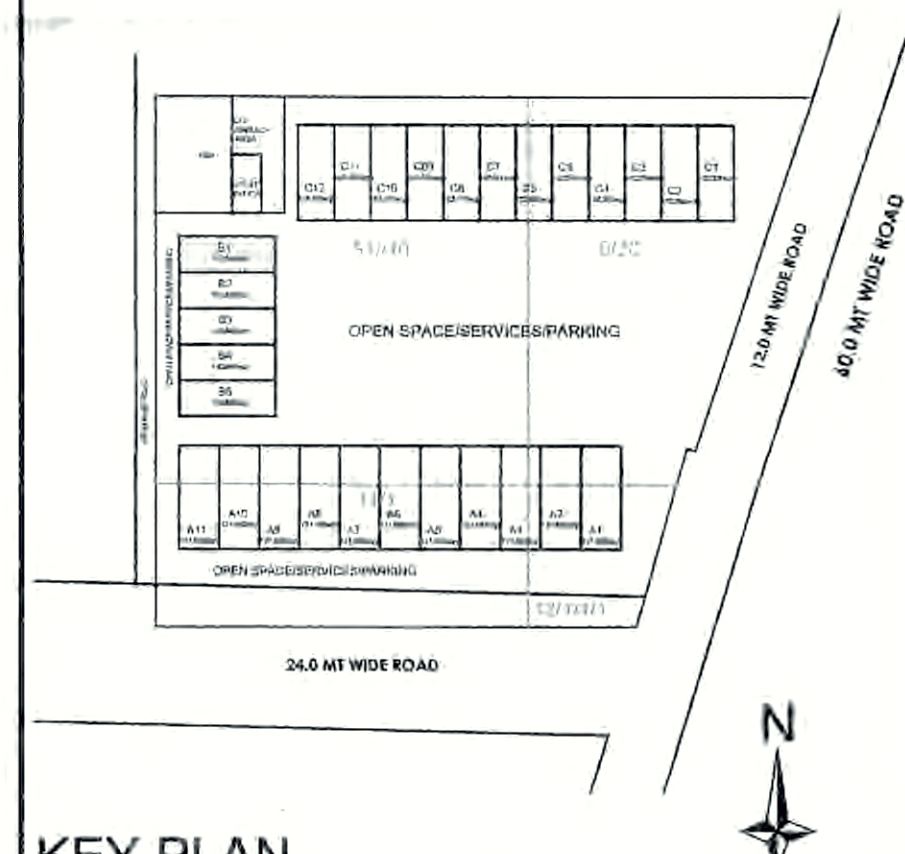
REAR ELEVATION

FRONT ELEVATION

SIDE ELEVATION



SECTION-AA
(SCALE: 1:100)



KEY PLAN
BLOCK-B _ PLOT NO. B01

PRINCIPAL ARCHITECT:

ACPL

ACPL Design Ltd

PROJECT:-

COMMERCIAL PLOTTED COLONY ON THE LAND
MEASURING 2.16875 ACRES IN THE REVENUE
ESTATE OF VILLAGE BEGUMPUR KHATOLA
SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID
INFRA TECH PVT. LTD.

AUTH. SIGN.

ARCHITECT'S SIGN.

DRAWING TITLE:

BLOCK-B _ PLOT OF (6.1x16.5) 100.65 SQMT,
PLOT NO. B-01

DRAWING NO.

B-201

SCALE 1 : 100

SCHEDULE OF OPENINGS

S.NO.	TYPE	SIZE	S.A.	L.L.
1.	D	1200X2100	00	2100
2.	D3	750X2100	00	2100
3.	DW	1200X2100	00	2100
4.	D1	1200X2100	00	2100
5.	FD	1200X2100	00	2100
6.	V1	600X600	1500	2100
7.	V2	350/ELE.		
8.	GL1	5800XAS/ELE.		
9.	GL2	1200XAS/ELE.		
10.	GL3	3285XAS/ELE.		
11.	GL4	3948XAS/ELE.		
12.	GL5	3285XAS/ELE.		
13.	GL6	3485XAS/ELE.		
14.	GL7	1842XAS/ELE.		

AREA DETAIL SUMMARY (sq.m.)

FLOORS	F.A.R.	NON F.A.R.
PLOT AREA	100.650	100.650
PERM. F.A.R. (4.786)	478.600	478.600
PROPOSED F.A.R.	478.600	478.600
BALANCED F.A.R.	1.786	1.786
GROUND COVERAGE	100.650	100.650
Basement		
Ground Floor	100.650	100.650
1st Floor	72.630	15.210
2nd Floor	85.440	15.210
3rd Floor	85.440	15.210
4th Floor	85.440	15.210
TERRACE (MUMTY+LIFT)	19.210	19.210
TOTAL	429.600	180.700

FAR AREA DETAIL

ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA
1	6.100	16.500	1	1	100.650
TOTAL GROUND COVERAGE & GROUND FLOOR FAR AREA					100.650

FIRST FLOOR AREA DETAIL IN FAR

ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA
1	6.100	16.500	1	1	100.650
TOTAL AREA (I)					100.650

DEDUCTIONS (D)

ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA
D1	2.700	4.800	1	1	12.960
D2	1.500	1.500	1	1	2.250
TOTAL DEDUCTION AREA (D) =					15.210
TOTAL (I - D) = FIRST FLOOR FAR AREA					85.440
TOTAL FIRST FLOOR FAR AREA =					85.440

TYPICAL 2ND, 3RD & 4TH FLOOR DETAIL IN FAR

ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA
1	6.100	16.500	1	1	100.650
TOTAL AREA (I)					100.650

DEDUCTIONS (D)

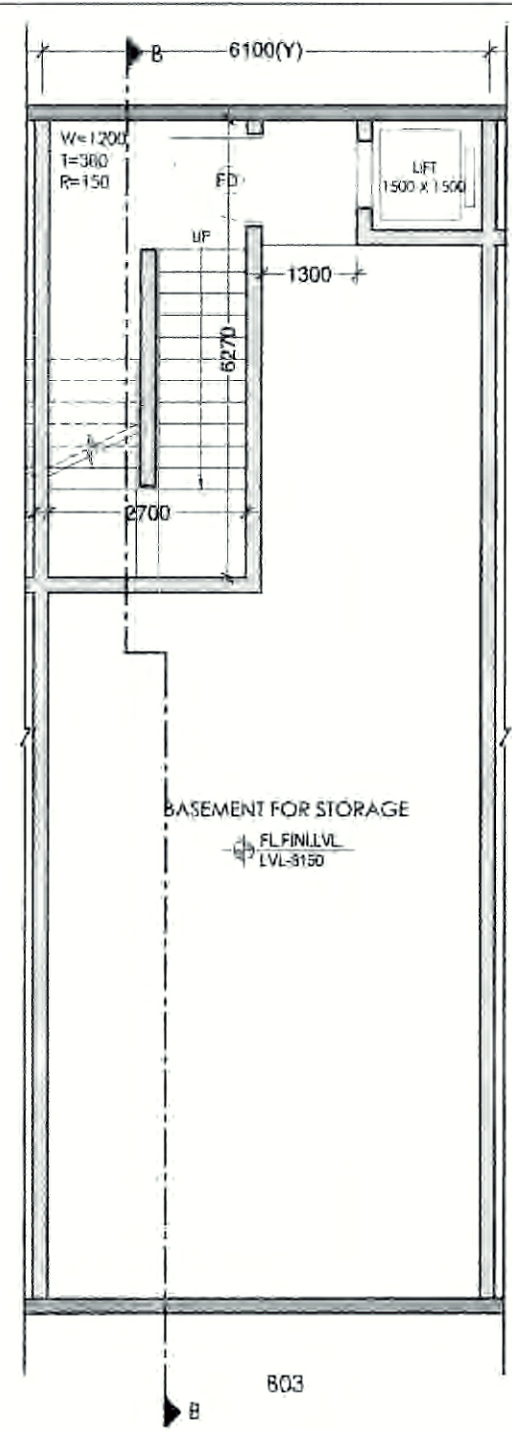
ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA
D1	2.700	4.800	1	1	12.960
D2	1.500	1.500	1	1	2.250
TOTAL DEDUCTION AREA (D) =					15.210
TOTAL (I - D) = TYPICAL FLOOR FAR AREA					85.440
TOTAL TYPICAL 2nd, 3rd & 4th FLOOR FAR AREA =					85.440

MUMTY + LIFT AREA

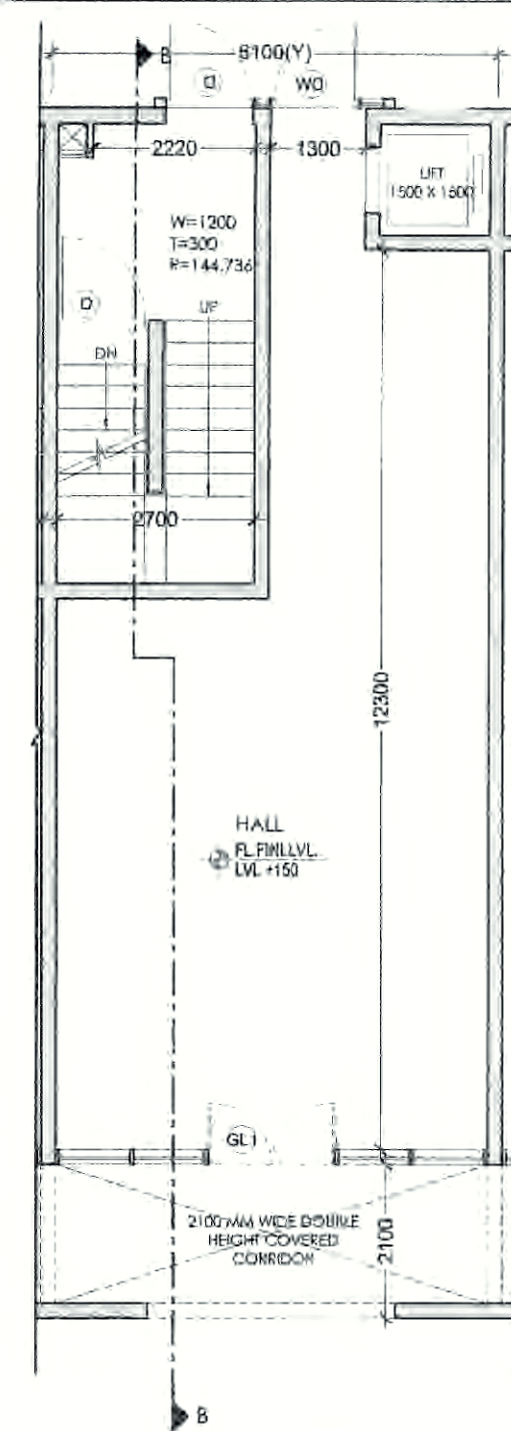
ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA
A	3.000	5.000	1	1	15.000
B	3.000	3.000	1	1	9.000
TOTAL AREA =					24.000
TOTAL MUMTY + LIFT FAR AREA =					24.000

BASEMENT AREA

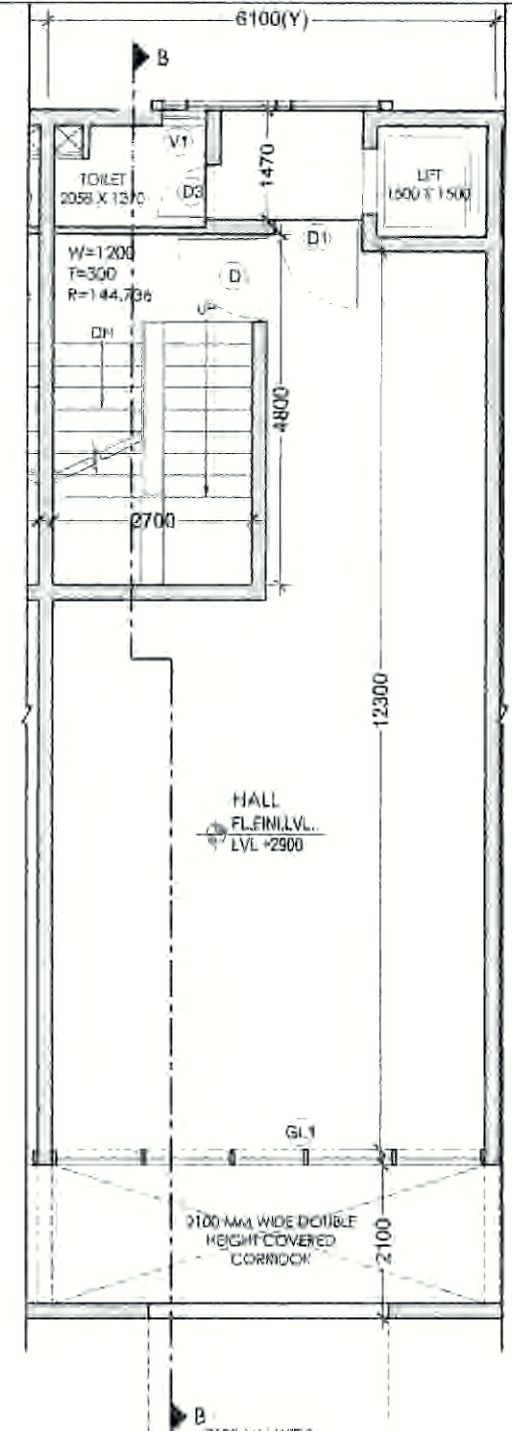
ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA
Y1	6.100	16.500	1	1	100.650
TOTAL AREA =					100.650
TOTAL BASEMENT NON FAR AREA =					100.650



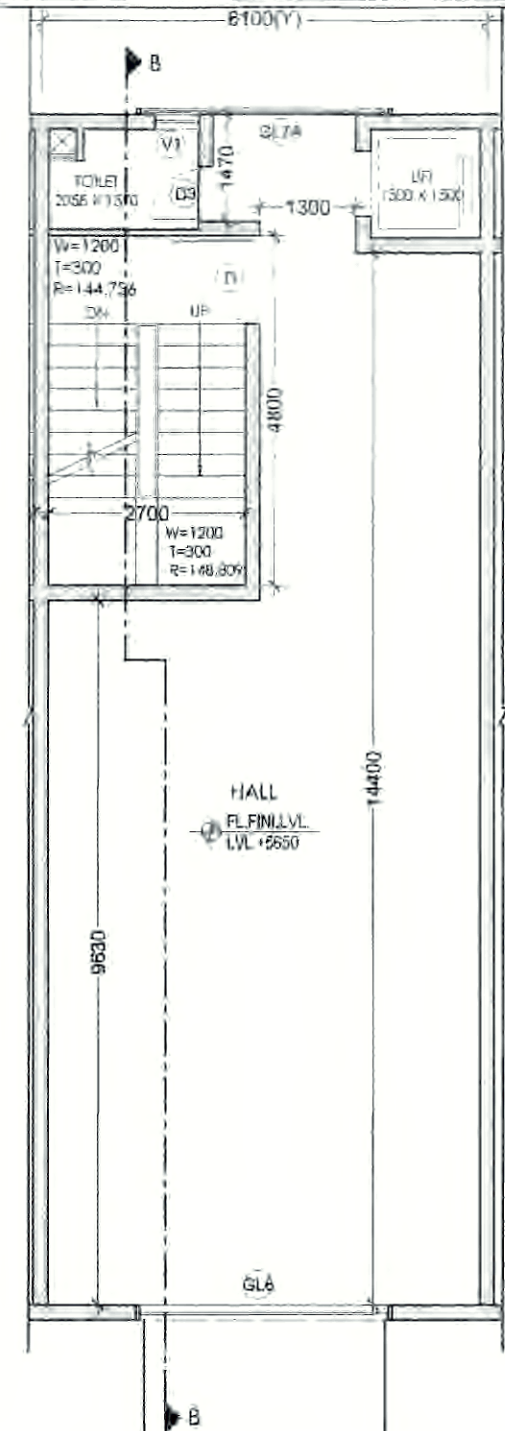
BASEMENT FLOOR PLAN



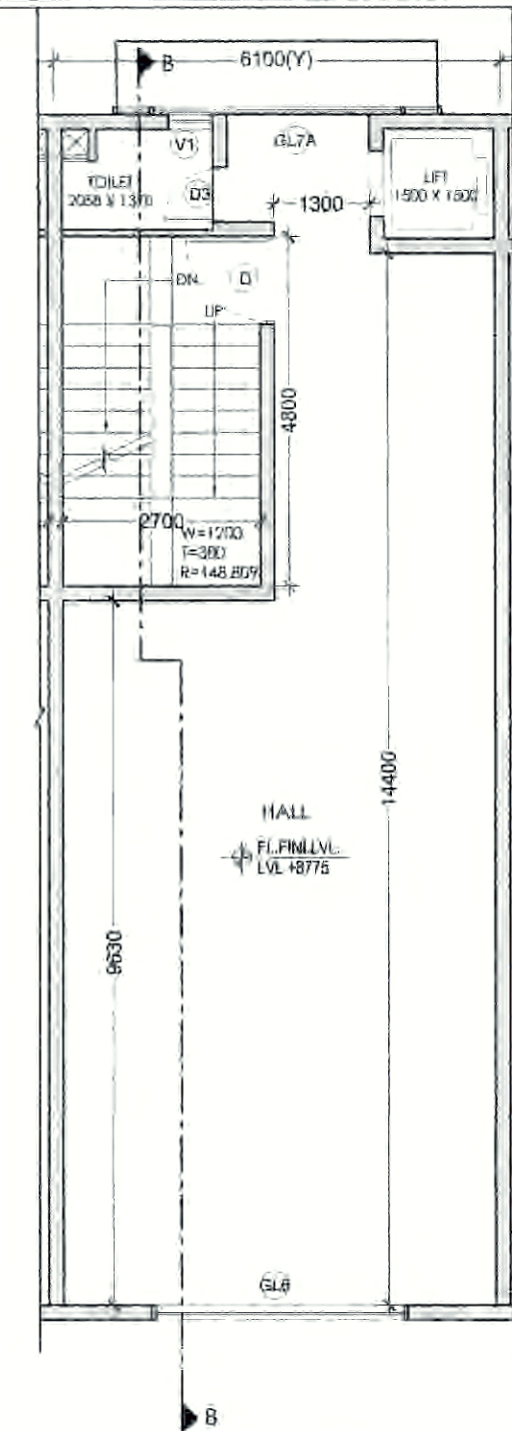
GROUND FLOOR PLAN



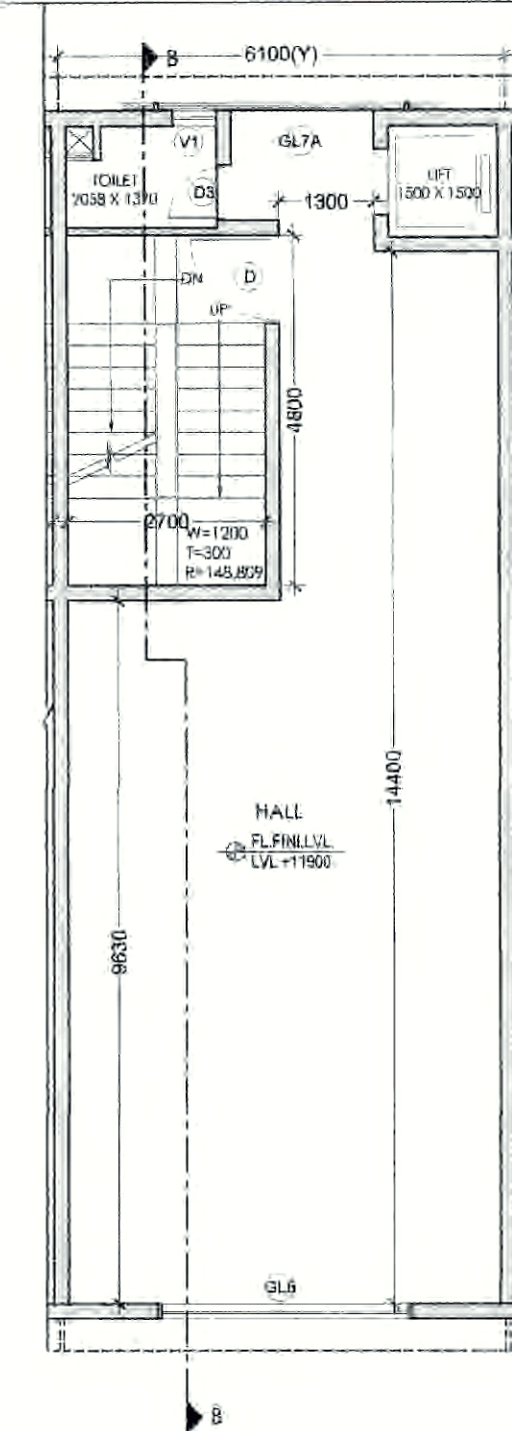
FIRST FLOOR PLAN



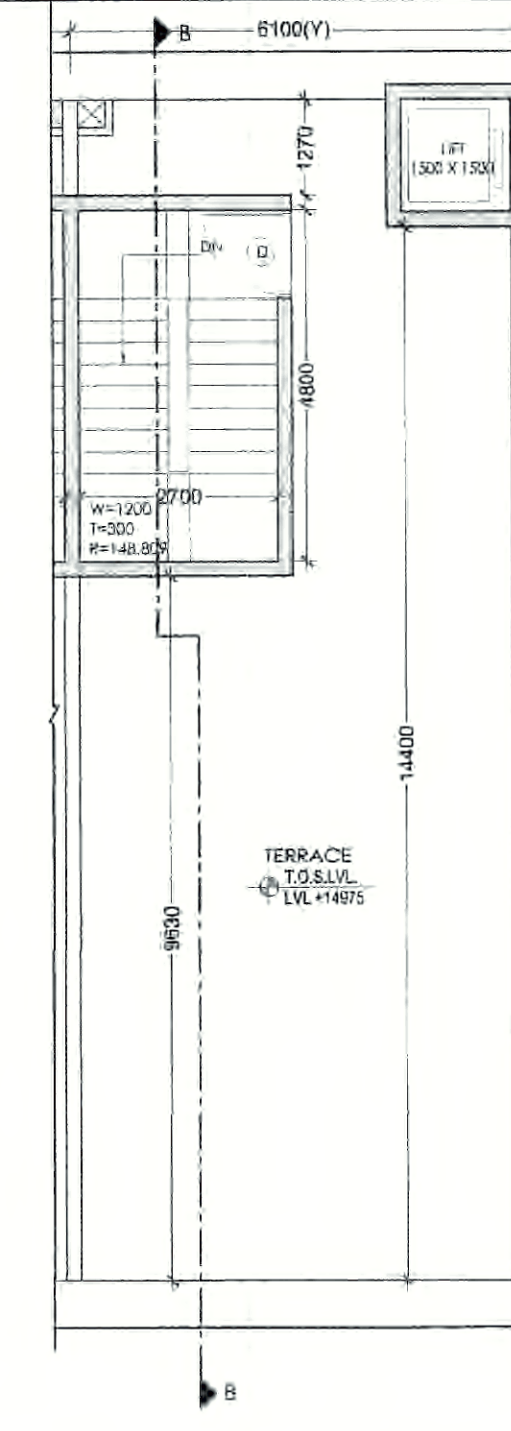
SECOND FLOOR PLAN



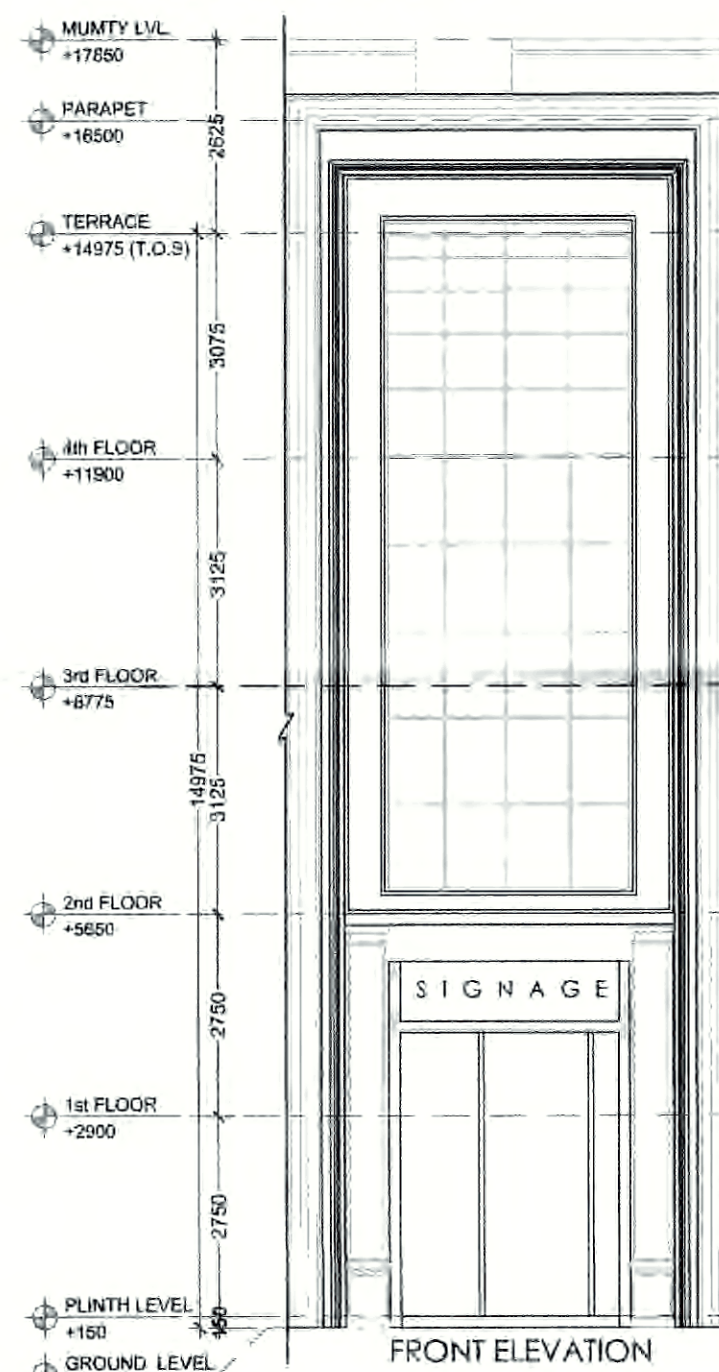
THIRD FLOOR PLAN



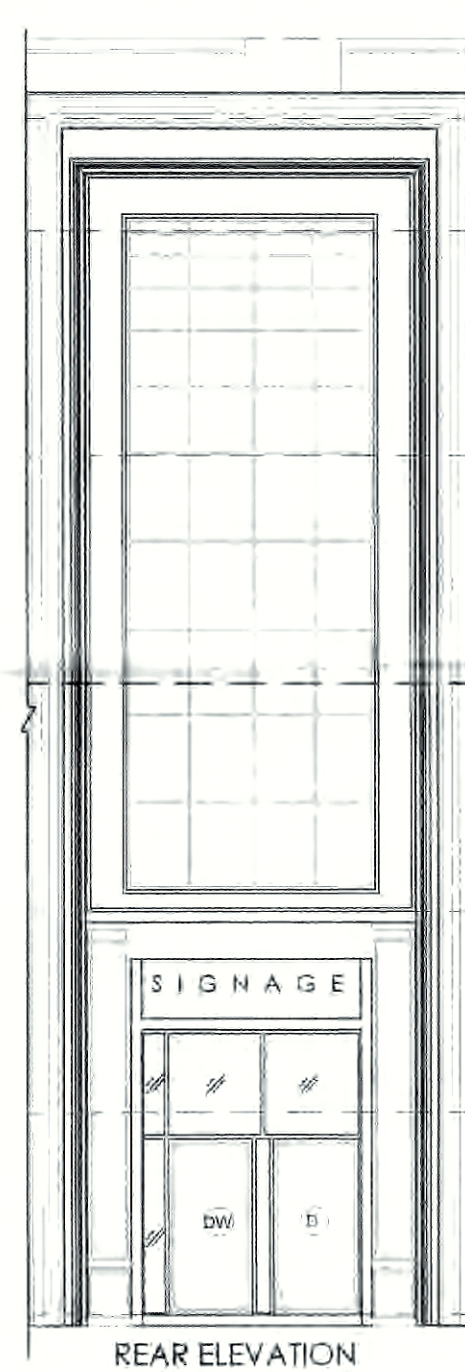
FOURTH FLOOR PLAN



TERRACE PLAN

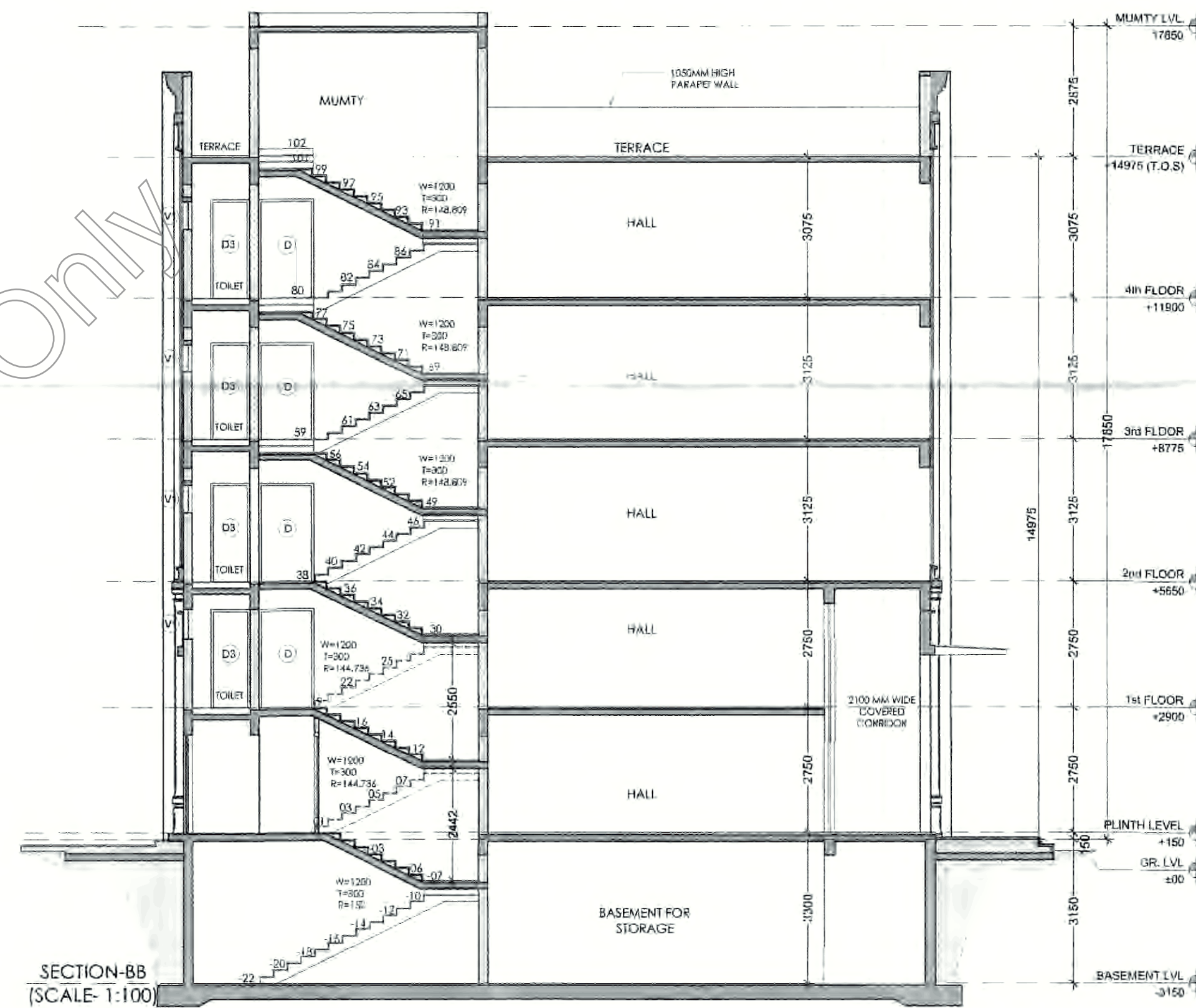


FRONT ELEVATION



REAR ELEVATION

S.NO.	TYPE	SIZE	S.L.	L.L.
1.	D	1200X2100	00	2100
2.	D3	750X2100	00	2100
3.	DW	1200X2100	00	2100
4.	D1	1200X2100	00	2100
5.	FD	1200X2100	00	2100
6.	V1	600X600	1500	2100
7.	V2	350/ELE.		
8.	GL1	5800XAS/ELE.		
9.	GL2	1200XAS/ELE.		
10.	GL3	3285XAS/ELE.		
11.	GL4	3546XAS/ELE.		
12.	GL5	3285XAS/ELE.		
13.	GL6	3485XAS/ELE.		
14.	GL7	1842XAS/ELE.		



KEY PLAN
BLOCK-B_PLOT NO. B03

PRINCIPAL ARCHITECT:

ACPL ISO 9001:2015
ACPL Design Ltd
AUTOMATIC Management Planning
11/11/2015

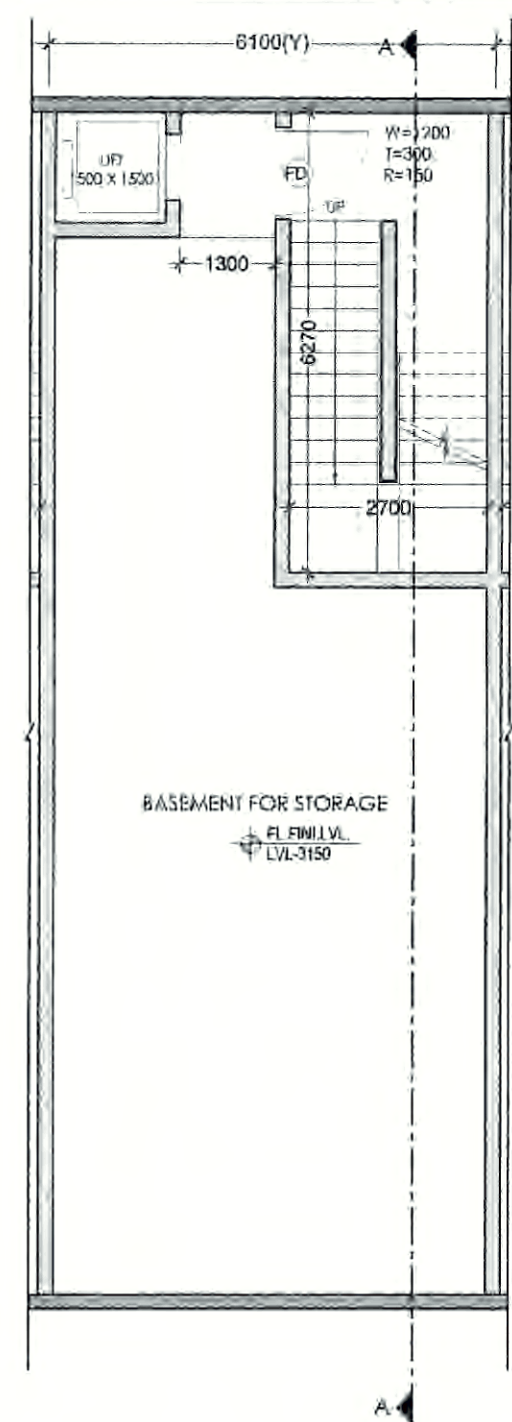
PROJECT:-
COMMERCIAL PLOTTED COLONY ON THE LAND MEASURING 2.18875 ACRES IN THE REVENUE ESTATE OF VILLAGE BEGUMPUR KHATOLA SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID INFRA TECH PVT. LTD.

AUTH. SIGN. ARCHITECT'S SIGN.

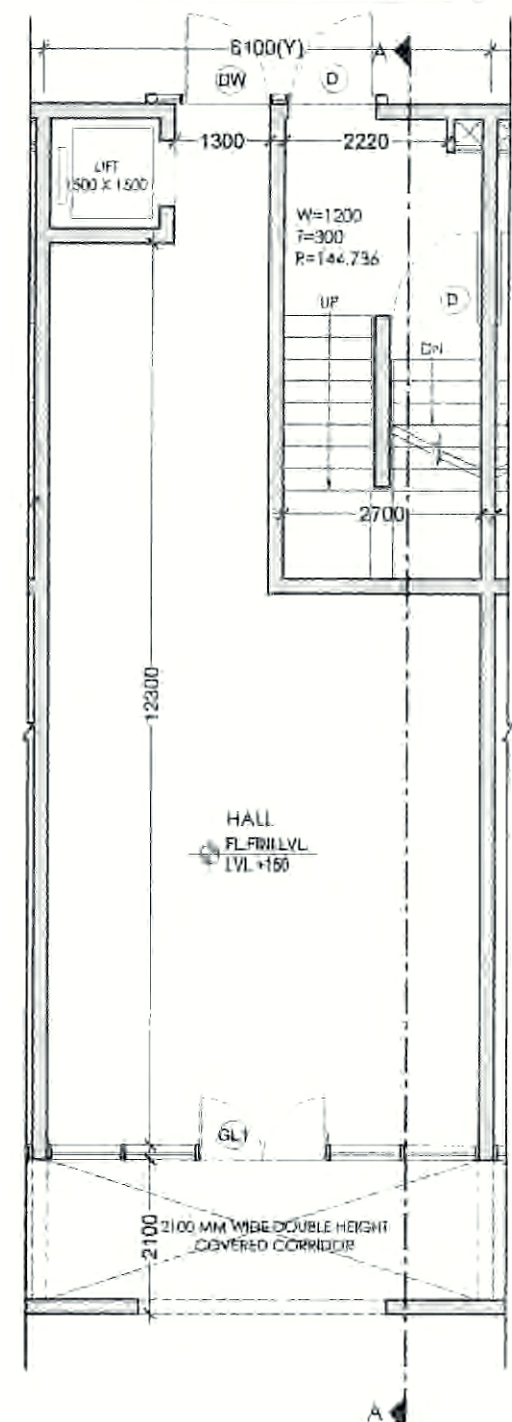
DRAWING TITLE:
BLOCK-B_PLOT OF(6.1x16.5) 100.65 SQMT, PLOT NO. B-03

DRAWING NO. B-202 SCALE: 1 : 100

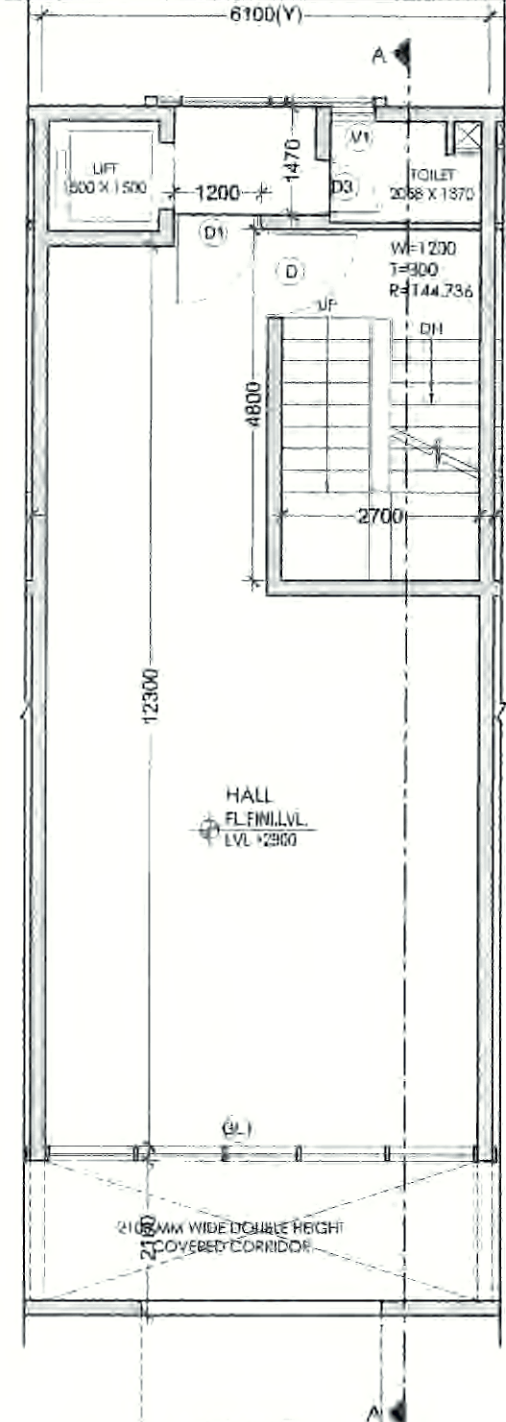
PLOT B-03 AREA STATEMENT



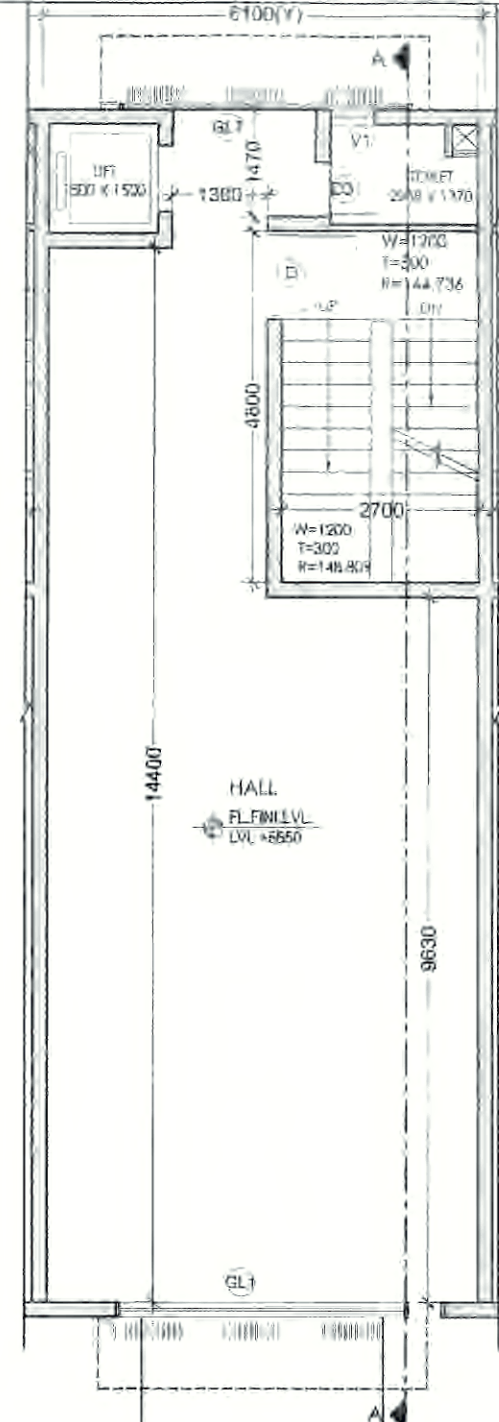
BASMENT FLOOR PLAN



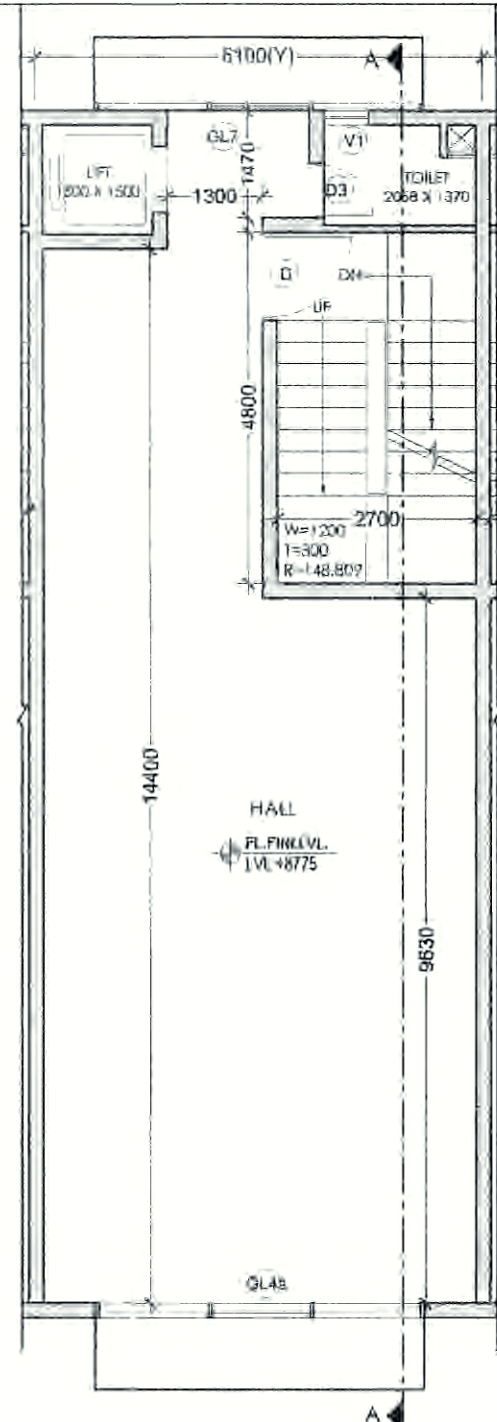
GROUND FLOOR PLAN



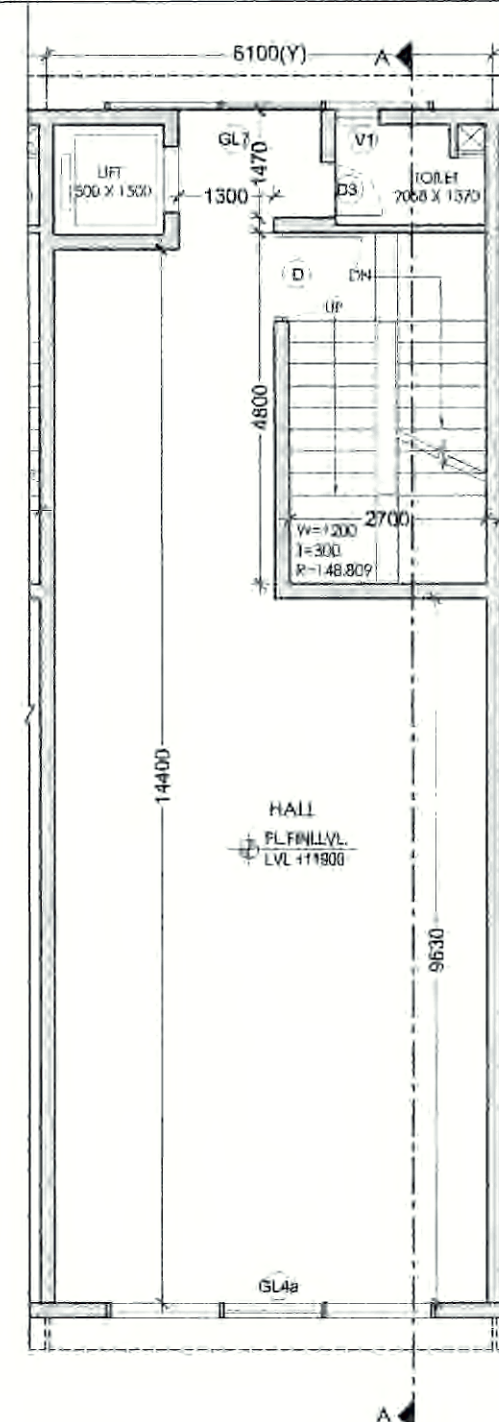
FIRST FLOOR PLAN



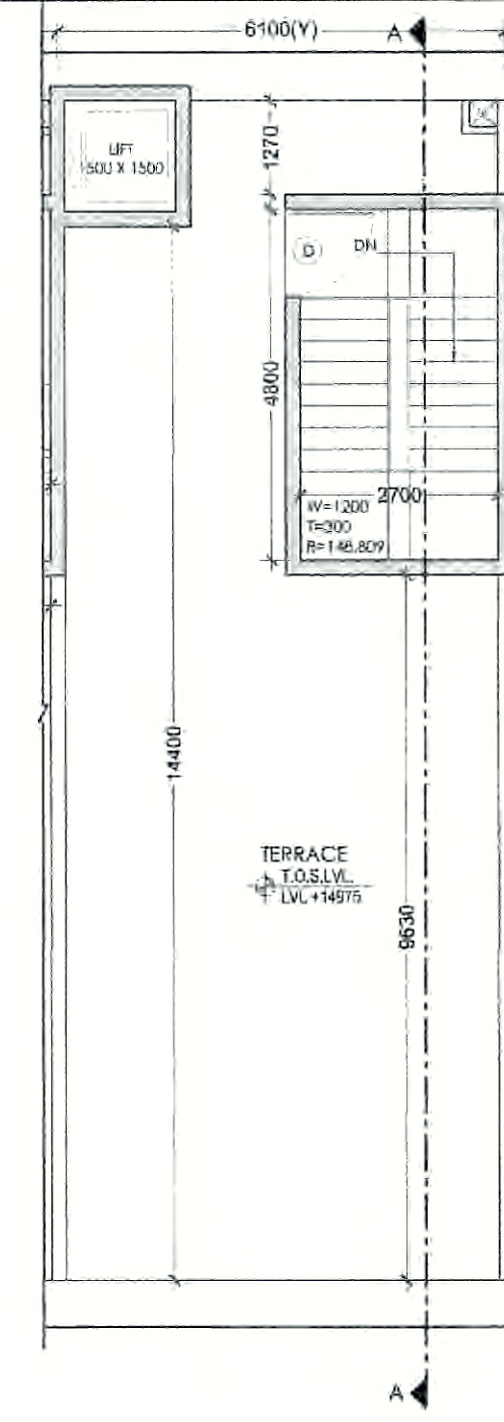
SECOND FLOOR PLAN



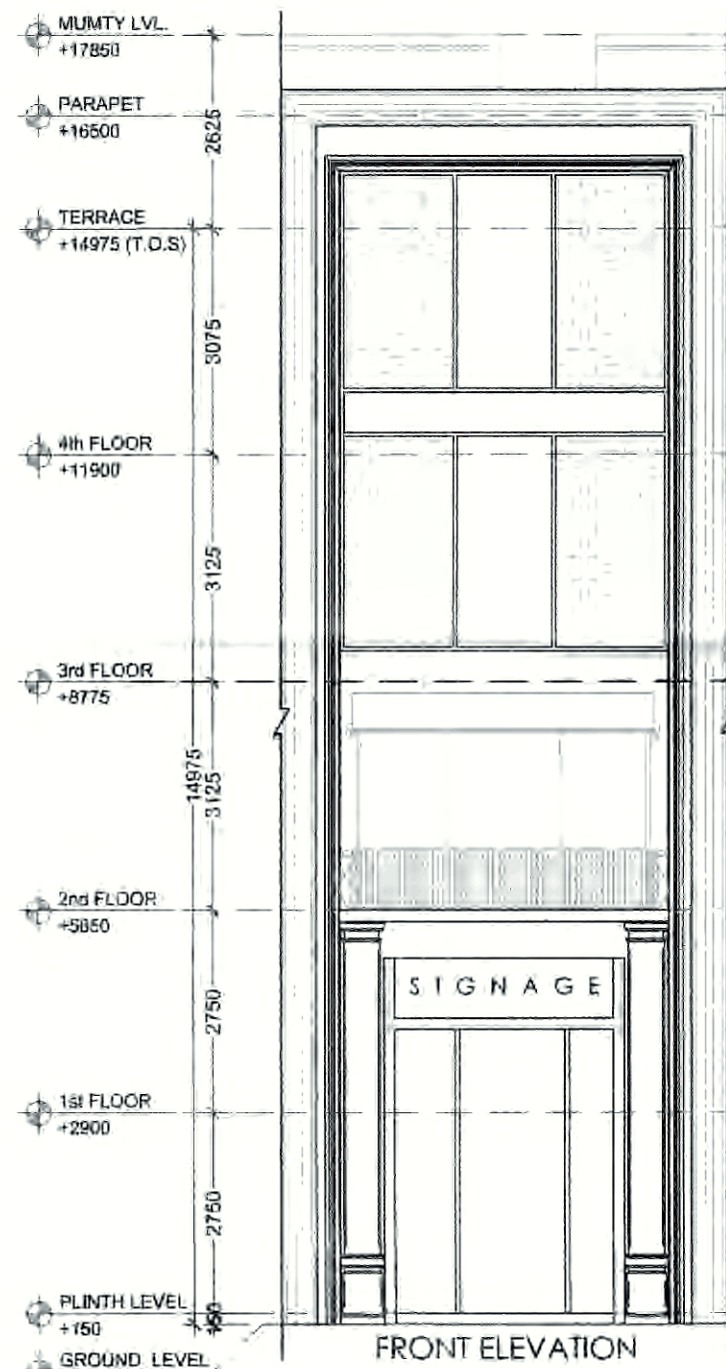
THIRD FLOOR PLAN



FOURTH FLOOR PLAN



TERRACE PLAN

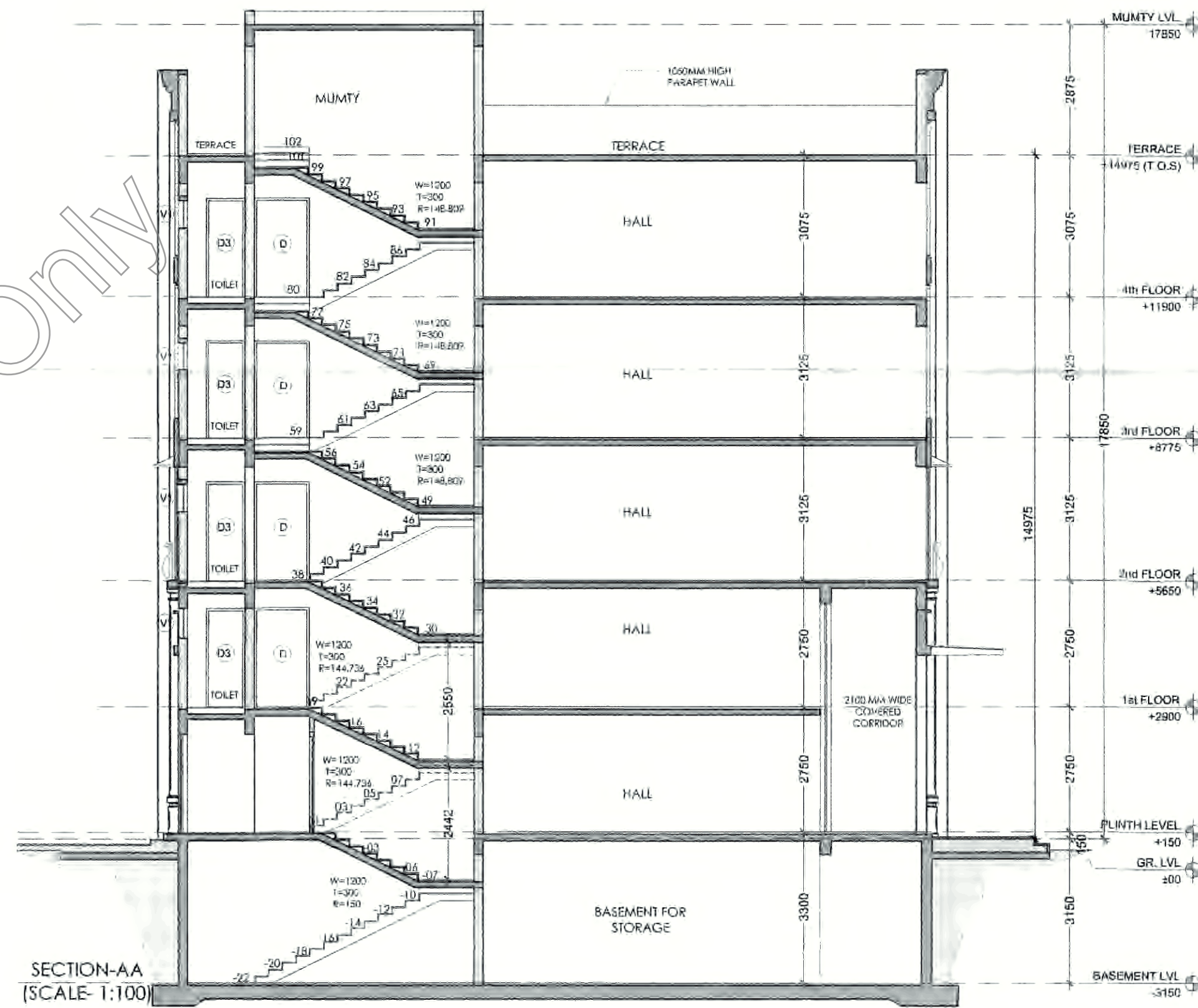


FRONT ELEVATION



REAR ELEVATION

S.NO.	TYPE	SIZE	S.L.	L.L.
1.	D	1200X2100	00	2100
2.	D3	750X2100	00	2100
3.	DW	1200X2100	00	2100
4.	D1	1200X2100	00	2100
5.	FD	1200X2100	00	2100
7.	V1	600X600	1500	2100
8.	V2	350/ELE.		
9.	GL1	5800XAS/ELE.		
10.	GL2	1200XAS/ELE.		
11.	GL3	3285XAS/ELE.		
12.	GL4	3946XAS/ELE.		
13.	GL5	3285XAS/ELE.		
14.	GL6	3485XAS/ELE.		
15.	GL7	1842XAS/ELE.		



SECTION-AA
(SCALE 1:100)

KEY PLAN BLOCK-B _ PLOT NO. B02 & 04

PRINCIPAL ARCHITECT:

ACPL

ACPL Design Ltd

PROJECT:-

COMMERCIAL PLOTTED COLONY ON THE LAND MEASURING 2.16875 ACRES IN THE REVENUE ESTATE OF VILLAGE BEGUMPUR KHATOLA SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID INFRA TECH PVT. LTD.

AUTH. SIGN.

ARCHITECT'S SIGN.

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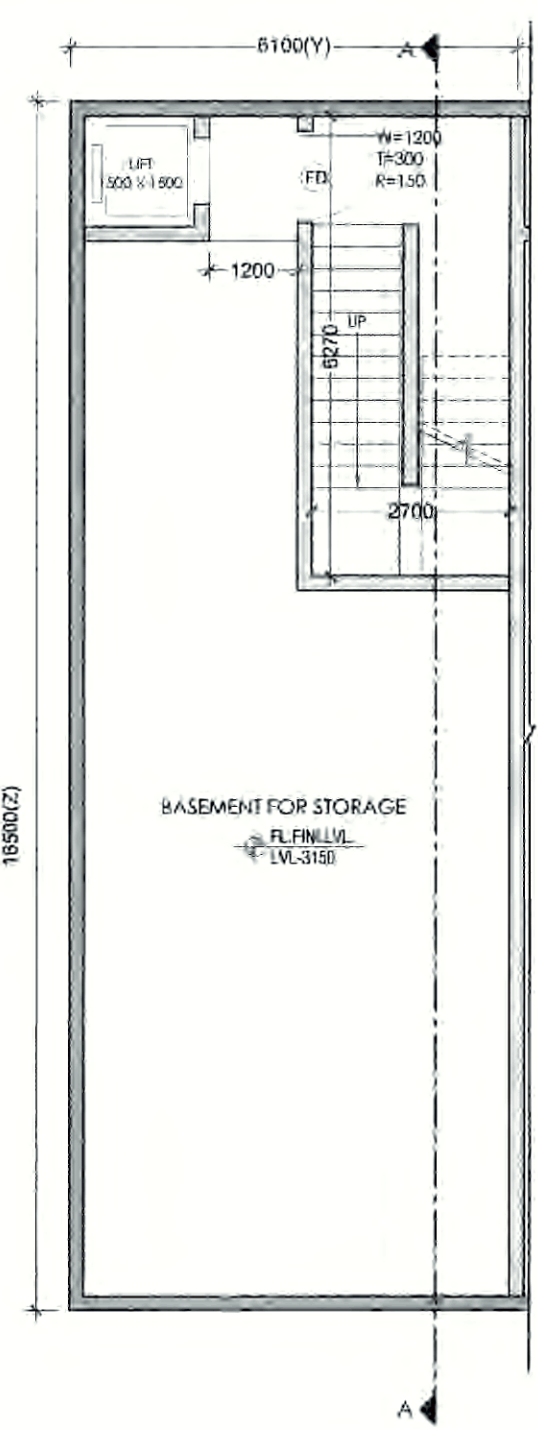
BLOCK-B _ PLOT OF(6.1x16.5) 100.65 SQMT, PLOT NO. B-02 & 04

DRAWING NO.

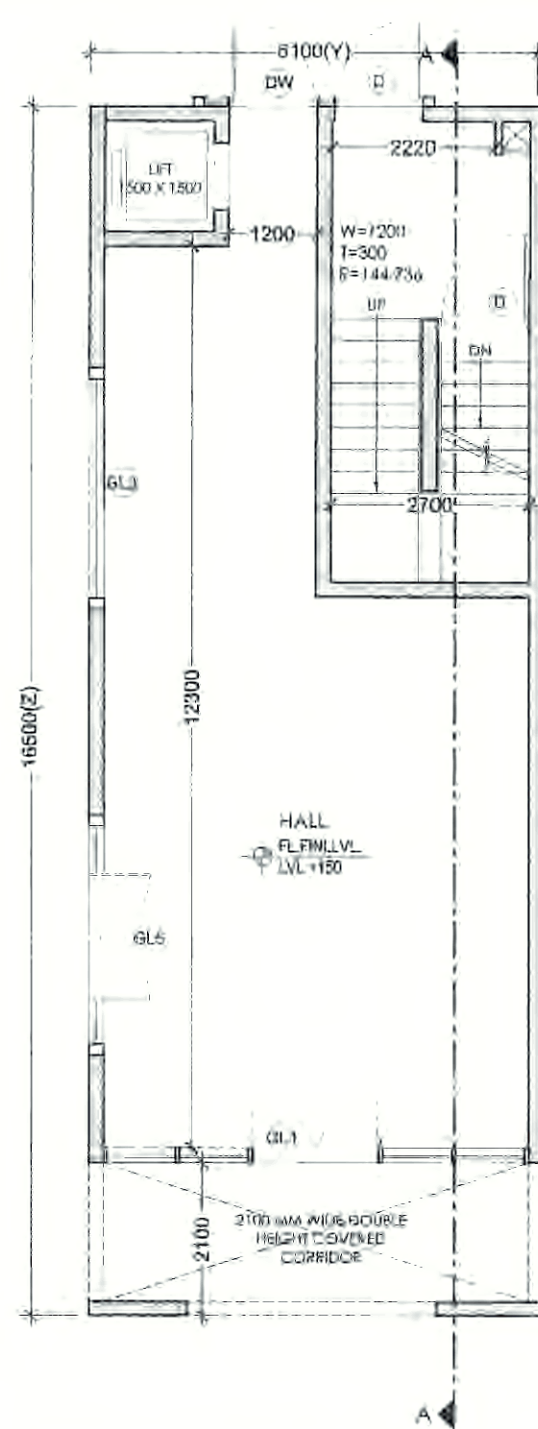
B-203

SCALE: 1:100

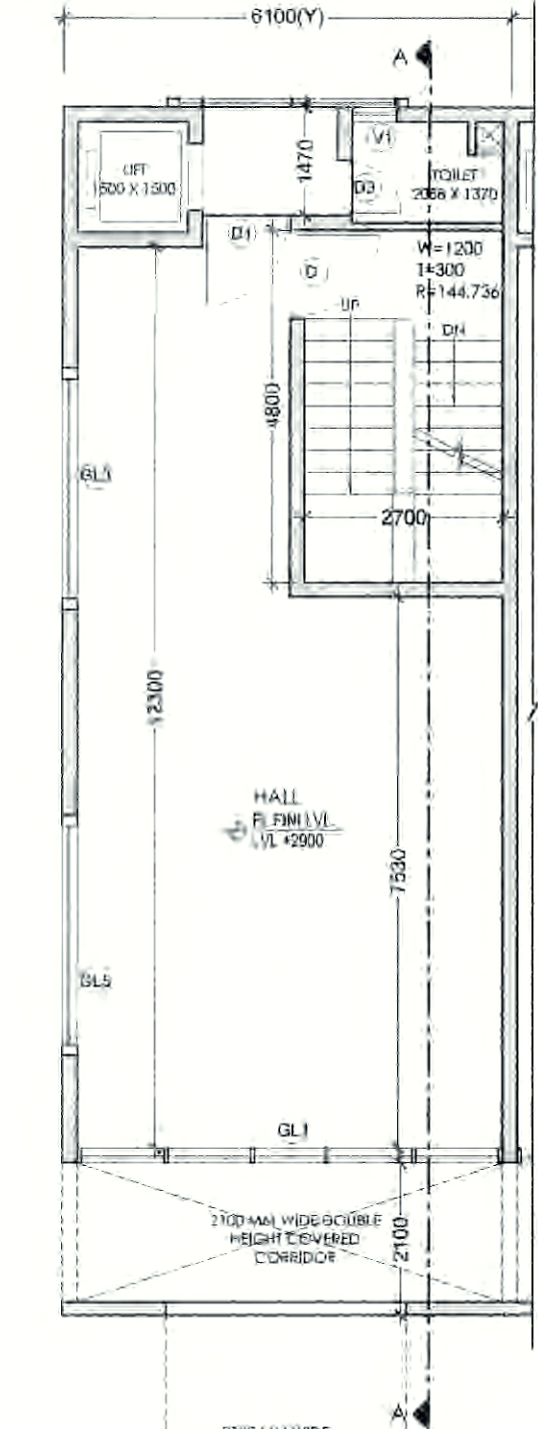
PLOT B-02 & 04 AREA STATEMENT



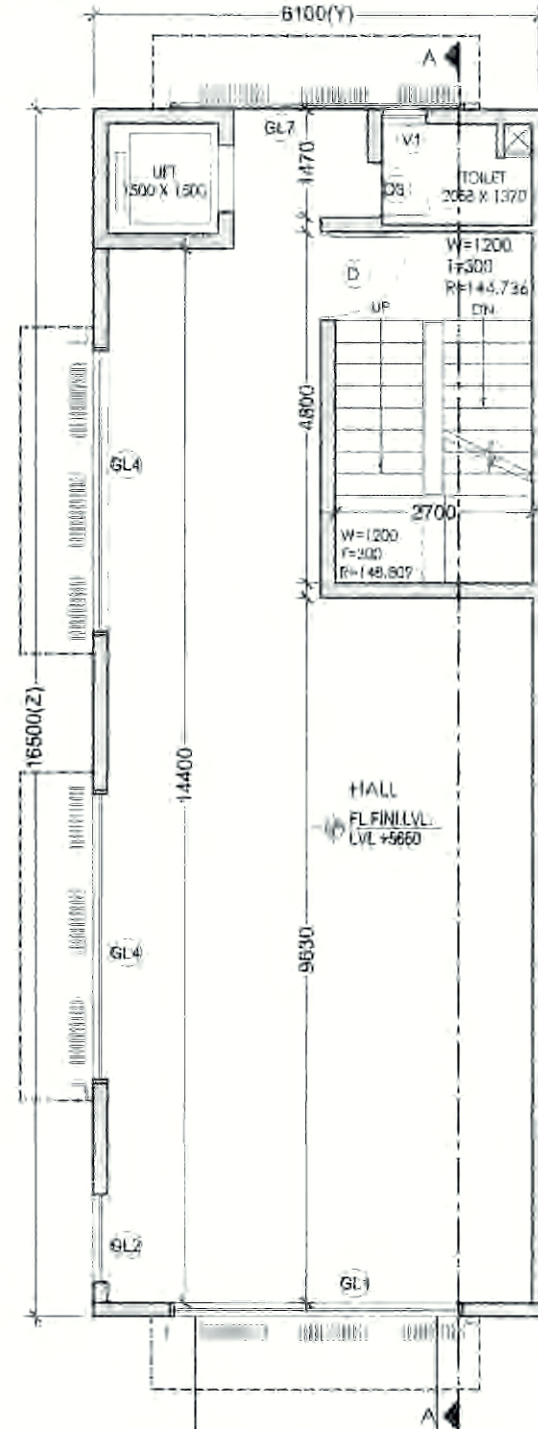
BASEMENT FLOOR PLAN



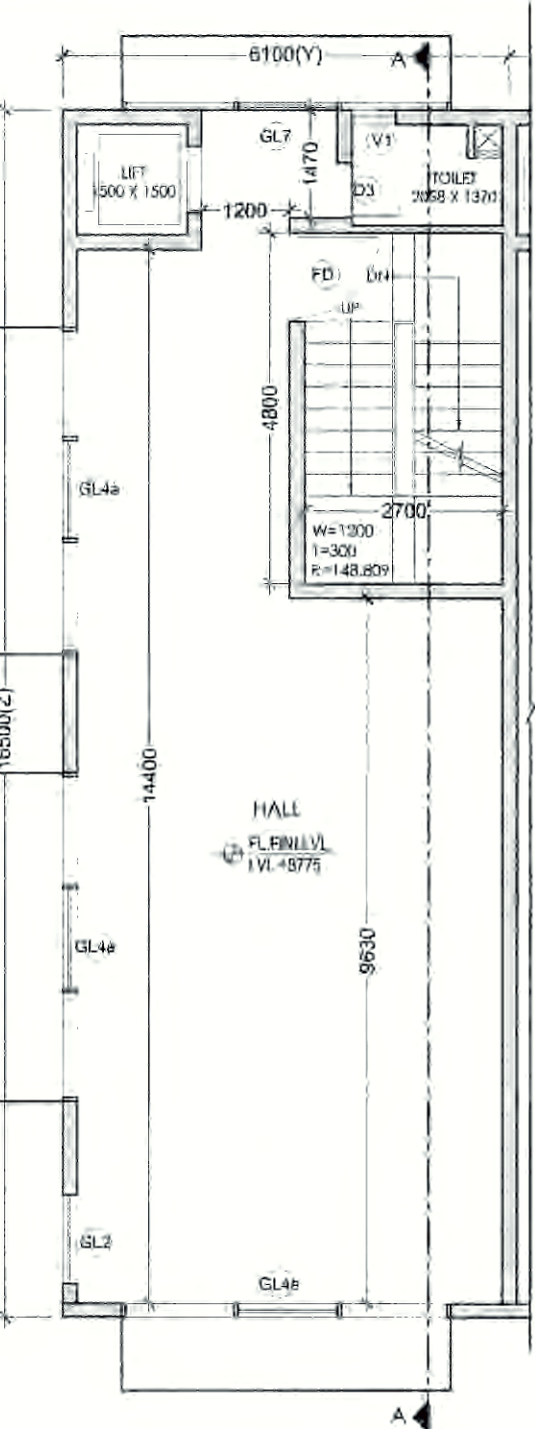
GROUND FLOOR PLAN



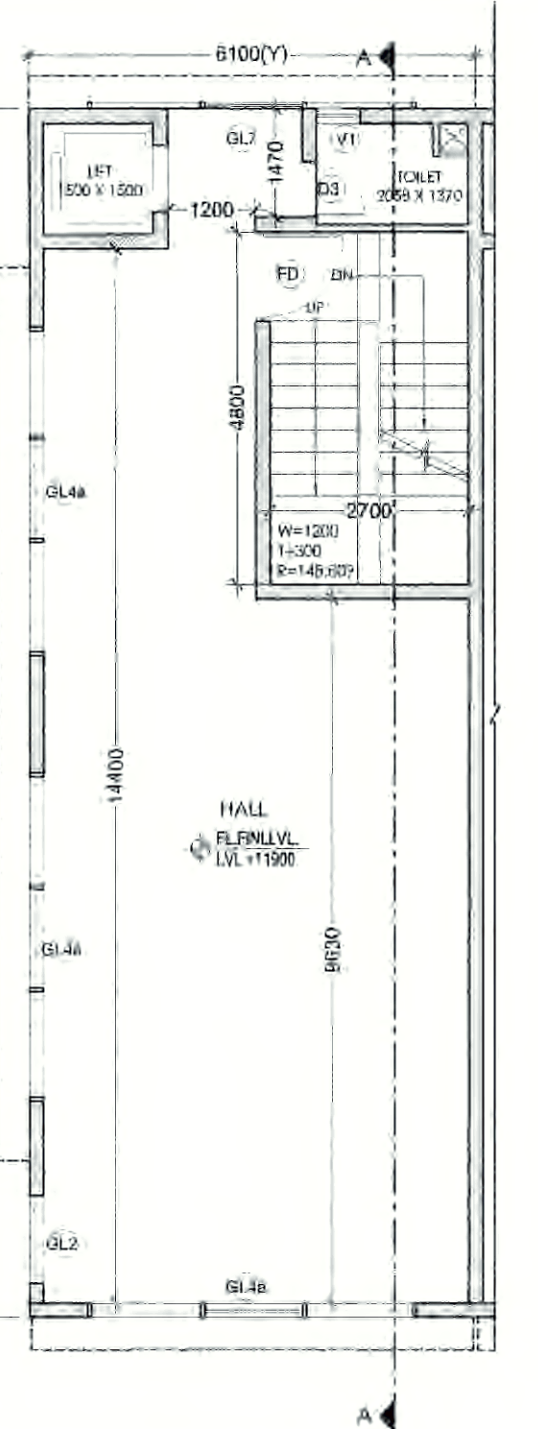
FIRST FLOOR PLAN



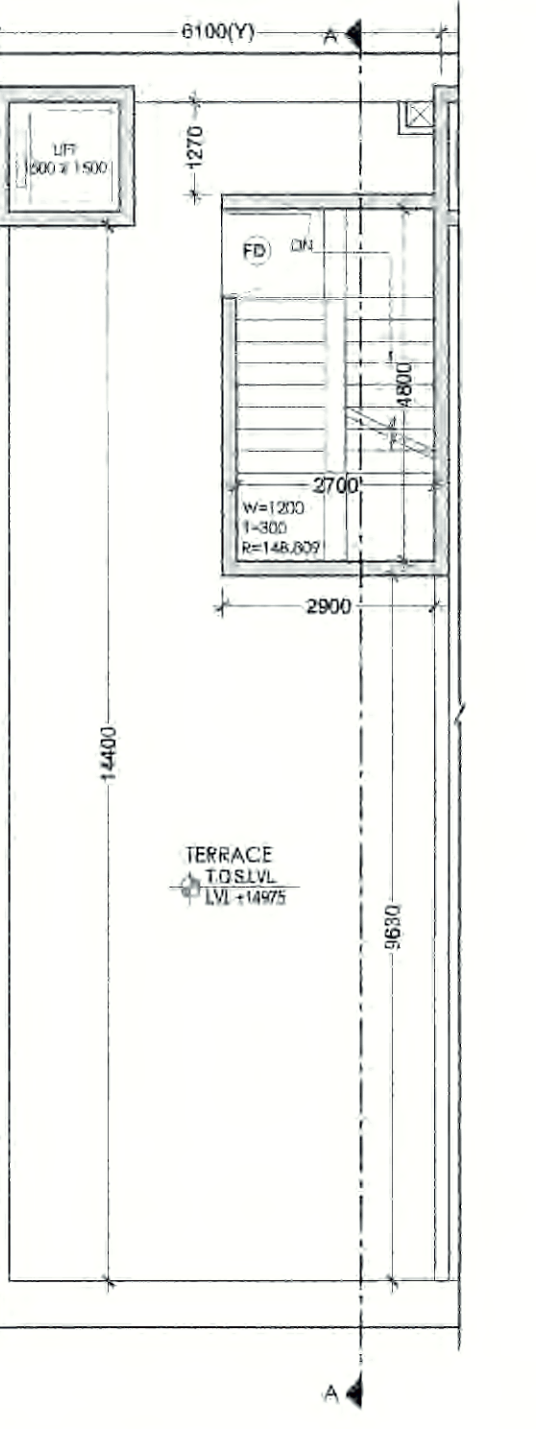
SECOND FLOOR PLAN



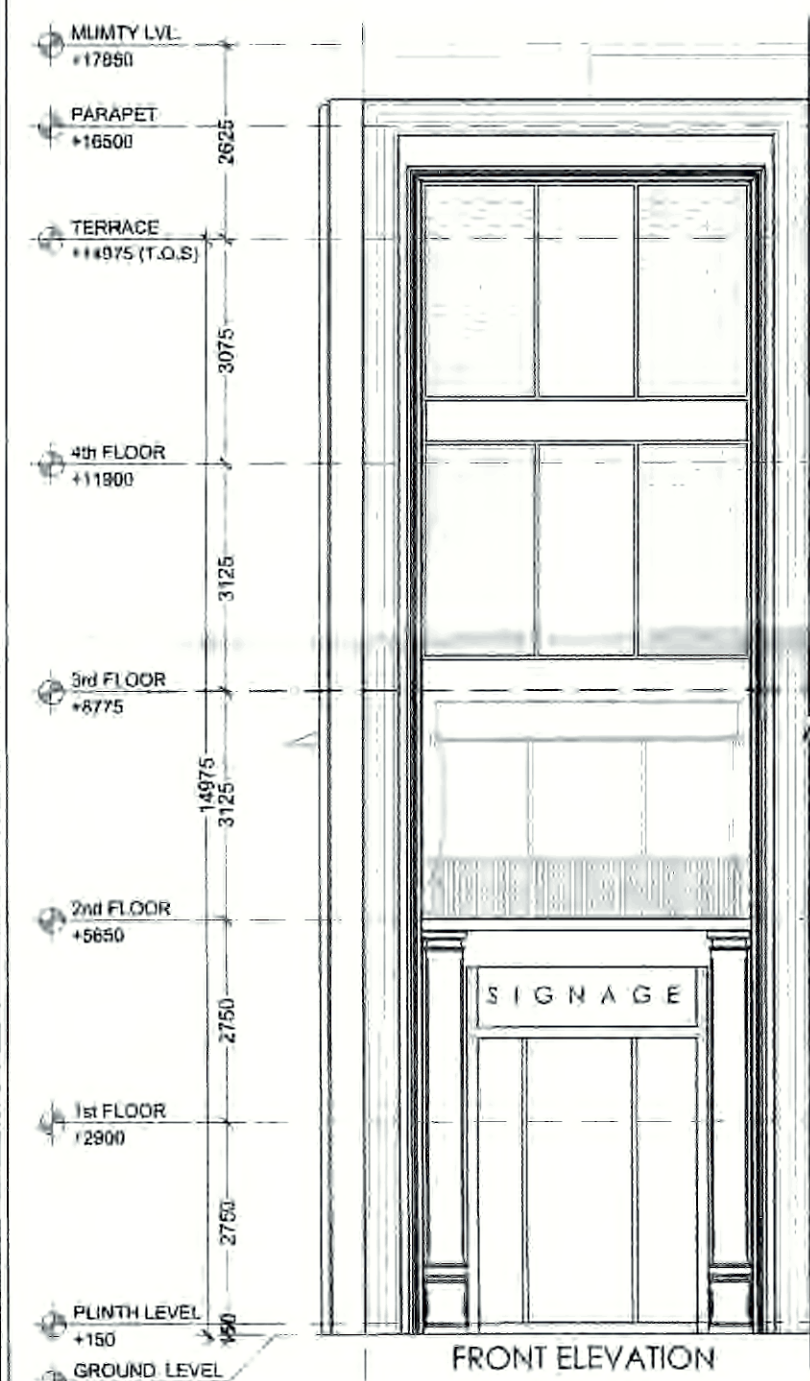
THIRD FLOOR PLAN



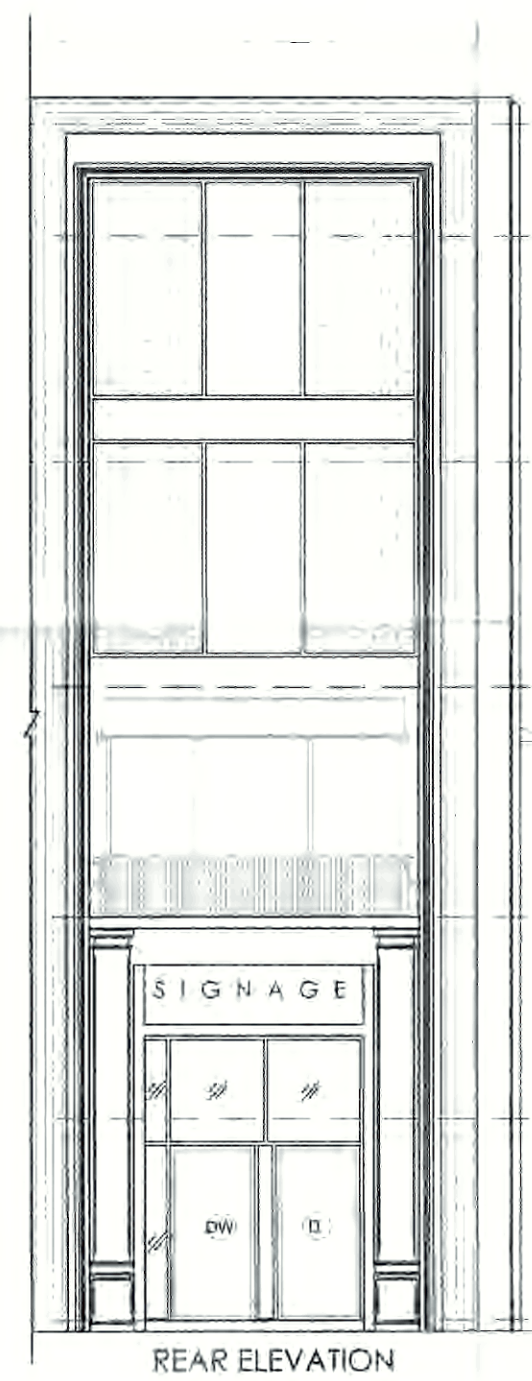
FOURTH FLOOR PLAN



TERRACE PLAN



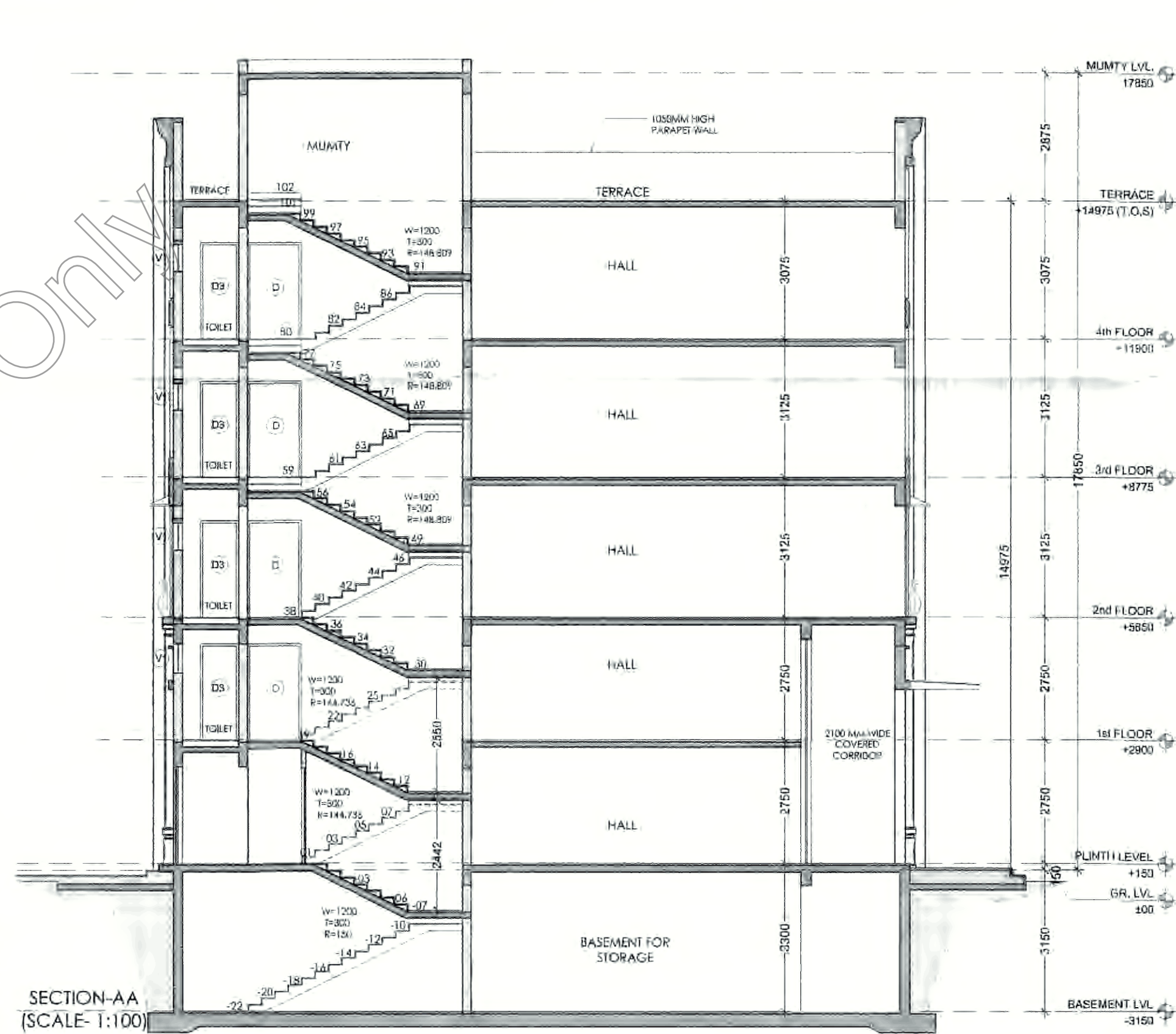
FRONT ELEVATION



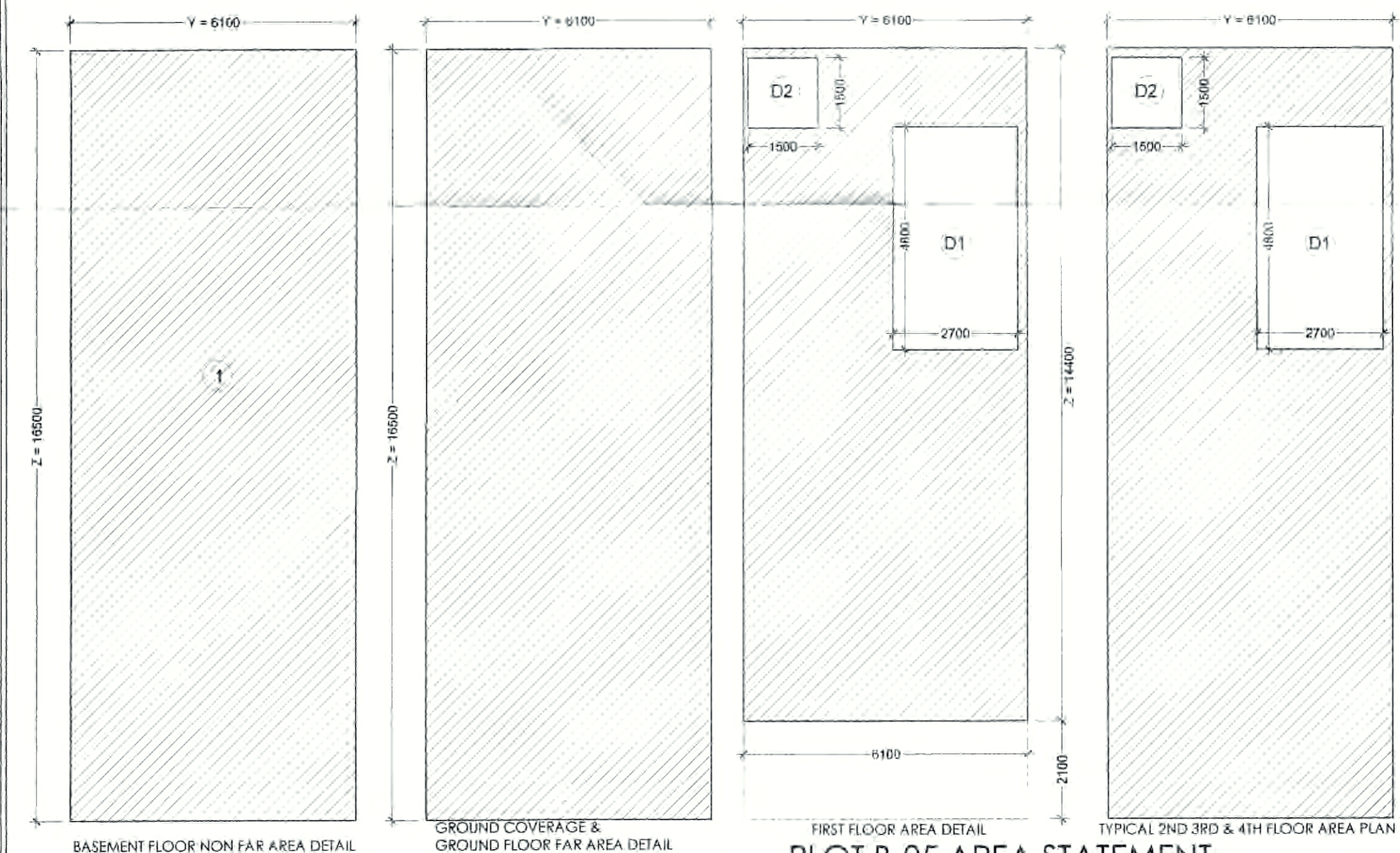
REAR ELEVATION



SIDE ELEVATION



SECTION-AA
(SCALE: 1:100)



PLOT B-05 AREA STATEMENT

SCHEDULE OF OPENINGS

S.NO.	TYPE	SIZE	S.L.	L.L.
1.	D	1200X2100	00	2100
2.	D3	750X2100	00	2100
3.	DW	1200X2100	00	2100
4.	D1	1200X2100	00	2100
5.	PD	1200X2100	00	2100
6.	V1	600X600	1500	2100
7.	V2	350/ELE.		
8.	GL1	800XAS/ELE.		
9.	GL2	1200XAS/ELE.		
10.	GL3	3285XAS/ELE.		
11.	GL4	3945XAS/ELE.		
12.	GL5	3285XAS/ELE.		
13.	GL6	3485XAS/ELE.		
14.	GL7	1842XAS/ELE.		

AREA DETAIL SUMMARY (sq.m.)			
PLOT AREA			
PERM. F.A.R. (4.286)	431.386		
PROPOSED F.A.R.	429.600		
BALANCED F.A.R.	3.786		
GROUND COVERAGE	100.650		
FLOORS			
FLOORS	S.A.R.	NON F.A.R.	
BASEMENT	100.650	100.650	
GROUND FLOOR	100.650		
1st FLOOR	72.830	15.210	
2nd FLOOR	85.440	15.210	
3rd FLOOR	85.440	15.210	
4th FLOOR	85.440	15.210	
TERRACE (MUMTY+UFT)	39.210		
TOTAL	429.600	186.700	

FAR AREA DETAIL						
GROUND COVERAGE & GROUND FLOOR FAR AREA						
ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA	
X*Y=Z	6.100	X	36.500	X	3	100.650
TOTAL GROUND COVERAGE & GROUND FLOOR FAR AREA						
TOTAL AREA (D)						
TOTAL AREA (D)						
FIRST FLOOR AREA DETAIL IN FAR						
ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA	
X*Y=Z	6.100	X	34.400	X	3	97.940
TOTAL AREA (D)						
TOTAL AREA (D)						
DEDUCTIONS (D)						
ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA	
D1	5.700	X	4.800	X	3	12.960
D2	1.500	X	1.500	X	1	2.250
TOTAL DEDUCTION AREA (D)						
TOTAL (Z-D) = FIRST FLOOR FAR AREA						
TOTAL FIRST FLOOR FAR AREA						
TOTAL FIRST FLOOR FAR AREA						
TYPICAL 2ND, 3RD & 4TH FLOOR DETAIL IN FAR						
ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA	
X*Y=Z	6.100	X	35.500	X	3	100.650
TOTAL AREA (D)						
TOTAL AREA (D)						
DEDUCTIONS (D)						
ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA	
D1	5.700	X	4.800	X	3	12.960
D2	1.500	X	1.500	X	1	2.250
TOTAL DEDUCTION AREA (D)						
TOTAL (Z-D) = TYPICAL FLOOR FAR AREA						
TOTAL TYPICAL 2nd, 3rd & 4th FLOOR FAR AREA						
TOTAL TYPICAL 2nd, 3rd & 4th FLOOR FAR AREA						
MUMTY + UFT AREA						
ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA	
A	3.000	X	5.200	X	3	15.600
B	1.500	X	1.500	X	1	2.250
TOTAL AREA						
TOTAL AREA						
TOTAL AREA						
BASEMENT AREA						
ITEM	WIDTH	LENGTH	FACTOR	NOS	AREA	
X*Y=Z	6.100	X	16.500	X	3	100.650
TOTAL AREA						
TOTAL AREA						
TOTAL AREA						

W. Sharma
(HITESH SHARMA)
STP (HQ)

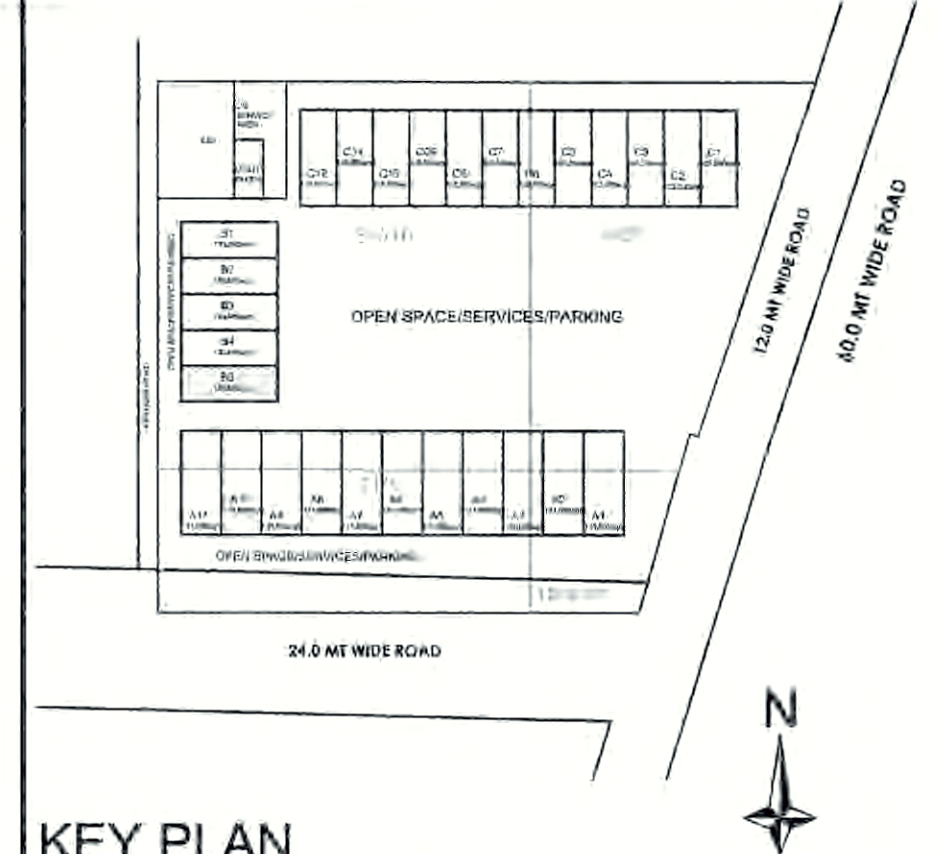
(P.P. SHARMA)
CTP (HR)

(K. MAKRAND PANDURANG, IAS)
DTCP (HR)

(RAM AVTAR BASSI)
AD (HQ)

(RAMESH BANSAL)
ATP (HQ)

DWG. NO. DT-P-B275(LX) DATED: 15-04-22



KEY PLAN
BLOCK-B _ PLOT NO. B05

PRINCIPAL ARCHITECT:

ACPL 150 SKH (B)15

ACPL Design Ltd

Architecture
Management
Planning

PROJECT:-

COMMERCIAL PLOTTED COLONY ON THE LAND MEASURING 2.16875 ACRES IN THE REVENUE ESTATE OF VILLAGE BEGUMPUR KHATOLA SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID INFRA TECH PVT. LTD.

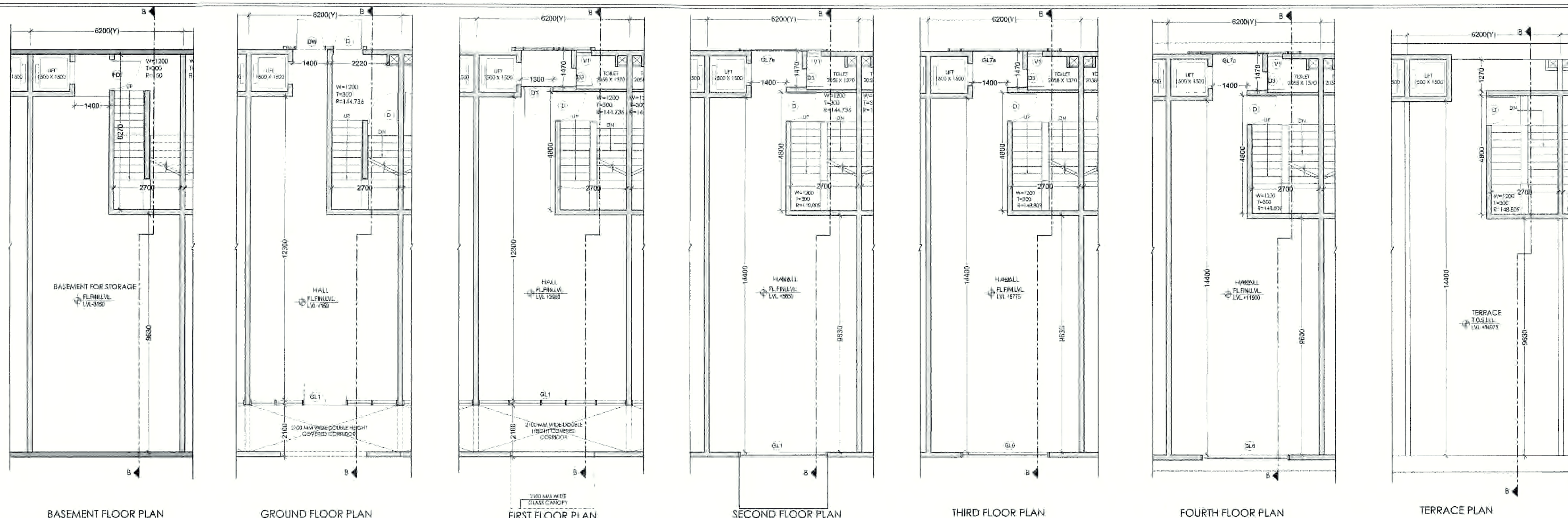
AUTH. SIGN.

ARCHITECT'S SIGN.

DRAWING TITLE:

BLOCK-B _ PLOT OF (6.1X16.5) 100.65 SQMT, PLOT NO. B-05

DRAWING NO. B-204 SCALE 1:100



BASEMENT FLOOR PLAN

GROUND FLOOR PLAN

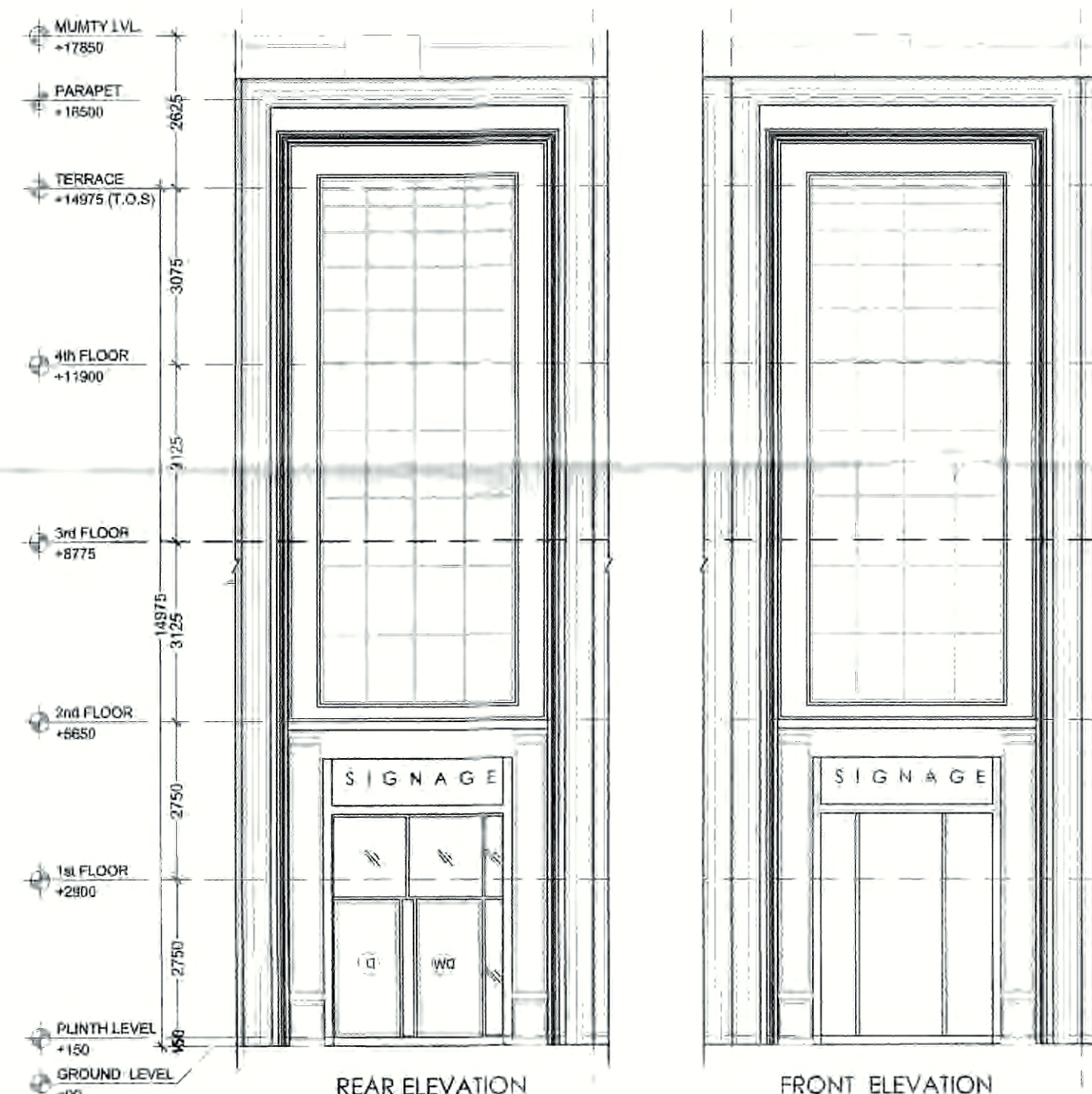
FIRST FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

FOURTH FLOOR PLAN

TERRACE PLAN

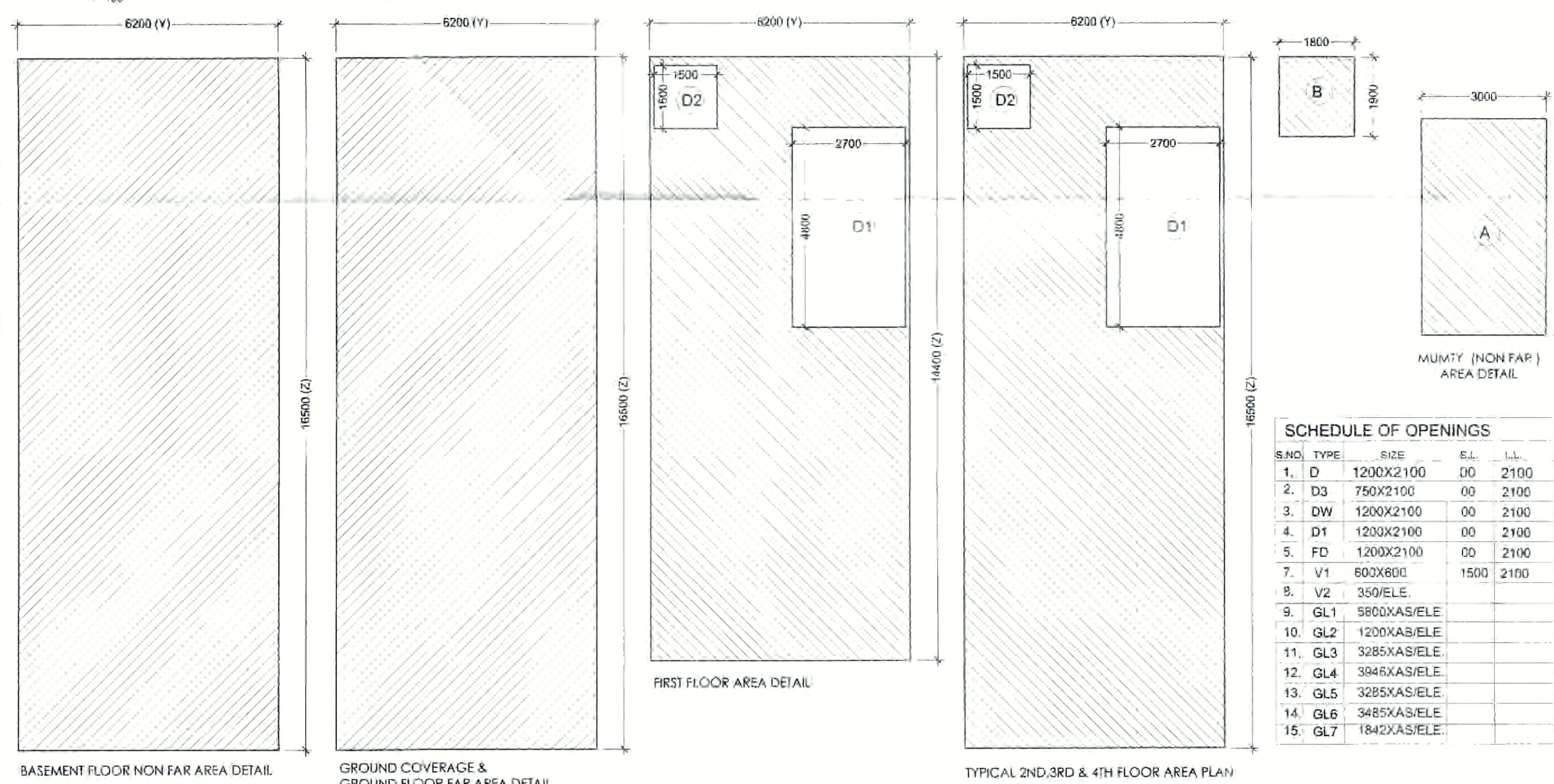


REAR ELEVATION

FRONT ELEVATION

AREA DETAIL									
GROUND COVERAGE & GROUND FLOOR FAR (SQ.MT.)									
ITEM	WIDTH	X	LENGTH	X	FACTOR	X	NOS	AREA	
X*Y=Z	6.200	X	16.500	X	1	X	1	102.300	
TOTAL GROUND COVERAGE & GROUND FLOOR FAR AREA									102.300
FIRST FLOOR AREA DETAIL (FAR)									
ITEM	WIDTH	X	LENGTH	X	FACTOR	X	NOS	AREA	
X*Y=Z	6.200	X	16.500	X	1	X	1	99.290	
TOTAL AREA (Z)									99.290
DEDUCTIONS (D)									
ITEM	WIDTH	X	LENGTH	X	FACTOR	X	NOS	AREA	
D1	2.700	X	4.800	X	1	X	1	12.960	
D2	1.500	X	3.300	X	1	X	1	2.250	
TOTAL DEDUCTION AREA (D)									15.210
TOTAL (Z-D) = FIRST FLOOR FAR AREA									74.070
TOTAL FIRST FLOOR FAR AREA									74.070
TYPICAL 2ND, 3RD & 4TH FLOOR DETAIL (FAR)									
ITEM	WIDTH	X	LENGTH	X	FACTOR	X	NOS	AREA	
X*Y=Z	6.200	X	16.500	X	1	X	1	102.300	
TOTAL AREA (Z)									102.300
DEDUCTIONS (D)									
ITEM	WIDTH	X	LENGTH	X	FACTOR	X	NOS	AREA	
D1	2.700	X	4.800	X	1	X	1	12.960	
D2	1.500	X	3.300	X	1	X	1	2.250	
TOTAL DEDUCTION AREA (D)									15.210
TOTAL (Z-D) = TYPICAL FLOOR FAR AREA									87.090
TOTAL TYPICAL 2ND, 3RD & 4TH FLOOR FAR AREA									67.090
MUMTY LIFT AREA									
ITEM	WIDTH	X	LENGTH	X	FACTOR	X	NOS	AREA	
A	3.000	X	5.200	X	1	X	1	15.600	
B	1.800	X	1.800	X	1	X	1	3.240	
TOTAL MUMTY LIFT AREA									18.840
BASEMENT AREA									
ITEM	WIDTH	X	LENGTH	X	FACTOR	X	NOS	AREA	
Y*Z	6.200	X	16.500	X	1	X	1	102.300	
TOTAL AREA									102.300
TOTAL BASEMENT (NON FAR) AREA									102.300

AREA DETAIL SUMMARY (sq.mt.)			
PLOT AREA	102.300		
PERM. F.A.R. (4.286)	438.458		
PROPOSED F.A.R.	437.640		
BALANCED F.A.R.	0.818		
GROUND COVERAGE	102.300		
FLOORS			
	F.A.R.	NON F.A.R.	
BASEMENT		102.300	
GROUND FLOOR	102.300		
1st FLOOR	74.070	15.210	
2nd FLOOR	87.090	15.210	
3rd FLOOR	87.090	15.210	
4th FLOOR	87.090	15.210	
TERRACE (MUMTY+LIFT)		19.020	
TOTAL	437.640	182.180	

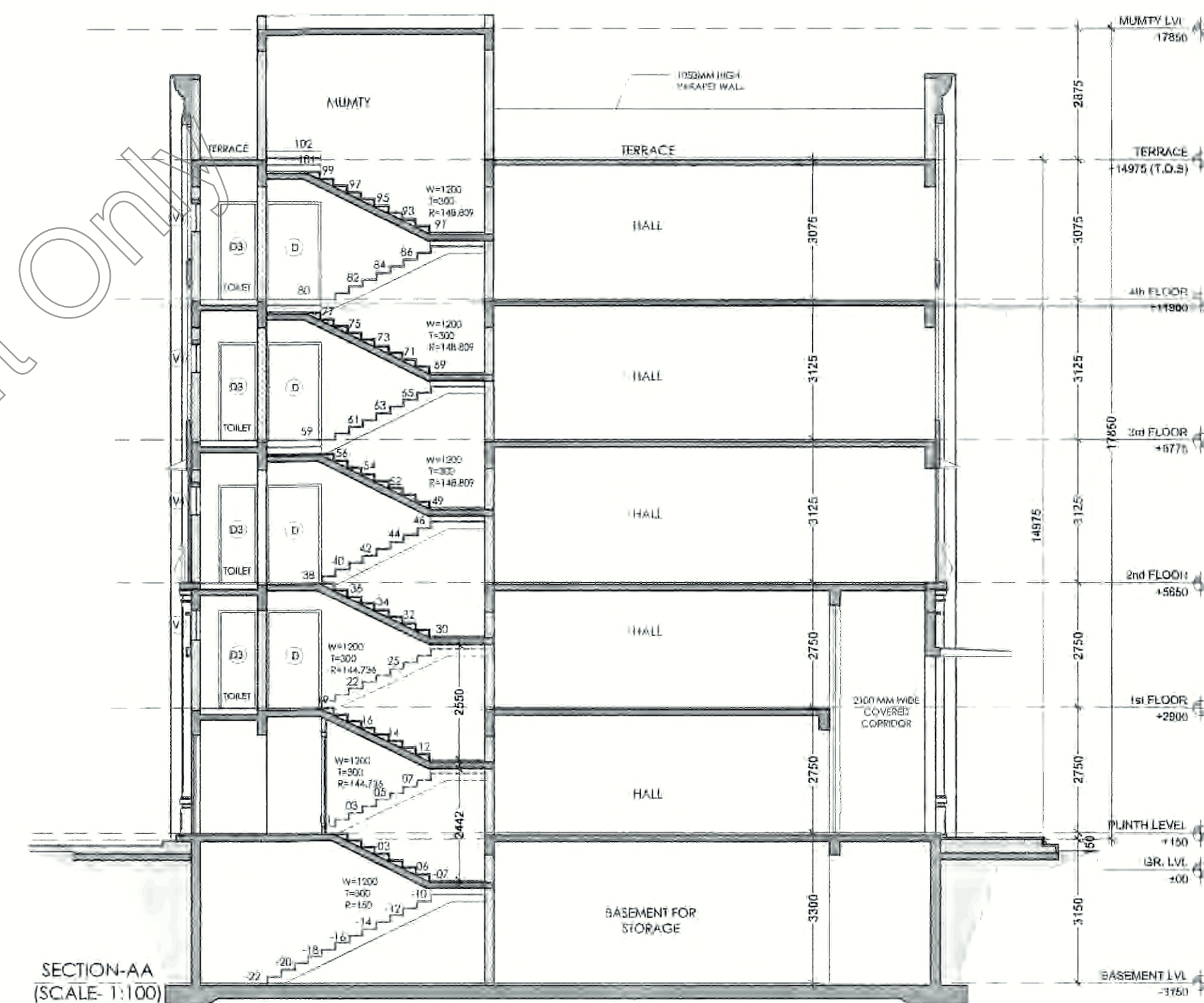


BASEMENT FLOOR NON FAR AREA DETAIL

GROUND COVERAGE & GROUND FLOOR FAR AREA DETAIL

TYPICAL 2ND, 3RD & 4TH FLOOR AREA PLAN

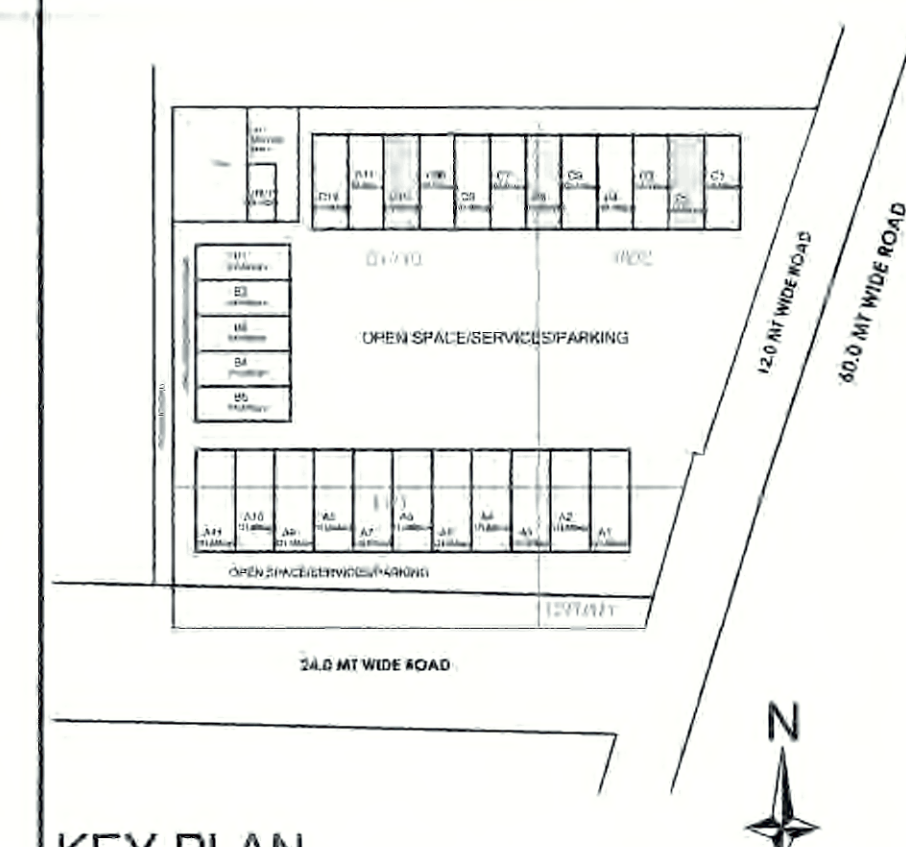
SCHEDULE OF OPENINGS				
S.NO.	TYPE	SIZE	S.L.	L.L.
1.	D	1200X2100	00	2100
2.	D3	750X2100	00	2100
3.	DW	1200X2100	00	2100
4.	D1	1200X2100	00	2100
5.	FD	1200X2100	00	2100
7.	V1	800X800	1500	2100
8.	V2	350/ELE		
9.	GL1	5800XAS/ELE		
10.	GL2	1200XAS/ELE		
11.	GL3	3285XAS/ELE		
12.	GL4	3846XAS/ELE		
13.	GL5	3285XAS/ELE		
14.	GL6	3485XAS/ELE		
15.	GL7	1842XAS/ELE		



SECTION-AA (SCALE: 1:100)

Hithesh - (HITESH SHARMA) STP (HQ)
 P. SINGH (P. SINGH) C/P (HR)
 K. MAKRAND PANDURANG, IAS (K. MAKRAND PANDURANG, IAS) DTCP (HR)
 (RAM AVTAR BASSI) AD (HQ)
 (RAKESH BANSAL) ATP (HQ)

DRG-NO: DTP B275(LRIL) DATED: 25-04-22



KEY PLAN
BLOCK-C _ PLOT NO. C02, C06, C10

PRINCIPAL ARCHITECT:

ACPL

ACPL Design Ltd

PROJECT:-

COMMERCIAL PLOTTED COLONY ON THE LAND MEASURING 2.16875 ACRES IN THE REVENUE ESTATE OF VILLAGE BEGUMPUR KHATOLA SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID INFRA TECH PVT. LTD.

AUTH. SIGN.

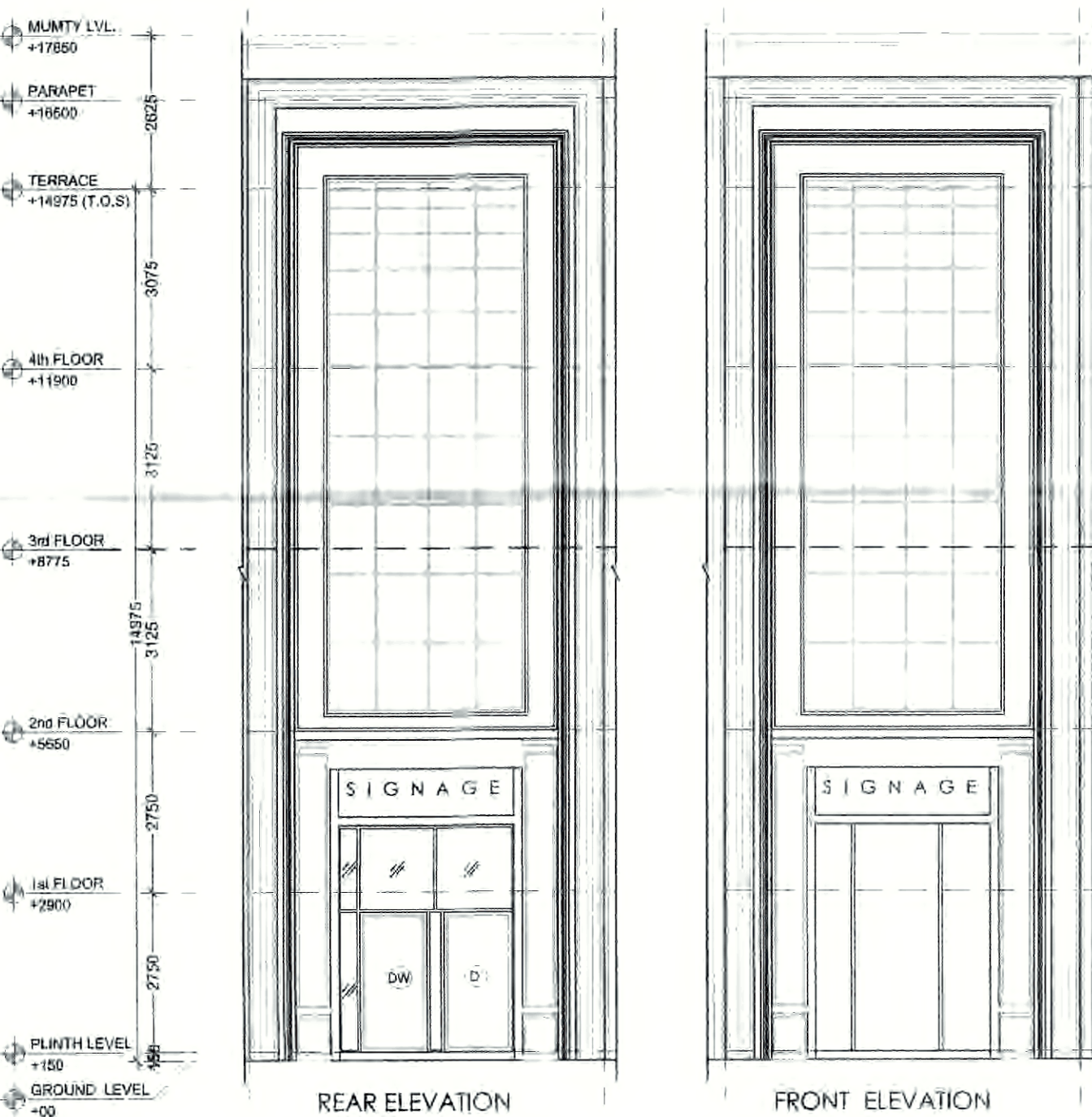
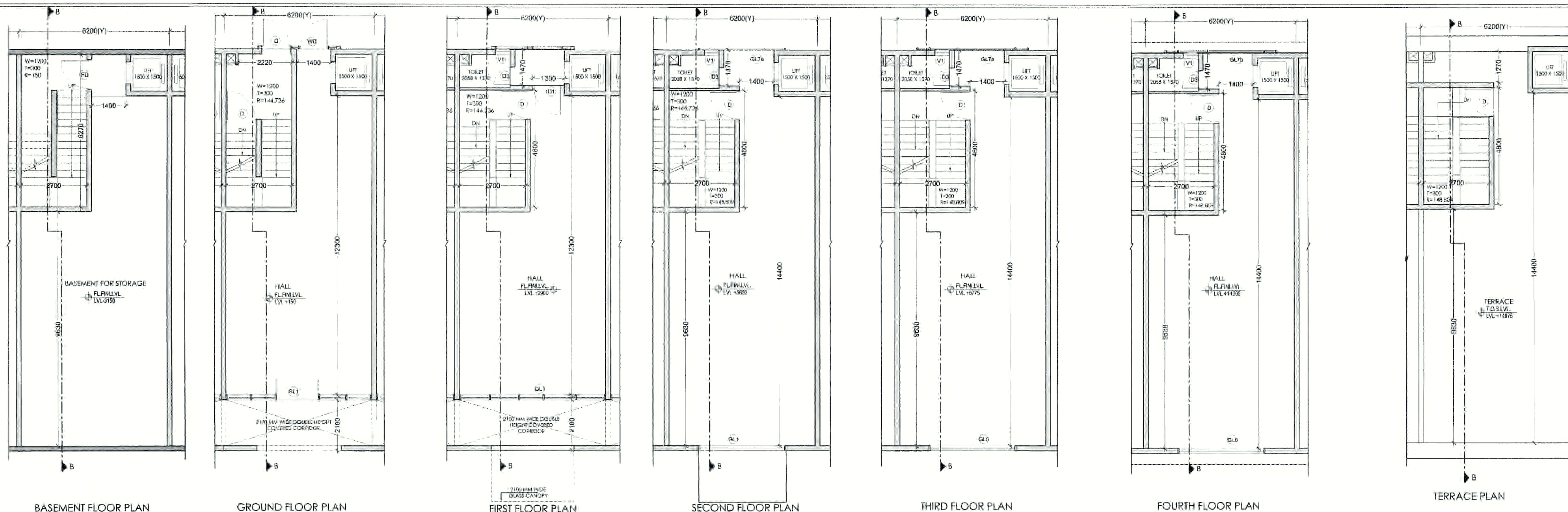
DRAWING TITLE:

BLOCK-C _ PLOT OF (6.2x16.5) 102.30 SQMT, PLOT NO. C-02, C06, C10

DRAWING NO

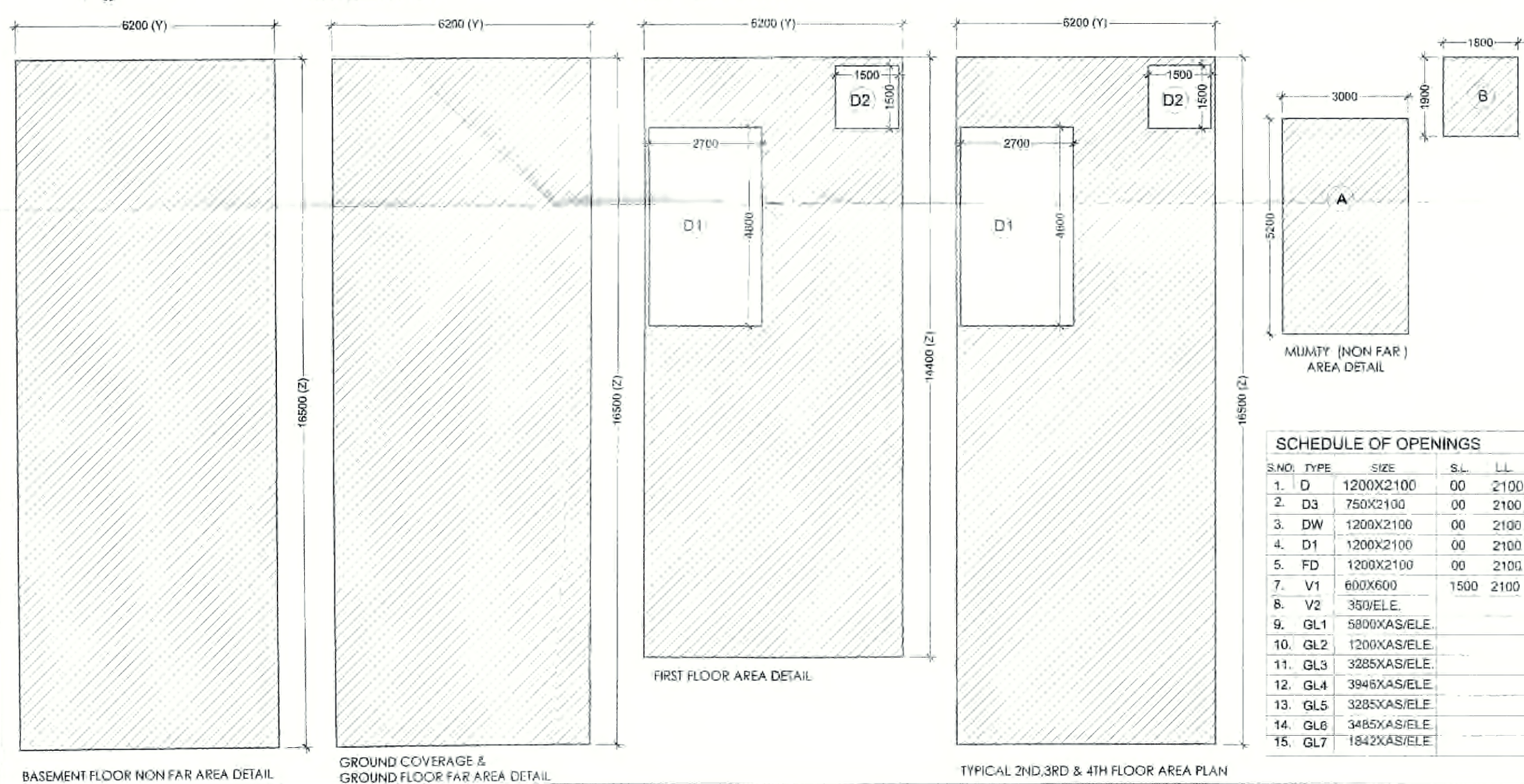
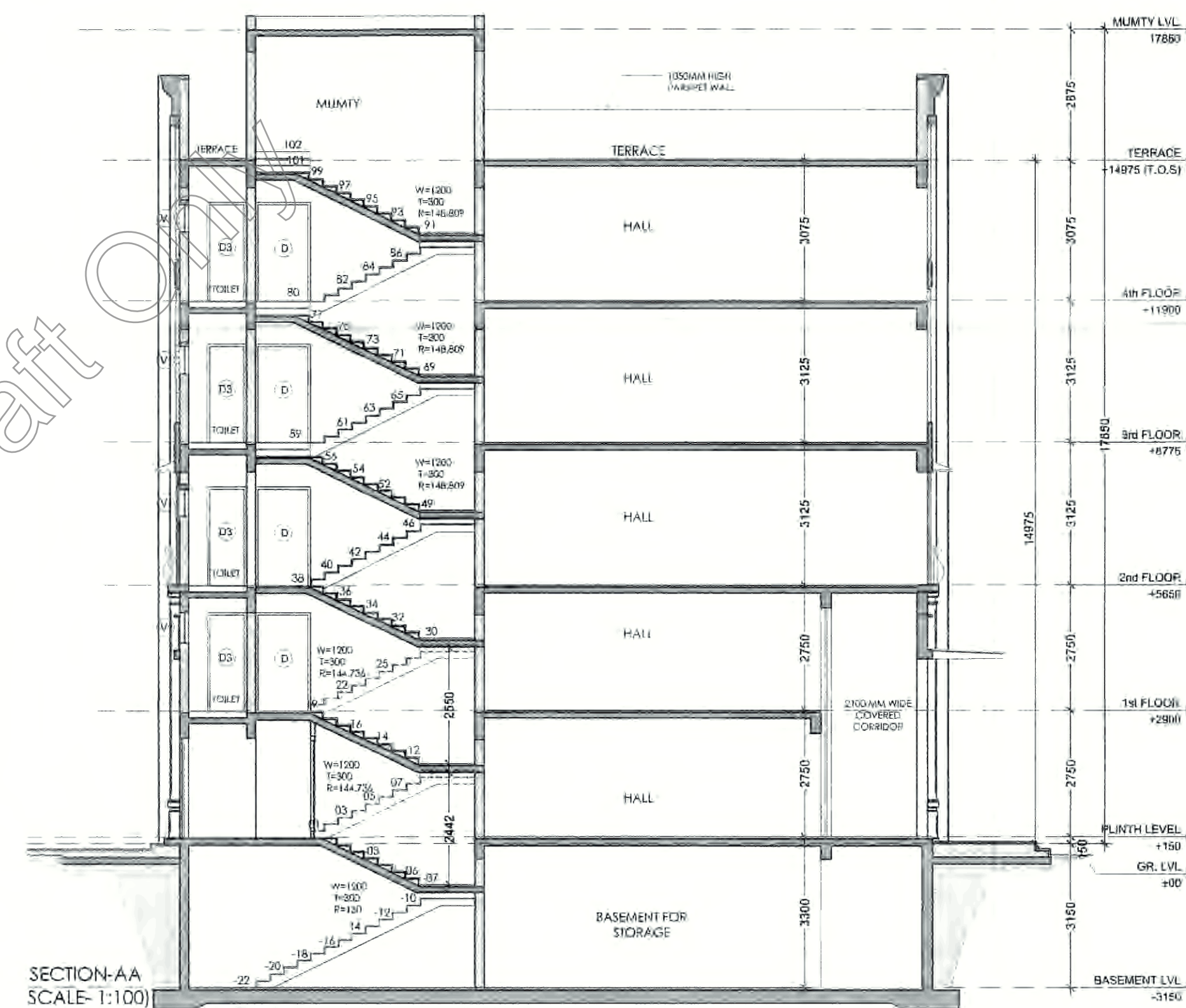
C-302

SCALE 1 : 100



FAR AREA DETAIL									
ITEM	WIDTH	X	LENGTH	X	FACTOR	X	NOS	AREA	
1	6.200	X	16.500	X	1	X	1	102.300	
TOTAL FAR AREA (FAR AREA)									102.300
GROUND COVERAGE & GROUND FLOOR FAR AREA									
ITEM	WIDTH	X	LENGTH	X	FACTOR	X	NOS	AREA	
1	6.200	X	16.500	X	1	X	1	102.300	
TOTAL GROUND COVERAGE & GROUND FLOOR FAR AREA									102.300
FIRST FLOOR FAR AREA									
ITEM	WIDTH	X	LENGTH	X	FACTOR	X	NOS	AREA	
1	6.200	X	16.500	X	1	X	1	102.300	
TOTAL FIRST FLOOR FAR AREA									102.300
TYPICAL 2ND, 3RD & 4TH FLOOR FAR AREA									
ITEM	WIDTH	X	LENGTH	X	FACTOR	X	NOS	AREA	
1	6.200	X	16.500	X	1	X	1	102.300	
TOTAL TYPICAL 2ND, 3RD & 4TH FLOOR FAR AREA									102.300
TOTAL FAR AREA									
TOTAL FAR AREA									102.300

AREA DETAIL SUMMARY (sq.mt.)		
PLOT AREA	102.300	
PERM. F.A.R. (4.286)	438.458	
PROPOSED F.A.R.	437.640	
BALANCED F.A.R.	0.818	
GROUND COVERAGE	102.300	
FLOORS		
FLOORS	F.A.R.	NON F.A.R.
BASEMENT		102.300
GROUND FLOOR	102.300	
1st FLOOR	74.070	15.210
2nd FLOOR	87.090	15.210
3rd FLOOR	87.090	15.210
4th FLOOR	87.090	15.210
TERRACE (MUMTY+LIFT)		19.020
TOTAL	437.640	182.160



SCHEDULE OF OPENINGS				
S.NO.	TYPE	SIZE	S.L.	L.L.
1.	D	1200X2100	00	2100
2.	D3	750X2100	00	2100
3.	DW	1200X2100	00	2100
4.	D1	1200X2100	00	2100
5.	FD	1200X2100	00	2100
6.	V1	600X600	1500	2100
7.	V2	350X350		
8.	GL1	5800XAS/ELE		
9.	GL2	1200XAS/ELE		
10.	GL3	3285XAS/ELE		
11.	GL4	3946XAS/ELE		
12.	GL5	3285XAS/ELE		
13.	GL6	3485XAS/ELE		
14.	GL7	1842XAS/ELE		

Hitesh Sharma
(HITESH SHARMA)
STP (HQ)

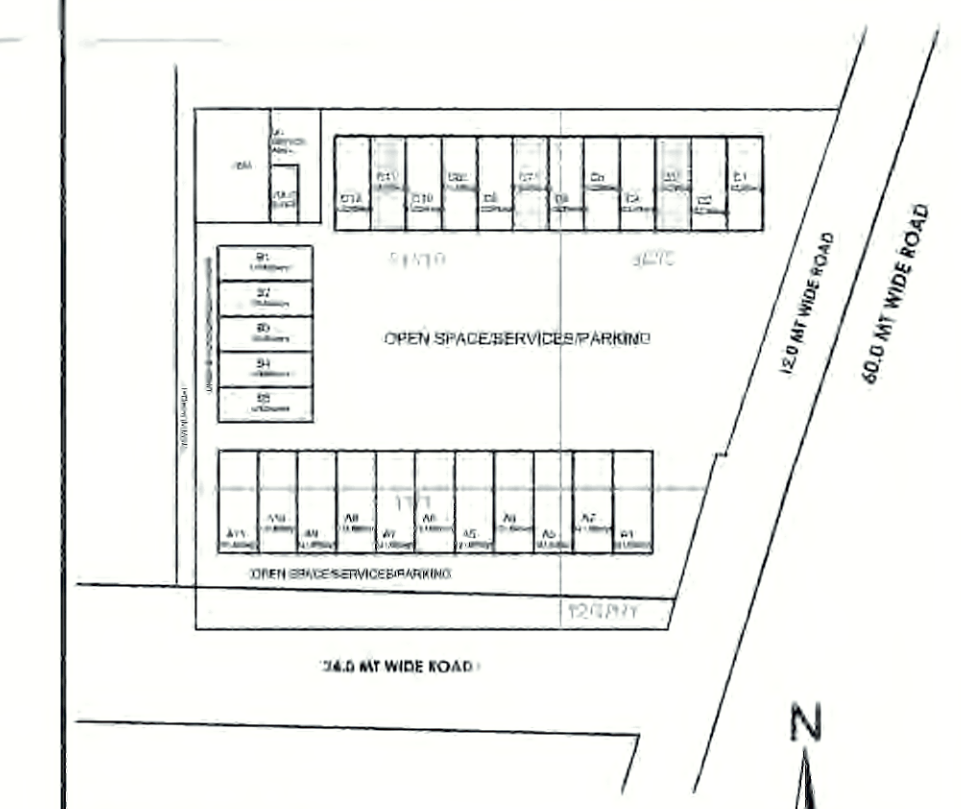
P.P. Singh
(P.P. SINGH)
DTCP (HR)

K.Makrand Bandurang, IAS
(K.MAKRAND BANDURANG, IAS)
DTCP (HR)

Ram Avtar Bansi
(RAM AVTAR BASSI)
AD (HQ)

Rakesh Bansal
(RAKESH BANSAL)
ATP (HQ)

DWG-101- STEP 8275(XIII) DATED: 25-4-11



KEY PLAN
BLOCK-C _ PLOT NO. C03, C07, C11
PRINCIPAL ARCHITECT

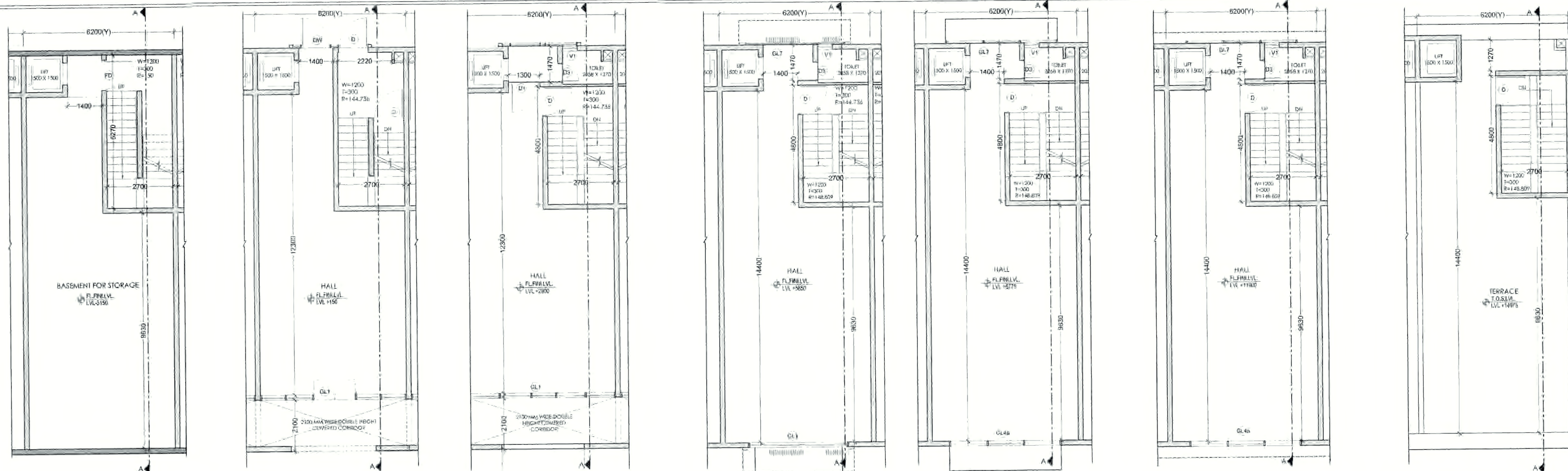
ACPL
ACPL Design Ltd
ACPL Design Ltd
ACPL Design Ltd

PROJECT:-
COMMERCIAL PLOTTED COLONY ON THE LAND
MEASURING 2.16875 ACRES IN THE REVENUE
ESTATE OF VILLAGE BEGUMPUR KHATOLA
SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID
INFRA TECH PVT. LTD.

AUTH. SIGN.
ARCHITECT'S SIGN.

DRAWING TITLE:
BLOCK-C _ PLOT OF (6.2x16.5) 102.30 SQMT.
PLOT NO. C-03, C07, C11

DRAWING NO. C-303 SCALE: 1 : 100



BASEMENT FLOOR PLAN

GROUND FLOOR PLAN

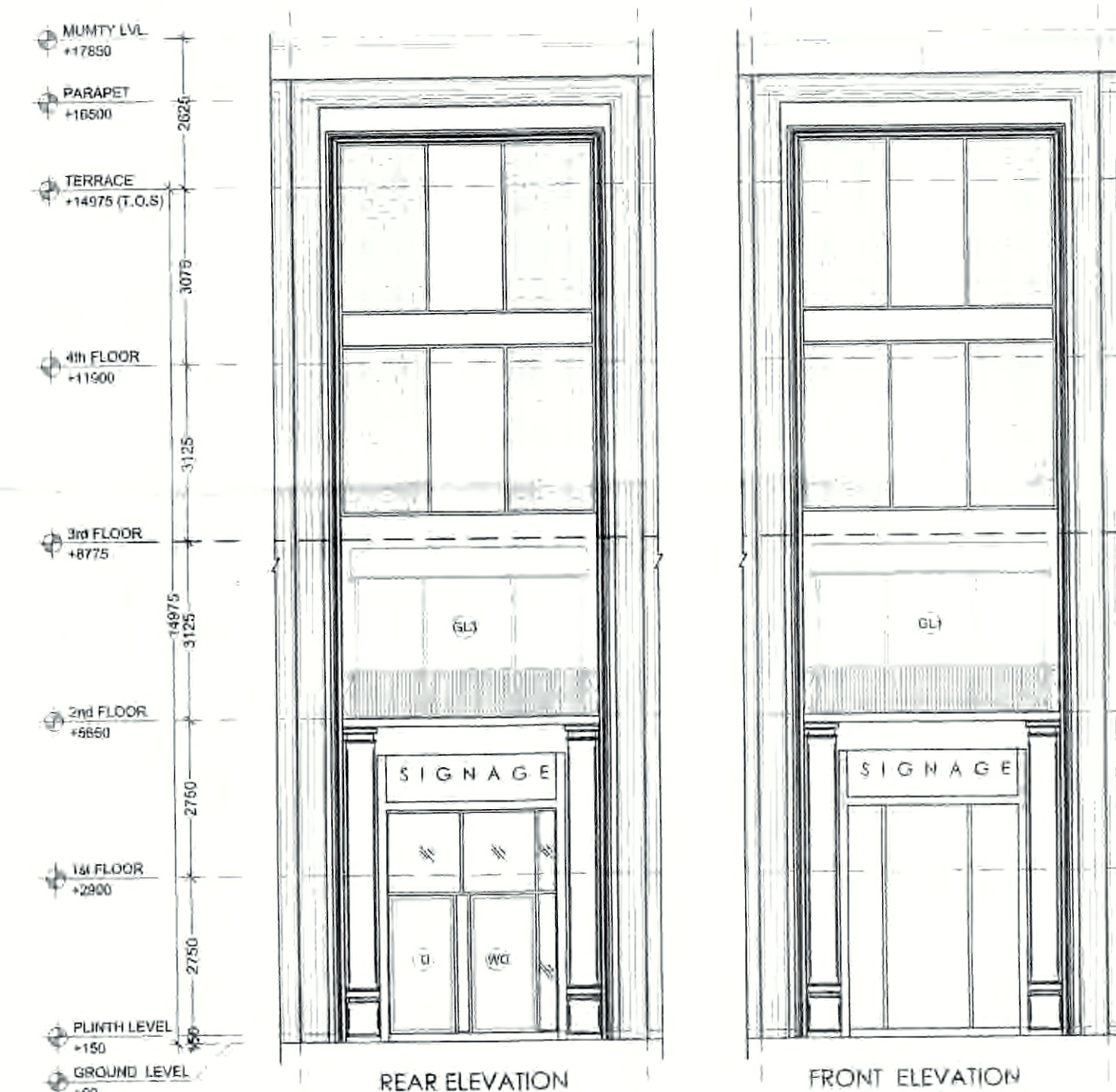
FIRST FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

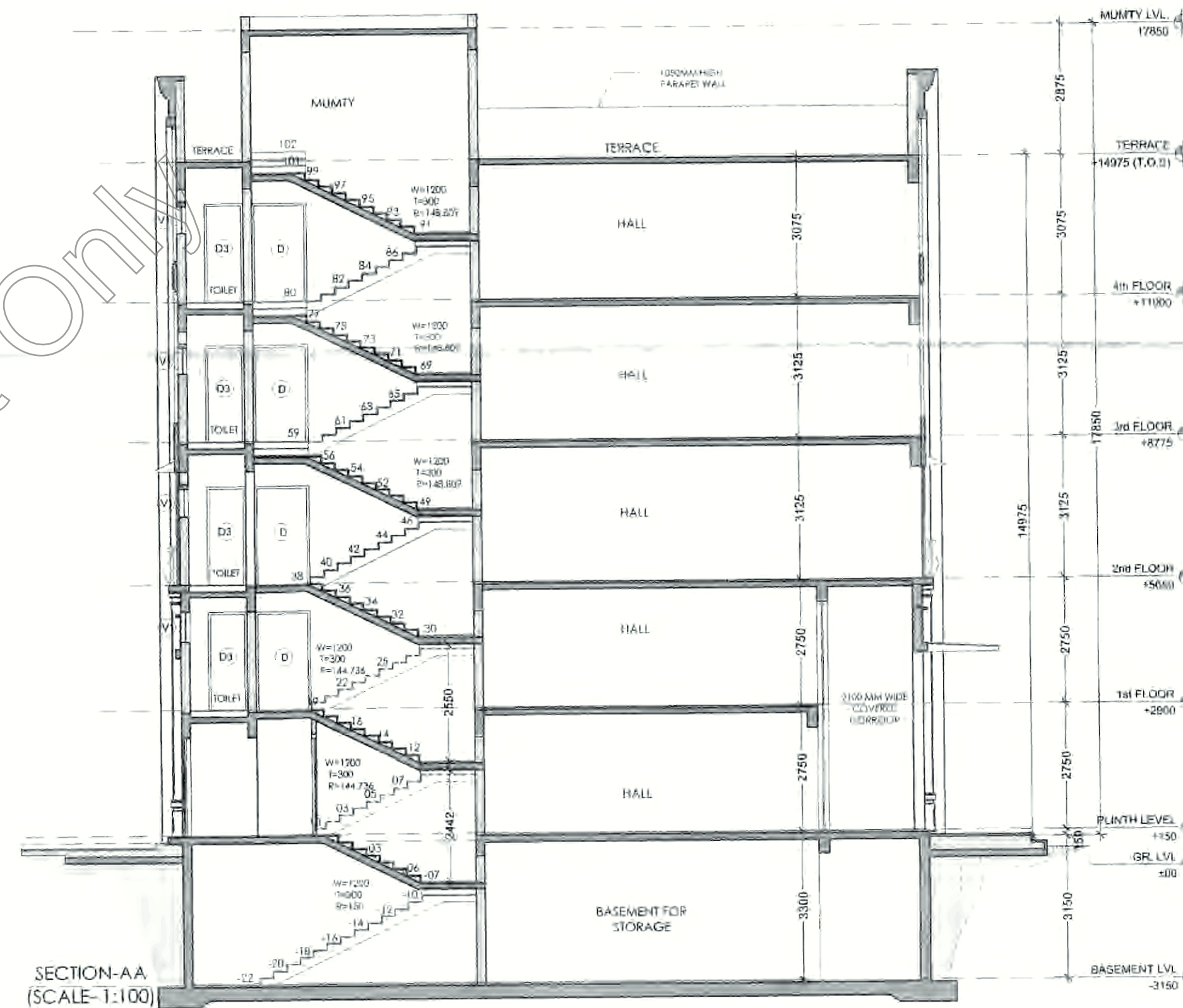
FOURTH FLOOR PLAN

TERRACE PLAN



REAR ELEVATION

FRONT ELEVATION



SECTION-AA
(SCALE: 1:100)

FAR AREA DETAIL									
ITEM	WIDTH	LENGTH	X	Y	NO.	AREA			
1	10.00	10.00	1	1	1	100.00			
2	10.00	10.00	1	1	1	100.00			
3	10.00	10.00	1	1	1	100.00			
4	10.00	10.00	1	1	1	100.00			
5	10.00	10.00	1	1	1	100.00			
6	10.00	10.00	1	1	1	100.00			
7	10.00	10.00	1	1	1	100.00			
8	10.00	10.00	1	1	1	100.00			
9	10.00	10.00	1	1	1	100.00			
10	10.00	10.00	1	1	1	100.00			
11	10.00	10.00	1	1	1	100.00			
12	10.00	10.00	1	1	1	100.00			
13	10.00	10.00	1	1	1	100.00			
14	10.00	10.00	1	1	1	100.00			
15	10.00	10.00	1	1	1	100.00			
16	10.00	10.00	1	1	1	100.00			
17	10.00	10.00	1	1	1	100.00			
18	10.00	10.00	1	1	1	100.00			
19	10.00	10.00	1	1	1	100.00			
20	10.00	10.00	1	1	1	100.00			
21	10.00	10.00	1	1	1	100.00			
22	10.00	10.00	1	1	1	100.00			
23	10.00	10.00	1	1	1	100.00			
24	10.00	10.00	1	1	1	100.00			
25	10.00	10.00	1	1	1	100.00			
26	10.00	10.00	1	1	1	100.00			
27	10.00	10.00	1	1	1	100.00			
28	10.00	10.00	1	1	1	100.00			
29	10.00	10.00	1	1	1	100.00			
30	10.00	10.00	1	1	1	100.00			
31	10.00	10.00	1	1	1	100.00			
32	10.00	10.00	1	1	1	100.00			
33	10.00	10.00	1	1	1	100.00			
34	10.00	10.00	1	1	1	100.00			
35	10.00	10.00	1	1	1	100.00			
36	10.00	10.00	1	1	1	100.00			
37	10.00	10.00	1	1	1	100.00			
38	10.00	10.00	1	1	1	100.00			
39	10.00	10.00	1	1	1	100.00			
40	10.00	10.00	1	1	1	100.00			
41	10.00	10.00	1	1	1	100.00			
42	10.00	10.00	1	1	1	100.00			
43	10.00	10.00	1	1	1	100.00			
44	10.00	10.00	1	1	1	100.00			
45	10.00	10.00	1	1	1	100.00			
46	10.00	10.00	1	1	1	100.00			
47	10.00	10.00	1	1	1	100.00			
48	10.00	10.00	1	1	1	100.00			
49	10.00	10.00	1	1	1	100.00			
50	10.00	10.00	1	1	1	100.00			
51	10.00	10.00	1	1	1	100.00			
52	10.00	10.00	1	1	1	100.00			
53	10.00	10.00	1	1	1	100.00			
54	10.00	10.00	1	1	1	100.00			
55	10.00	10.00	1	1	1	100.00			
56	10.00	10.00	1	1	1	100.00			
57	10.00	10.00	1	1	1	100.00			
58	10.00	10.00	1	1	1	100.00			
59	10.00	10.00	1	1	1	100.00			
60	10.00	10.00	1	1	1	100.00			
61	10.00	10.00	1	1	1	100.00			
62	10.00	10.00	1	1	1	100.00			
63	10.00	10.00	1	1	1	100.00			
64	10.00	10.00	1	1	1	100.00			
65	10.00	10.00	1	1	1	100.00			
66	10.00	10.00	1	1	1	100.00			
67	10.00	10.00	1	1	1	100.00			
68	10.00	10.00	1	1	1	100.00			
69	10.00	10.00	1	1	1	100.00			
70	10.00	10.00	1	1	1	100.00			
71	10.00	10.00	1	1	1	100.00			
72	10.00	10.00	1	1	1	100.00			
73	10.00	10.00	1	1	1	100.00			
74	10.00	10.00	1	1	1	100.00			
75	10.00	10.00	1	1	1	100.00			
76	10.00	10.00	1	1	1	100.00			
77	10.00	10.00	1	1	1	100.00			
78	10.00	10.00	1	1	1	100.00			
79	10.00	10.00	1	1	1	100.00			
80	10.00	10.00	1	1	1	100.00			
81	10.00	10.00	1	1	1	100.00			
82	10.00	10.00	1	1	1	100.00			
83	10.00	10.00	1	1	1	100.00			
84	10.00	10.00	1	1	1	100.00			
85	10.00	10.00	1	1	1	100.00			
86	10.00	10.00	1	1	1	100.00			
87	10.00	10.00	1	1	1	100.00			
88	10.00	10.00	1	1	1	100.00			
89	10.00	10.00	1	1	1	100.00			
90	10.00	10.00	1	1	1	100.00			
91	10.00	10.00	1	1	1	100.00			
92	10.00	10.00	1	1	1	100.00			
93	10.00	10.00	1	1	1	100.00			
94	10.00	10.00	1	1	1	100.00			
95	10.00	10.00	1	1	1	100.00			
96	10.00	10.00	1	1	1	100.00			
97	10.00	10.00	1	1	1	100.00			
98	10.00	10.00	1	1	1	100.00			
99	10.00	10.00	1	1	1	100.00			
100	10.00	10.00	1	1	1	100.00			

AREA DETAIL SUMMARY (sq. m.)			
PLOT AREA	102.300		
PERM. F.A.R. (4.286)	438.458		
PROPOSED F.A.R.	437.640		
BALANCED F.A.R.	0.818		
GROUND COVERAGE	102.300		
FLOORS	F.A.R.	NON F.A.R.	
BASEMENT	102.300	15.210	
GROUND FLOOR	74.070	15.210	
1st FLOOR	87.090	15.210	
2nd FLOOR	87.090	15.210	
3rd FLOOR	87.090	15.210	
4th FLOOR	87.090	15.210	
TERRACE (MUMTY+LIFT)	19.020		
TOTAL	437.640	60.840	

SCHEDULE OF OPENINGS				
S.NO.	TYPE	SIZE	S.L.	L.L.
1.	D	1200X2100	00	2100
2.	D3	750X2100	00	2100
3.	DW	1200X2100	00	2100
4.	D1	1200X2100	00	2100
5.	FD	1200X2100	00	2100
6.	V1	800X800	1500	2100
7.	V2	350/ELE.		
8.	GL1	5800XAS/ELE.		
9.	GL2	1200XAS/ELE.		
10.	GL3	3285XAS/ELE.		
11.	GL4	3946XAS/ELE.		
12.	GL5	3285XAS/ELE.		
13.	GL6	3485XAS/ELE.		
14.	GL7	1842XAS/ELE.		

H. Sharma
(HITESH SHARMA)
STP (HQ)

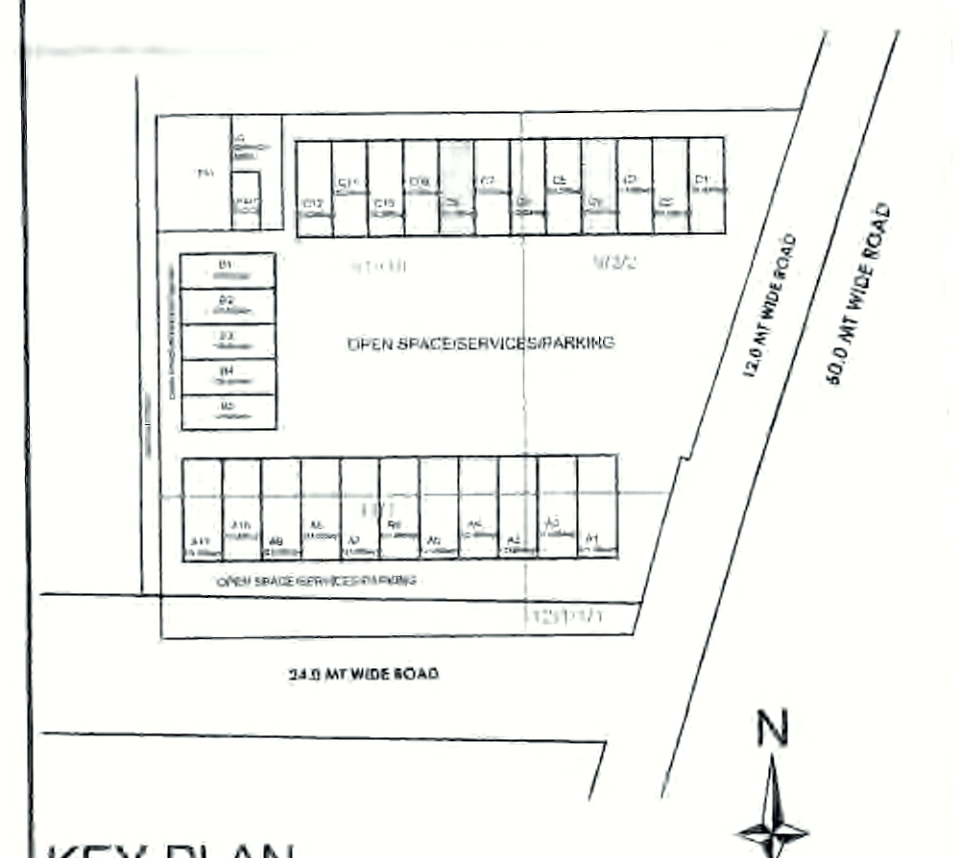
(P. P. NINGH)
(HR)

(K. MAKRAJ PANDURANG, IAS)
DTCP (HR)

(RAM AVTAR BASSI)
AD (HQ)

(RAKESH BANSAI)
ATP (HQ)

DRG. NO. - STP B275 (XVI) DATED - 25-4-22



KEY PLAN
BLOCK-C _ PLOT NO. C04, C08

PRINCIPAL ARCHITECT.

ACPL

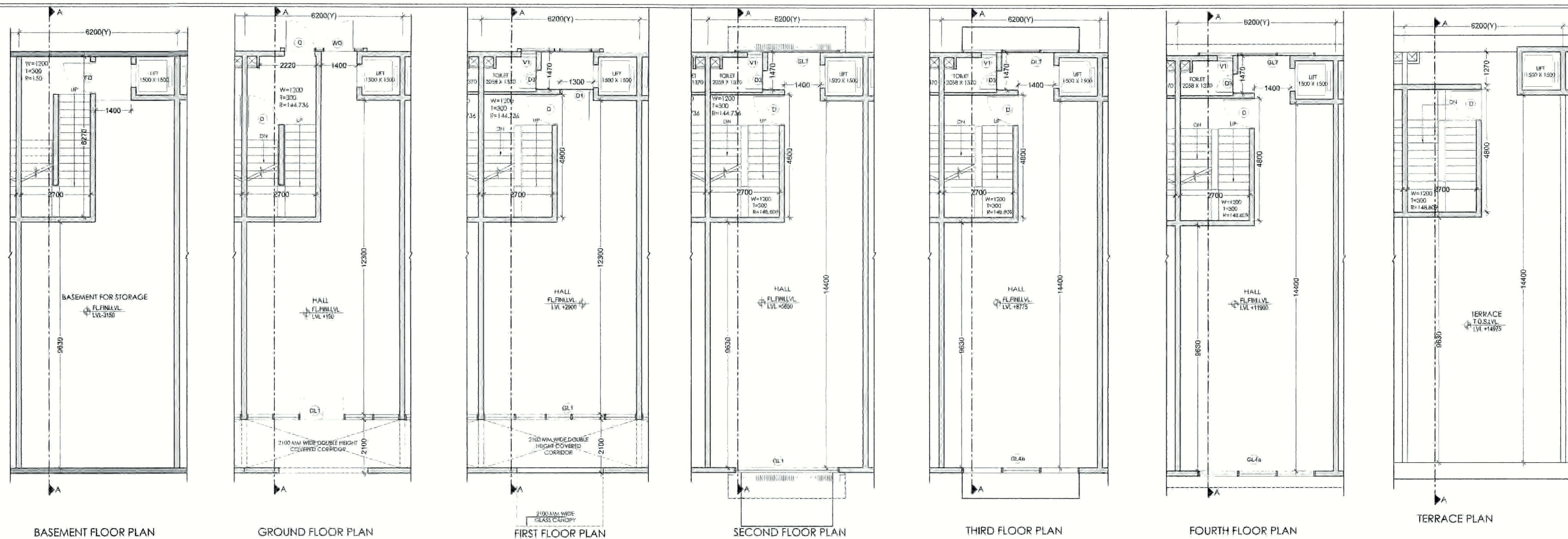
ACPL Design Ltd

PROJECT -
COMMERCIAL PLOTTED COLONY ON THE LAND
MEASURING 2.16875 ACRES IN THE REVENUE
ESTATE OF VILLAGE BEGUMPUR KHATOLA
SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID
INFRA TECH PVT. LTD.

AUTH. SIGN. ARCHITECT'S SIGN.

DRAWING TITLE
BLOCK-C _ PLOT OF (6.2x16.5) 102.30 SQMT.
PLOT NO. C-04, C08

DRAWING NO. C-304 SCALE: 1:100



BASEMENT FLOOR PLAN

GROUND FLOOR PLAN

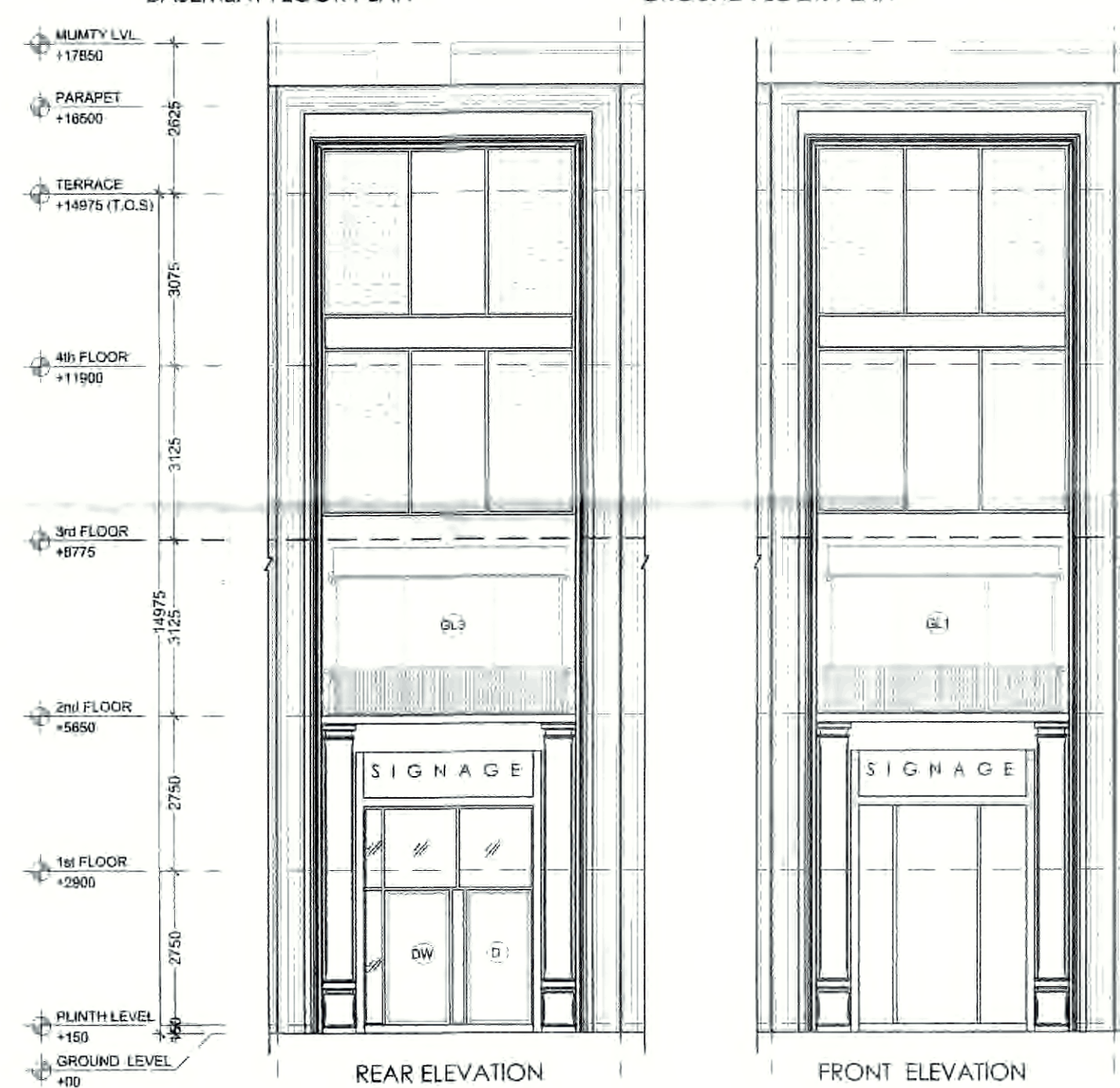
FIRST FLOOR PLAN

SECOND FLOOR PLAN

THIRD FLOOR PLAN

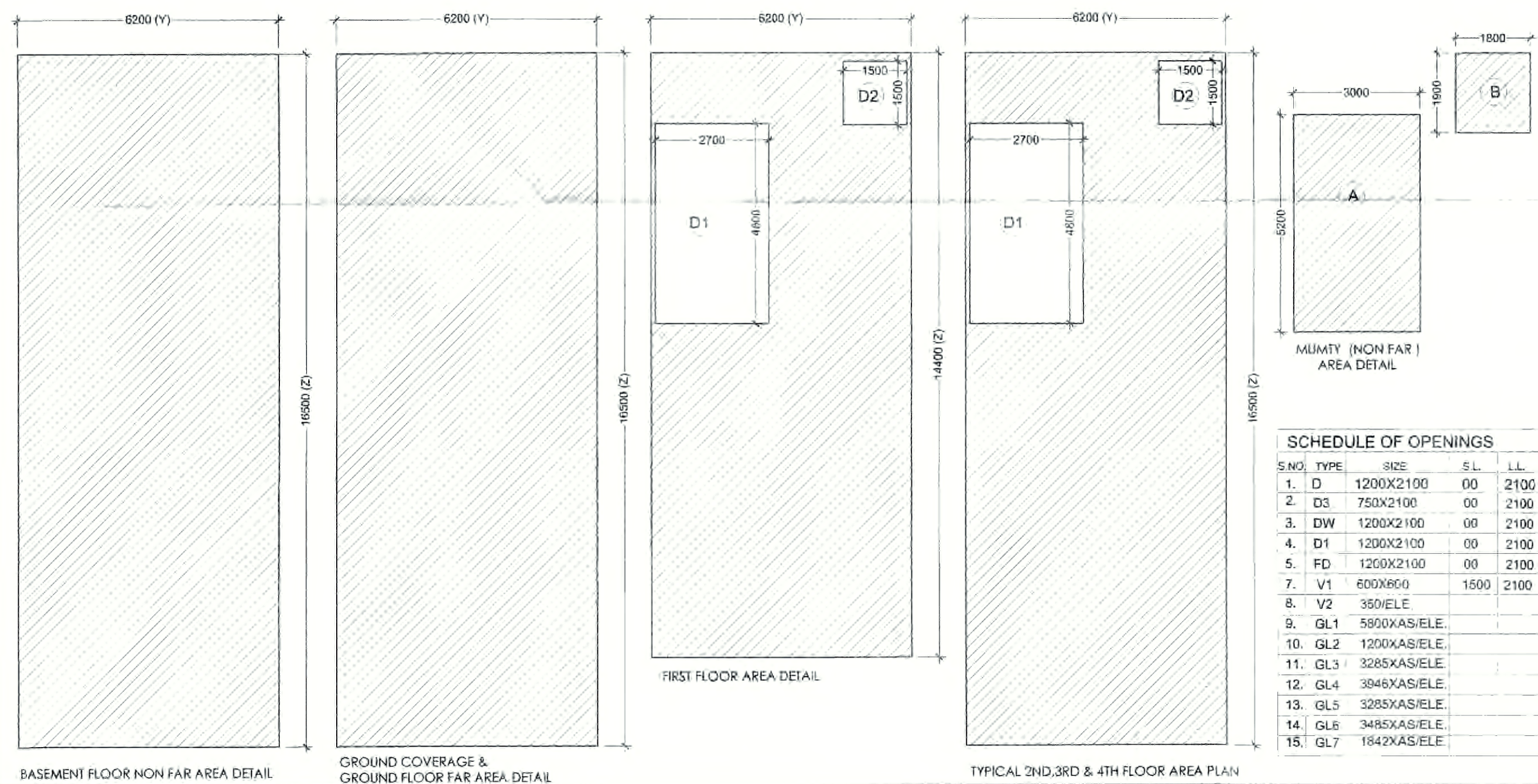
FOURTH FLOOR PLAN

TERRACE PLAN



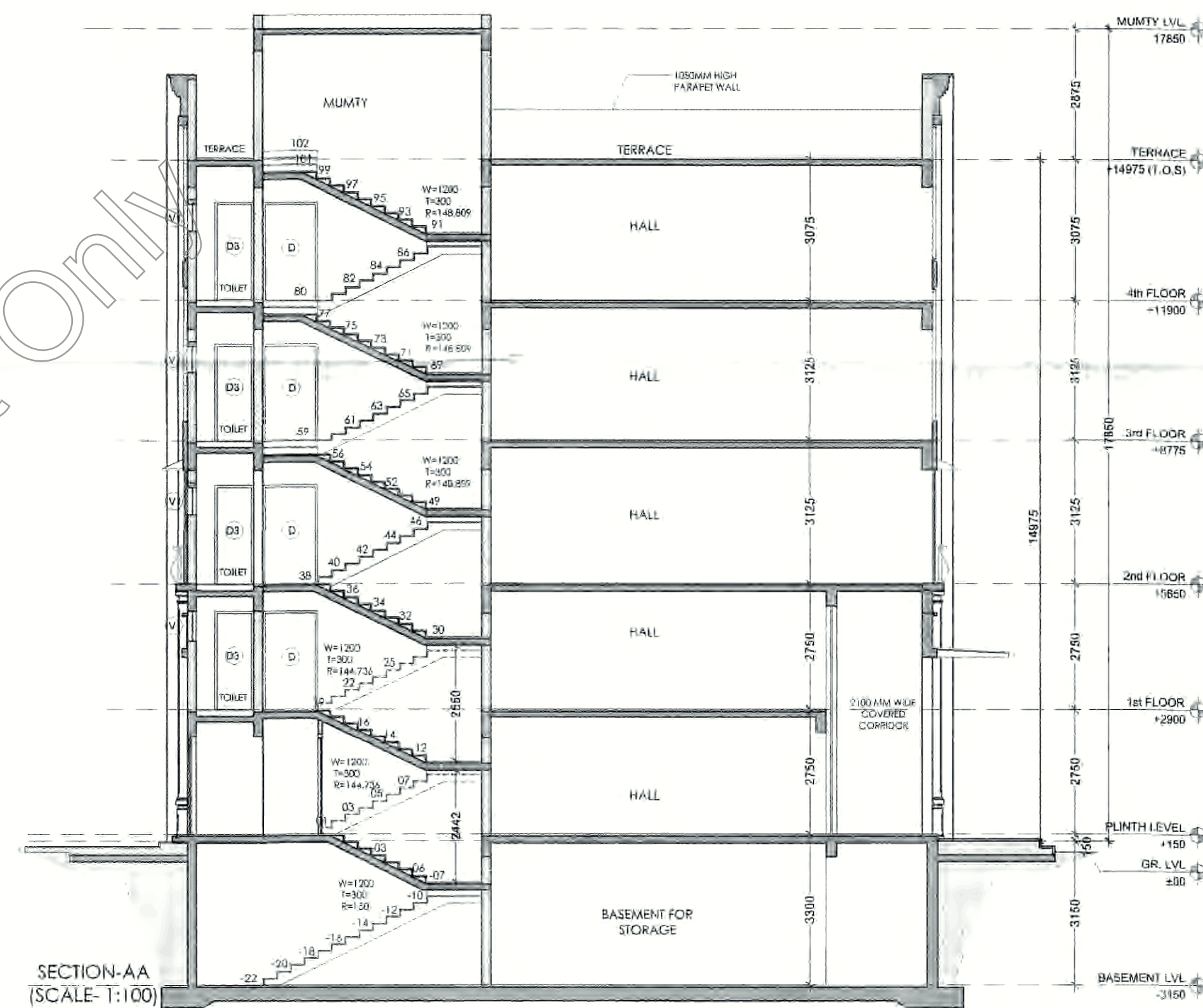
REAR ELEVATION

FRONT ELEVATION



SCHEDULE OF OPENINGS

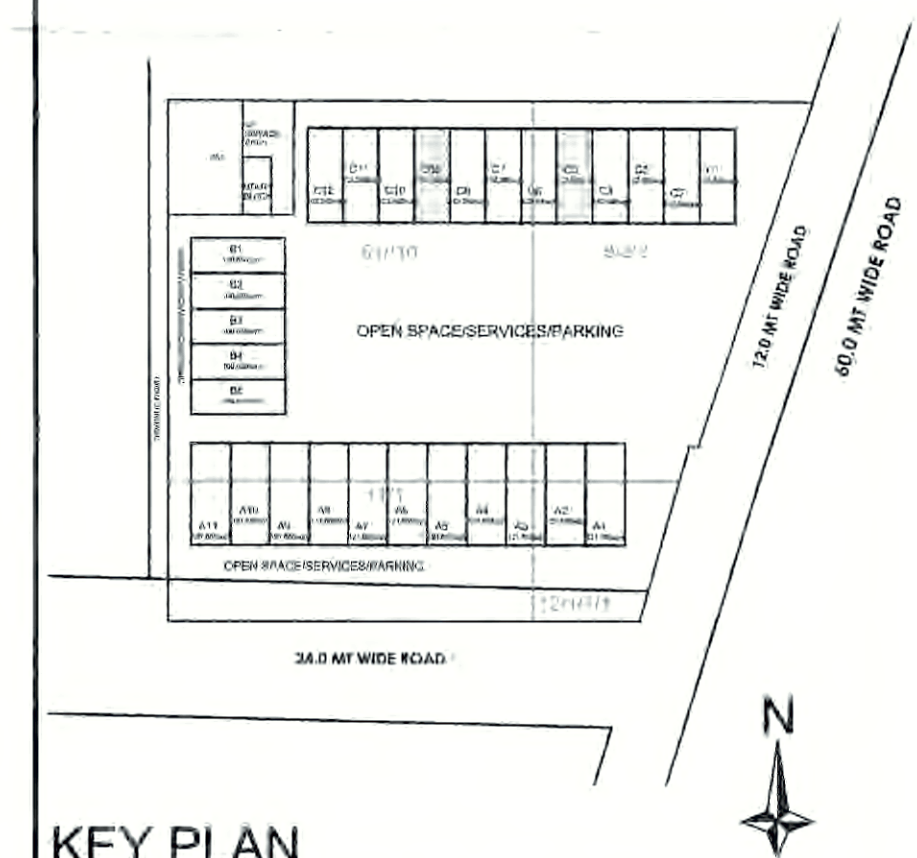
S.NO.	TYPE	SIZE	S.L.	L.L.
1.	D	1200X2100	00	2100
2.	D3	750X2100	00	2100
3.	DW	1200X2100	00	2100
4.	D1	1200X2100	00	2100
5.	FD	1200X2100	00	2100
6.	V1	600X900	1500	2100
7.	V2	350X150		
8.	GL1	5900XAS/IELE		
9.	GL2	1200XAS/IELE		
10.	GL3	3285XAS/IELE		
11.	GL4	3946XAS/IELE		
12.	GL5	3285XAS/IELE		
13.	GL6	3485XAS/IELE		
14.	GL7	1842XAS/IELE		



SECTION-AA
(SCALE: 1:100)

(HITESH SHARMA) STP (HQ)
 (R. SINGH) CH (HR)
 (K. MAKRAND PANDURANG, IAS) DTCP (HR)
 (RAM AVTAR BASSI) AD (HQ)
 (RAKESH BANSAL) ATP (HQ)

DRG. NO.: DTCP 82.75 (XV) DATED: 25-04-22



KEY PLAN
BLOCK-C_ PLOT NO. C05, C09

PRINCIPAL ARCHITECT:

ACPL

ACPL Design Ltd

PROJECT:-

COMMERCIAL PLOTTED COLONY ON THE LAND MEASURING 2.16675 ACRES IN THE REVENUE ESTATE OF VILLAGE BEGUMPUR KHATOLA SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID INFRA TECH PVT. LTD.

[Signature]

AUTH. SIGN.

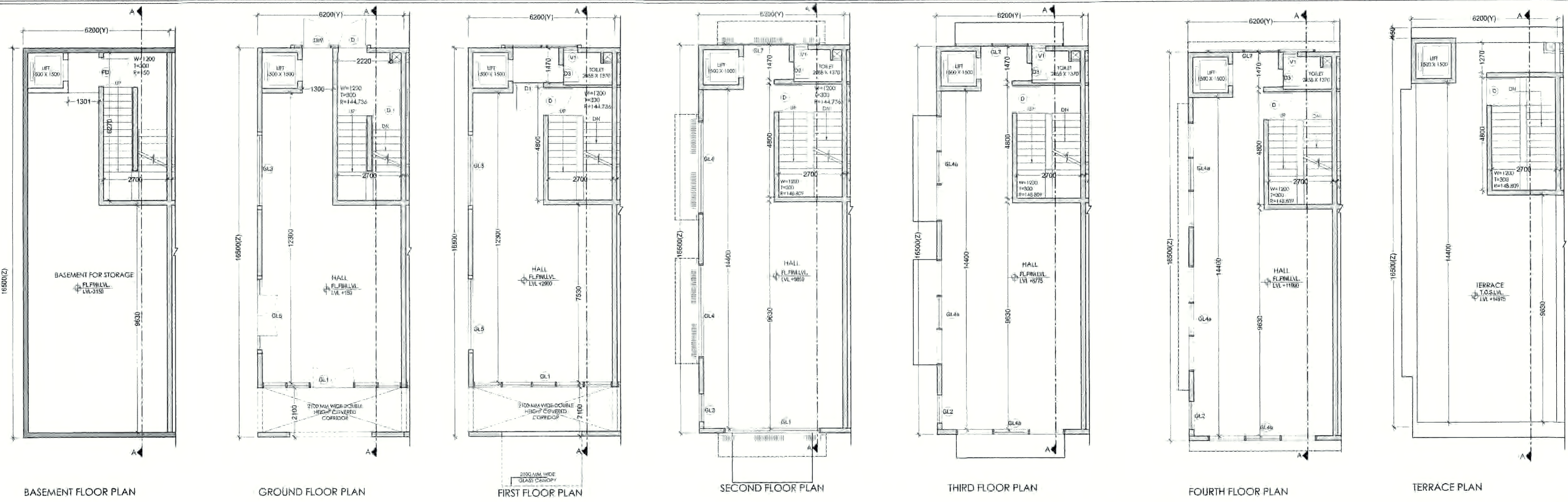
DRAWING TITLE:

BLOCK-C_ PLOT OF (6.2x16.5) 102.30 SQMT, PLOT NO. C-05, C09

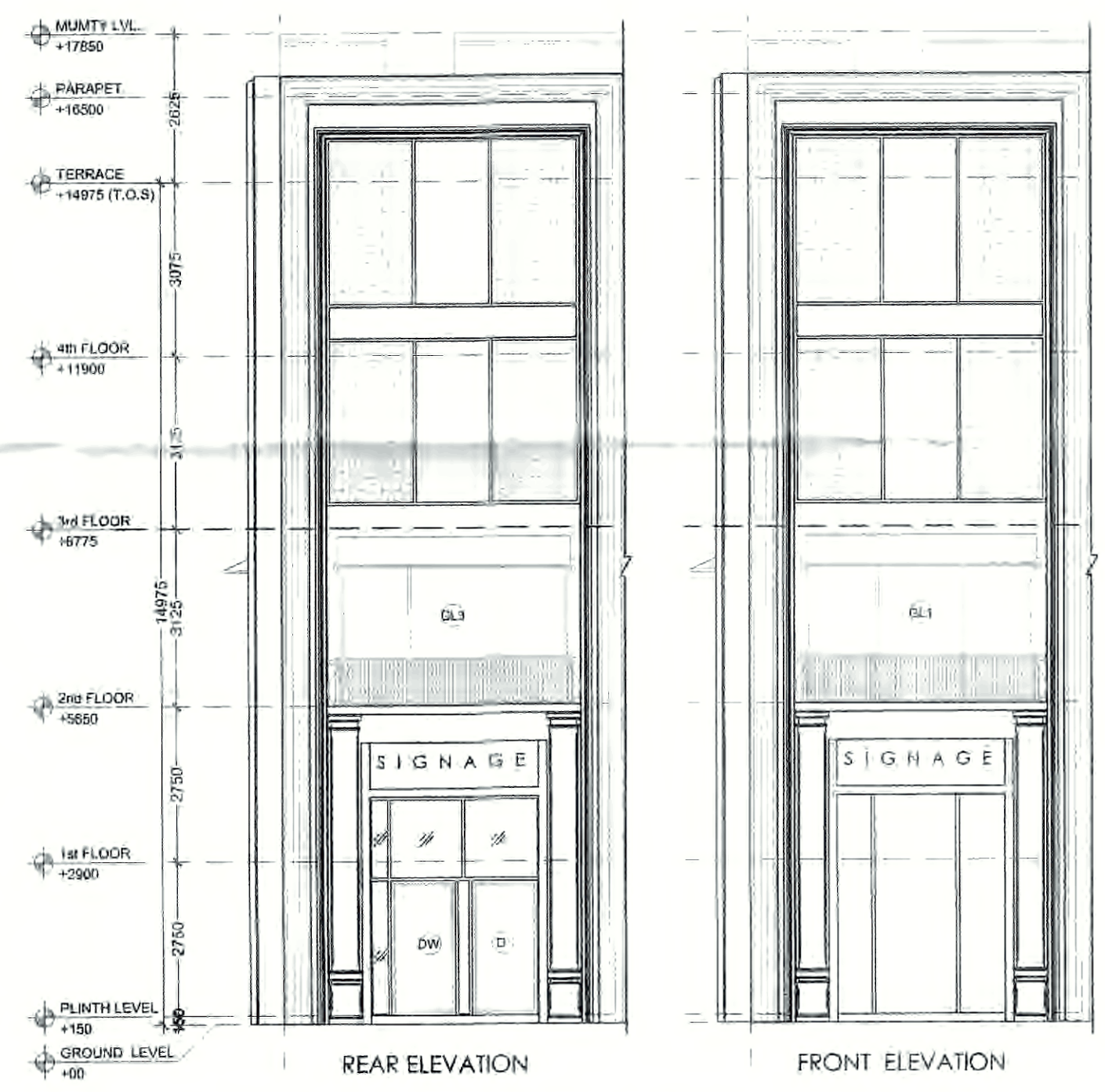
DRAWING NO

C-305

SCALE: 1 : 100



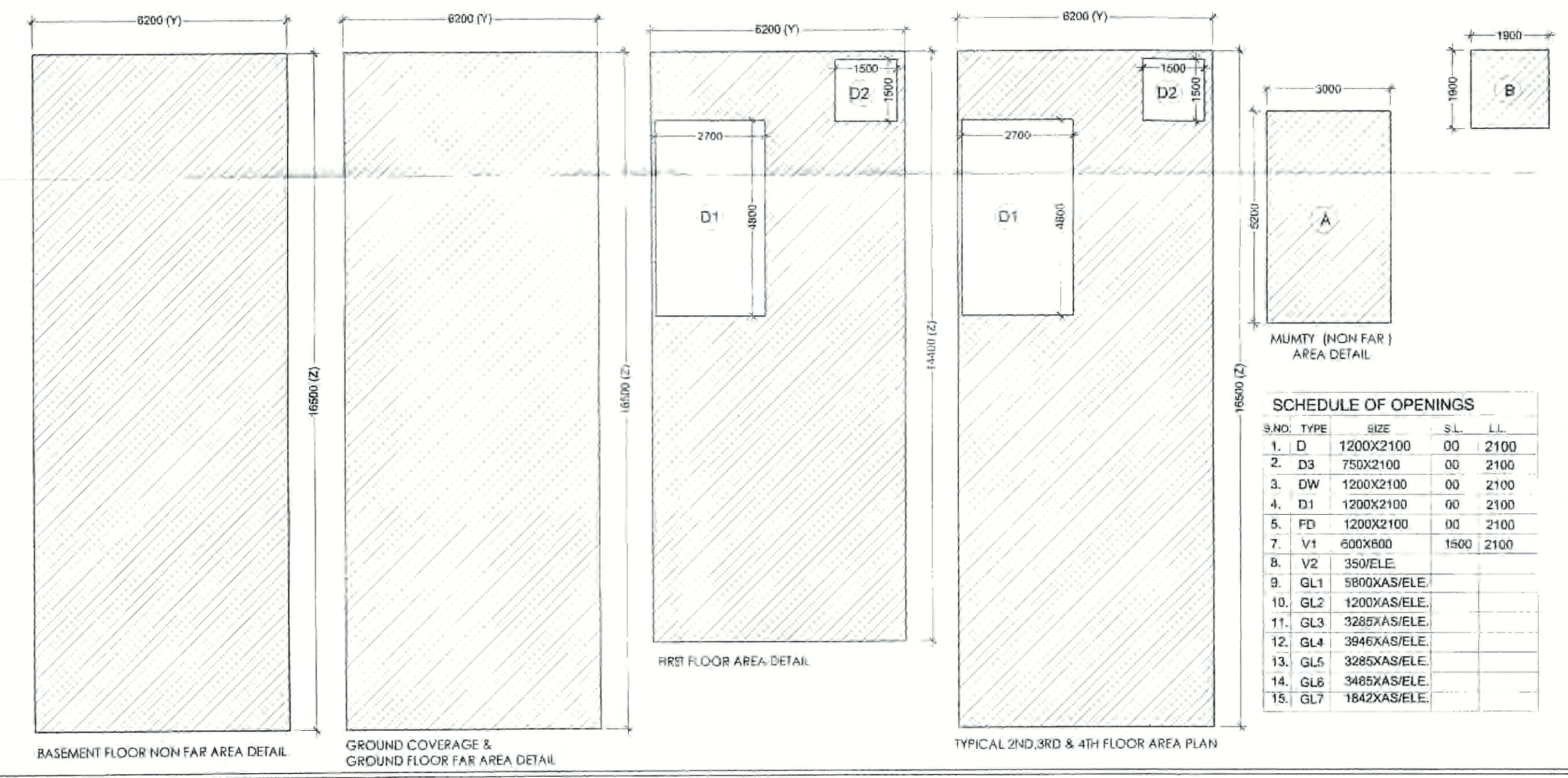
BASEMENT FLOOR PLAN GROUND FLOOR PLAN FIRST FLOOR PLAN SECOND FLOOR PLAN THIRD FLOOR PLAN FOURTH FLOOR PLAN TERRACE PLAN



REAR ELEVATION FRONT ELEVATION

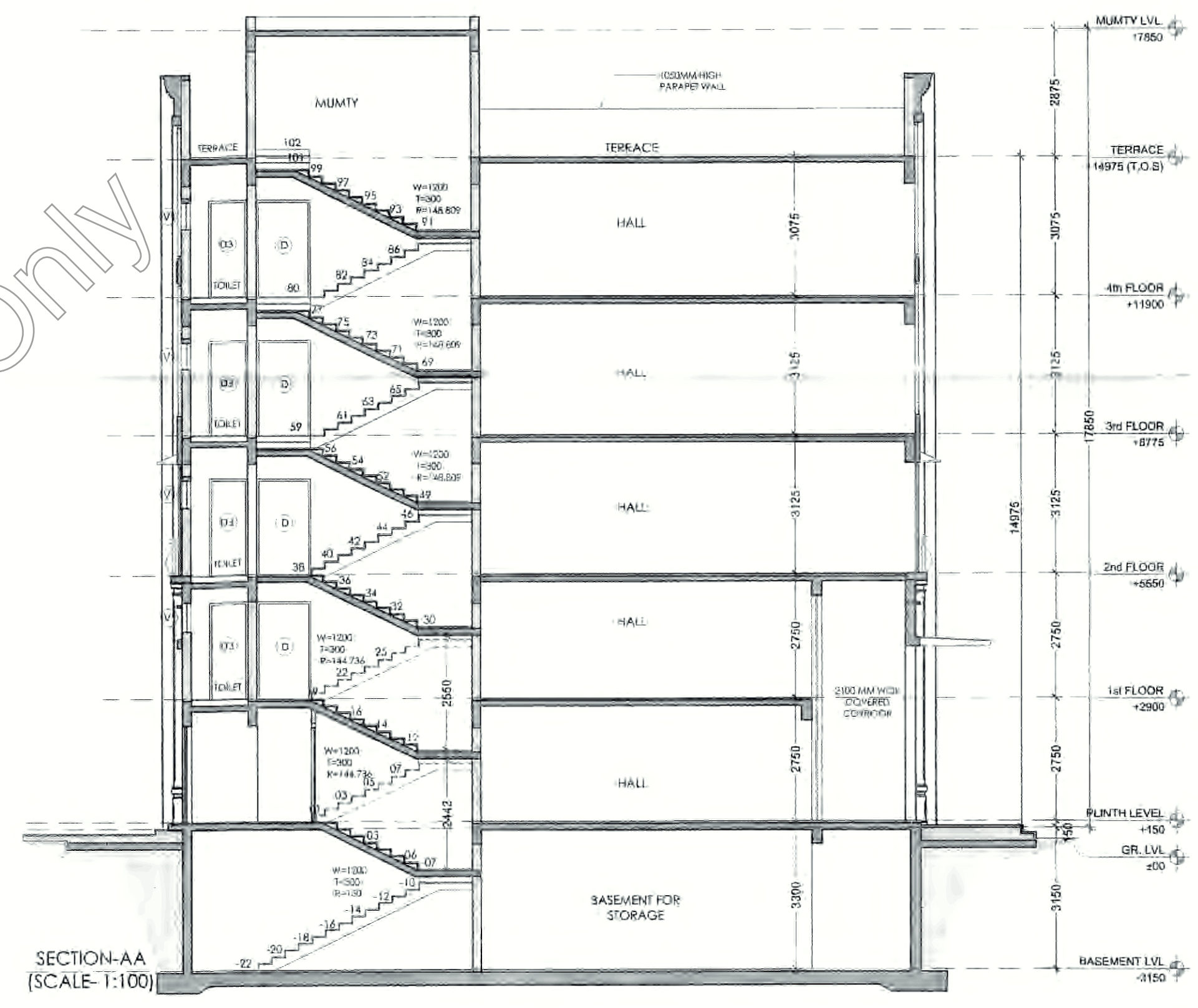


SIDE ELEVATION



SCHEDULE OF OPENINGS

S.NO.	TYPE	SIZE	S.L.	L.L.
1.	D	1200X2100	00	2100
2.	D3	750X2100	00	2100
3.	DW	1200X2100	00	2100
4.	D1	1200X2100	00	2100
5.	FD	1200X2100	00	2100
6.	V1	600X600	1500	2100
7.	V2	350X350		
8.	GL1	5800XAS/ELE		
9.	GL2	1200XAS/ELE		
10.	GL3	3285XAS/ELE		
11.	GL4	3946XAS/ELE		
12.	GL5	3285XAS/ELE		
13.	GL6	3465XAS/ELE		
14.	GL7	1842XAS/ELE		



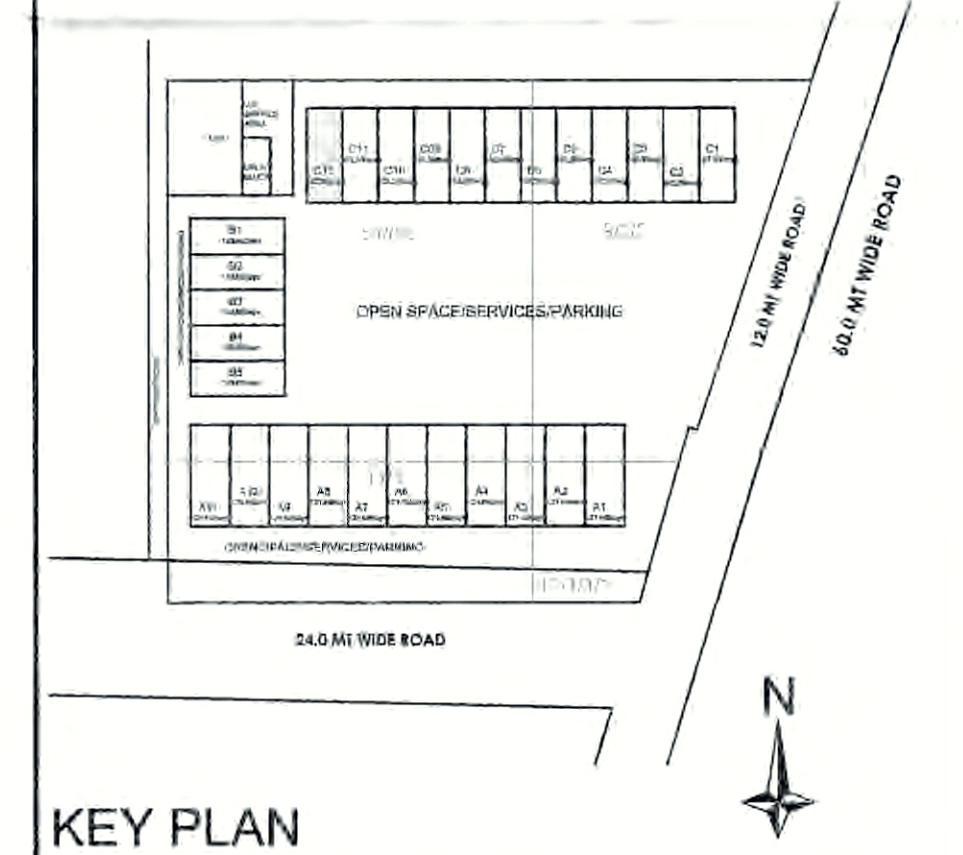
SECTION-AA (SCALE 1:100)

AREA DETAIL SUMMARY (sq.ft.)

FLOORS	F.A.R.	NON F.A.R.
BASEMENT		102.300
GROUND FLOOR	102.300	
1st FLOOR	74.070	15.210
2nd FLOOR	87.090	15.210
3rd FLOOR	87.090	15.210
4th FLOOR	87.090	15.210
TERRACE (MUMTY+LIFT)	19.710	
TOTAL	437.640	162.330

Hitesh Sharma (Hitesh Sharma) STP (HQ)
 P.P. Singh (P.P. Singh) STP (HR)
 K. Makrand Pandurang, IAS (K. Makrand Pandurang, IAS) DTCP (HR)
 Ram Avtar Bansi (Ram Avtar Bansi) AD (HQ)
 Ramesh Bansal (Ramesh Bansal) ATP (HQ)

DRG. NO. - DTCP-6275 (XIV) DATED: 25-04-12



KEY PLAN
BLOCK-C _ PLOT NO. C12

ACPL
 ACPL Design Ltd.
 PROJECT:-
 COMMERCIAL PLOTTED COLONY ON THE LAND MEASURING 2.16875 ACRES IN THE REVENUE ESTATE OF VILLAGE BEGUMPUR KHATOLA SECTOR-73, DISTRICT GURUGRAM FOR PYRAMID INFRA TECH PVT. LTD.

AUTH. SIGN. ARCHITECT'S SIGN.
 DRAWING TITLE:
 BLOCK-C _ PLOT OF (6.2X16.5) 102.30 SQMT, PLOT NO. C-12
 DRAWING NO. C-306 SCALE 1 : 100