

BR-III

(See Rule 44 of Act 41 of 1963)

From

Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

To

Parevnath Developers LTD. ✓

Parevnath Metro Tower

near Shahdara Metro Station

Shahdara Delhi-32

Memo no. 4233

Dated: 6/10/09

Sub: Approval of building plans in respect of plot no. A-96

Parevnath Paliwal City Sector 38 & 39 Panipat

Ref: Your application no. .... dated 11-9-09

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst no. SDP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
3. This plan is being approved without prejudice to the status of the licenses for the colony.
4. You will get setbacks of your building (s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
5. That you will get occupation certificate from competent authority before occupying the above said building.
6. That you will provide rain water harvesting system as per direction of the competent authority.
7. That responsibility of the structure stability and the structure safety against the earthquake of the building block shall be solely of the Architect/Owner.
8. That the basement setback shall be minimum 6 feet from the common wall in the event the adjoining plots is build up without basement adjoining the common wall.
9. That you will not put up the proposed building into any use other than residential purposes and you shall not raise any further construction without getting the approval of competent authority, otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
10. Niches shall not be permissible in common walls.
11. Public Health services shall be connected as per approved services/plans.
12. The flushing cistern shall be of 8 Ltr. Capacity.

- 13. The work of P.H. services be got executed as per standard. The arrangement of roof top rain water harvesting will be made by the plot owner on the plot where area of roof is 100 sqm. or more.
- 14. Specification of proposed building in Form BR-II.
- 15. Fire safety norms approved by National Building Code shall be adhered.
- 16. The construction of building will be undertaken as per approved building plan, structural design, given by the structure engineer, Fire Safety if applicable approved by competent authority.
- 17. Certificate of conformity to regulation and structural safety for relevant building (depending on type and height) in Form BR-IVA has submitted by owner.
- 18. No drainage sanitary (including water supply) pipes shall be allowed in common walls.
- 19. Completion of basic internal amenities may be assured and size of plot as per approved scheme shall be checked.
- 20. Solar water heating system will be provided for plot having 400 Sq. yd. area or above.
- 21. To take energy conservation measures CFL lights will be used.
- 22. The sanction of this building plan is valid for two years i.e. upto 5/10/2011

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above

  
 Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

- 1. The Senior Town Planner, Rohtak.
- 2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no. 10990 Dated: 24-9-09
- 3. The Distt. Town Planner (E) Panipat

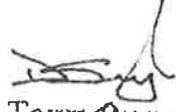
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Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

- 13. The work of P.H. services be got executed as per standard. The arrangement of roof top rain water harvesting will be done by the plot owner on the plot where area of roof is 100 sqm. or more.
- 14. Sanitation of project in Form ...
- 15. Fire safety norms applicable to National Building Code shall be adhered.
- 16. The construction of building will be undertaken as per approved building plan, structural design, given by the structural engineer, Fire Safety if applicable approved by competent authority.
- 17. Certificate of conformity to regulation of structural safety for relevant building (depending on type and height) in Form ... IVA has submitted by owner.
- 18. No drainage sanitary (including water supply) pipes shall be allowed in common walls.
- 19. Completion of basic internal amenities may be assured and size of plot as per approved scheme shall be checked.
- 20. Solar water heating system will be provided for plot having 400 Sq. yd. area or above.
- 21. To take energy conservation measures CFL lights will be used.
- 22. The sanction of this building plan is valid for two years i.e. upto 5/10/2011

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DA/As above

  
 Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

- 1. The Senior Town Planner, Rohtak.
- 2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no. ... Dated: ...
- 3. DISTT TOWN PLANNER (C) PANIPAT

  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

BR-11  
(See Rule 44 of Act 11 of 1963)

From Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

To Parsvnath Developers LTD  
Parsvnath Metro Tower,  
near - Shahdara Metro Station  
Shahdara Delhi - 32



Memo no. 4237 Dated: 6/10/09

Subject: Approval of building plans in respect of plot nos. A-57, 99, 101, 103, 112 & 113  
Parsvnath Palival City, Sector 38 & 39, Panipat

Ref: Your application no. \_\_\_\_\_ dated 11-9-09

Building Plan Committee constituted of by the Director, Town and Country Planning, Haryana, Chandigarh no. DTP/D/09/439 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Panjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
3. This plan is being approved without prejudice to the status of the licenses for the colony.
4. You will get setbacks of your building (s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
5. That you will get occupation certificate from competent authority before occupying the above said building.
6. That you will provide rain water harvesting system as per direction of the competent authority.
7. That responsibility of the structure stability and the structure safety against the earthquake of the building block shall be solely of the Architect/Owner.
8. That the basement setback shall be minimum 6 feet from the common wall in the event the adjoining plots is build up without basement adjoining the common wall.
9. That you will not put up the proposed building into any use other than residential purposes and you shall not raise any further construction without getting the approval of competent authority, otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
10. Niches shall not be permissible in common walls.
11. Public Health services shall be connected as per approved services/plans.
12. The flushing cistern shall be of 8 Ltr. Capacity.

BR-III

(See Rule 44 of Act 41 of 1963)

From

Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

To

Parsvnath Developers LTD.  
Parsventh metro tower,  
near. Shahdara metro station  
Shahdara, Delhi - 32

Memo no. 4229

Dated: 6/10/09

Sub: Approval of building plans in respect of plot no. A-95, ~~243~~

Parsvnath, Palival, City, Sector - 38 & 39, Panipat

Ref: Your application no. .... dated .. 11-9-09

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst no. SDP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
3. This plan is being approved without prejudice to the status of the licenses for the colony.
4. You will get setbacks of your building (s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
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9. That you will not put up the proposed building into any use other than residential purposes and you shall not raise any further construction without getting the approval of competent authority, otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
10. Niches shall not be permissible in common walls.
11. Public Health services shall be connected as per approved services/plans.
12. The flushing cistern shall be of 8 Ltr. Capacity.

- 13. The work of P.H. services be got executed as per standard. The arrangement of roof top rain water harvesting will made by the plot owner on the plot where area of roof is 100 sqm. or more.
- 14. Specification of proposed building in Form BR-II.
- 15. Fire safety norms approved by National Building Code shall be adhered.
- 16. The construction of building will be undertaken as per approved building plan, structural design, given by the structure engineer, Fire Safety if applicable approved by competent authority.
- 17. Certificate of conformity to regulation and structural safety for relevant building (depending on type and height) in Form BR-IVA has submitted by owner.
- 18. No drainage sanitary (including water supply) pipes shall be allowed in common walls.
- 19. Completion of basic internal amenities may be assured and size of plot as per approved scheme shall be checked.
- 20. Solar water heating system will be provided for plot having 400 Sq. yd. area or above.
- 21. To take energy conservation measures CFL lights will be used.
- 22. The sanction of this building plan is valid for two years i.e. upto 5/10/2011...

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above



Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

- 1. The Senior Town Planner, Rohtak.
- 2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no: 10992 Dated: 24-9-09
- 3. The Distt. Town Planner (E) Panipat

Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

15

19

BR-III  
(See Rule 44 of Act 41 of 1963)

From Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

To PARSVNATH DEVELOPERS LTD.  
Parsvnath Metro Tower  
Near Shahdara Metro Station  
Shahdara, Delhi-32.

E

Memo no. 1541 Dated: 2-7-99

Sub: Approval of building plans in respect of plot no. B-118, 128, Parsvnath  
Palival city sector 38 & 39 Panipat

Ref: Your application no. \_\_\_\_\_ dated 20.5.99

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst no. SDP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
3. This plan is being approved without prejudice to the status of the licenses for the colony.
4. You will get setbacks of your building (s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
5. That you will get occupation certificate from competent authority before occupying the above said building.
6. That you will provide rain water harvesting system as per direction of the competent authority.
7. That responsibility of the structure stability and the structure safety against the earthquake of the building block shall be solely of the Architect/Owner.
8. That the basement setback shall be minimum 6 feet from the common wall in the event the adjoining plots is build up without basement adjoining the common wall.
9. That you will not put up the proposed building into any use other than residential purposes and you shall not raise any further construction without getting the approval of competent authority, otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
10. Niches shall not be permissible in common walls.
11. Public Health services shall be connected as per approved services/plans.
12. The flushing cistern shall be of 8 Ltr. Capacity.

*[Handwritten signature]*

- 13. The work of P.H. services be got executed as per standard. The arrangement of roof top rain water harvesting will made by the plot owner on the plot where area of roof is 100 sqm. or more.
- 14. Specification of proposed building in Form BR-II.
- 15. Fire safety norms approved by National Building Code shall be adhered.
- 16. The construction of building will be undertaken as per approved building plan, structural design, given by the structure engineer, Fire Safety if applicable approved by competent authority.
- 17. Certificate of conformity to regulation and structural safety for relevant building (depending on type and height) in Form BR-IVA has submitted by owner.
- 18. No drainage sanitary (including water supply) pipes shall be allowed in common walls.
- 19. Completion of basic internal amenities may be assured and size of plot as per approved scheme shall be checked.
- 20. Solar water heating system will be provided for plot having 400 Sq. yd. area or above.
- 21. To take energy conservation measures CFL lights will be used.
- 22. The sanction of this building plan is valid for two years i.e. upto ... 1-7-011 .....

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above

  
 Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

- 1. The Senior Town Planner, Rohtak.
- 2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no. 7189 Dated: 15-6-09
- 3. DITT. TOWN Planner @ Panipat

Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

BR-III

(See Rule 44 of Act 41 of 1963)

From

Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

F

To

PARSVNATH DEVELOPERS LTD.  
Parsvnath Metro Tower  
Near Shahdara Metro Station  
Shahdara, Delhi-32.

Memo no. 1533 Dated: 2-7-09

Sub: Approval of building plans in respect of plot no. B-135, 154, 162 Sector-38-39

Parsvnath Palwal city Panipat

Ref: Your application no. .... dated .....

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst no. SDP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
3. This plan is being approved without prejudice to the status of the licenses for the colony.
4. You will get setbacks of your building (s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
5. That you will get occupation certificate from competent authority before occupying the above said building.
6. That you will provide rain water harvesting system as per direction of the competent authority.
7. That responsibility of the structure stability and the structure safety against the earthquake of the building block shall be solely of the Architect/Owner.
8. That the basement setback shall be minimum 6 feet from the common wall in the event the adjoining plots is build up without basement adjoining the common wall.
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10. Niches shall not be permissible in common walls.
11. Public Health services shall be connected as per approved services/plans.
12. The flushing cistern shall be of 8 Ltr. Capacity.

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- 13. The work of P.H. services be got executed as per standard. The arrangement of roof top rain water harvesting will made by the plot owner on the plot where area of roof is 100 sqm. or more.
- 14. Specification of proposed building in Form BR-II.
- 15. Fire safety norms approved by National Building Code shall be adhered.
- 16. The construction of building will be undertaken as per approved building plan, structural design, given by the structure engineer, Fire Safety if applicable approved by competent authority.
- 17. Certificate of conformity to regulation and structural safety for relevant building (depending on type and height) in Form BR-IVA has submitted by owner.
- 18. No drainage sanitary (including water supply) pipes shall be allowed in common walls.
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- 20. Solar water heating system will be provided for plot having 400 Sq. yd. area or above.
- 21. To take energy conservation measures CFL lights will be used.
- 22. The sanction of this building plan is valid for two years i.e. upto ... 1-7-011

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above

  
 Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

- 1. The Senior Town Planner, Rohtak.
- 2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no. ... 7190 Dated: 15-6-09

  
 Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

19

16

BR-III  
(See Rule 44 of Act 41 of 1963)

From  
Dist. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

To  
**PARSVNATH DEVELOPERS LTD.**  
Parsvnath Metro Tower  
Near Shahdara Metro Station  
Shahdara, Delhi-32.

Memo no. 1545 Dated: 2-7-20

Sub: Approval of building plans in respect of plot no. C-199 sector-38-39  
Parsvnath, Paliwal city Panipat

Ref: Your application no. .... dated .....

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst no. SDP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
3. This plan is being approved without prejudice to the status of the licenses for the colony.
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7. That responsibility of the structure stability and the structure safety against the earthquake of the building block shall be solely of the Architect/Owner.
8. That the basement setback shall be minimum 6 feet from the common wall in the event the adjoining plots is build up without basement adjoining the common wall.
9. That you will not put up the proposed building into any use other than residential purposes and you shall not raise any further construction without getting the approval of competent authority, otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
10. Niches shall not be permissible in common walls.
11. Public Health services shall be connected as per approved services/plans.
12. The flushing cistern shall be of 8 Ltr. Capacity.

- 13. The work of P.H. services be got executed as per standard. The arrangement of roof top rain water harvesting will made by the plot owner on the plot where area of roof is 100 sqm. or more.
- 14. Specification of proposed building in Form BR-II.
- 15. Fire safety norms approved by National Building Code shall be adhered.
- 16. The construction of building will be undertaken as per approved building plan, structural design, given by the structure engineer, Fire Safety if applicable approved by competent authority.
- 17. Certificate of conformity to regulation and structural safety for relevant building (depending on type and height) in Form BR-IVA has submitted by owner.
- 18. No drainage sanitary (including water supply) pipes shall be allowed in common walls.
- 19. Completion of basic internal amenities may be assured and size of plot as per approved scheme shall be checked.
- 20. Solar water heating system will be provided for plot having 400 Sq. yd. area or above.
- 21. To take energy conservation measures CFL lights will be used.
- 22. The sanction of this building plan is valid for two years i.e. upto 1-7-11

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above

  
 Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

- 1. The Senior Town Planner, Rohtak.
- 2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no. 7187 Dated: 15-6-09

/  
 Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

BR-III  
(See Rule 44 of Act 41 of 1963)

From

Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

To

Ramesh Developers Ltd.  
Ramesh Metro Towers  
near Shahdara Metro Station  
Shahdara, Delhi-32

Memo no.

1561

Dated:

2-7-09

Sub:

Approval of building plans in respect of plot no. 40 Pocket B  
M/s. Ramesh Developers Ltd. Sector-38  
Panipat.

Ref:

Your application no. 41 dated 2-05-09

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst no. 5DP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
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11. Public Health services shall be connected as per approved services/plans.
12. The flushing cistern shall be of 8 Ltr. Capacity.

13. The work of P.H. services be got executed as per standard. The arrangement of roof top rain water harvesting will made by the plot owner on the plot where area of roof is 100 sqm. or more.
14. Specification of proposed building in Form BR-II.
15. Fire safety norms approved by National Building Code shall be adhered.
16. The construction of building will be undertaken as per approved building plan, structural design, given by the structure engineer, Fire Safety if applicable approved by competent authority.
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20. Solar water heating system will be provided for plot having 400 Sq. yd. area or above.
21. To take energy conservation measures CFL lights will be used.
22. The sanction of this building plan is valid for two years i.e. upto 1-2-2011

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above

*Nishant*  
Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

1. The Senior Town Planner, Rohtak.
2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no. 7184 Dated: 15-6-09
3. The Distt. Town Planner (E) Panipat

/

Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

BR-III

(See Rule 44 of Act 41 of 1963)

From

Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

To

PARSVNATH DEVELOPERS LTD.  
Parsvnath Metro Tower  
Near Shahdara Metro Station  
Shahdara, Delhi - 32.

Memo no. 1553 Dated: 2-7-09

Sub: Approval of building plans in respect of plot no. C-201, Sector 38439,  
Parsvnath Palival City, Panipat

Ref: Your application no. 36 dated 20/5/09

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst no. SDP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
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- 21. To take energy conservation measures CFL lights will be used.
- 22. The sanction of this building plan is valid for two years i.e. upto ... 1-7-011

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above

  
 Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

- 1. The Senior Town Planner, Rohtak.
- 2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no. 7194 Dated: 15/6/09

/  
 Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

(25)  
(4)

BR-III  
(See Rule 44 of Act 41 of 1963)

From Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

To  
PARSVNATH DEVELOPERS LTD.  
Parsvnath Metro Tower  
Near Shandara Metro Station  
Shandara, Delhi-32.

A

Memo no. 1565 Dated: 2-7-09

Sub: Approval of building plans in respect of plot no. C-198, 200 Sector-38-39  
Parsav Nath Pali Val city Panipat

Ref: Your application no. .... dated .....

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst. no. SDP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
3. This plan is being approved without prejudice to the status of the licenses for the colony.
4. You will get setbacks of your building (s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
5. That you will get occupation certificate from competent authority before occupying the above said building.
6. That you will provide rain water harvesting system as per direction of the competent authority.
7. That responsibility of the structure stability and the structure safety against the earthquake of the building block shall be solely of the Architect/Owner.
8. That the basement setback shall be minimum 6 feet from the common wall in the event the adjoining plots is build up without basement adjoining the common wall.
9. That you will not put up the proposed building into any use other than residential purposes and you shall not raise any further construction without getting the approval of competent authority, otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
10. Niches shall not be permissible in common walls.
11. Public Health services shall be connected as per approved services/plans.
12. The flushing cistern shall be of 8 Ltr. Capacity.

K

13. The work of P.H. services be got executed as per standard. The arrangement of roof top rain water harvesting will made by the plot owner on the plot where area of roof is 100 sqm. or more.
14. Specification of proposed building in Form BR-II.
15. Fire safety norms approved by National Building Code shall be adhered.
16. The construction of building will be undertaken as per approved building plan, structural design, given by the structure engineer, Fire Safety if applicable approved by competent authority.
17. Certificate of conformity to regulation and structural safety for relevant building (depending on type and height) in Form BR-IVA has submitted by owner.
18. No drainage sanitary (including water supply) pipes shall be allowed in common walls.
19. Completion of basic internal amenities may be assured and size of plot as per approved scheme shall be checked.
20. Solar water heating system will be provided for plot having 400 Sq. yd. area or above.
21. To take energy conservation measures CFL lights will be used.
22. The sanction of this building plan is valid for two years i.e. upto ... 1-7-01/

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above

*[Signature]*  
Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

1. The Senior Town Planner, Rohtak.
2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no. 7186 Dated: 15-6-09

/   
Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

BR-III

(See Rule 44 of Act 41 of 1963)

From Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

To  
PARSVNATH DEVELOPERS LTD.  
Parsvnath Metro Tower  
Near Shahdara Metro Station  
Shahdara, Delhi-32.

Memo no. 1537 Dated: 2-7-09

Sub: Approval of building plans in respect of plot no. ...B-39... Parsvnath.  
Palwal city Sector - 38 & 39 Panipat.

Ref: Your application no. .... dated 20-5-09

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst no. 5DP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
3. This plan is being approved without prejudice to the status of the licenses for the colony.
4. You will get setbacks of your building (s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
5. That you will get occupation certificate from competent authority before occupying the above said building.
6. That you will provide rain water harvesting system as per direction of the competent authority.
7. That responsibility of the structure stability and the structure safety against the earthquake of the building block shall be solely of the Architect/Owner.
8. That the basement setback shall be minimum 6 feet from the common wall in the event the adjoining plots is build up without basement adjoining the common wall.
9. That you will not put up the proposed building into any use other than residential purposes and you shall not raise any further construction without getting the approval of competent authority, otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
10. Niches shall not be permissible in common walls.
11. Public Health services shall be connected as per approved services/plans.
12. The flushing cistern shall be of 8 Ltr. Capacity.

F

Handwritten signature or mark.

13. The work of P.H. services be got executed as per standard. The arrangement of roof top rain water harvesting will made by the plot owner on the plot where area of roof is 100 sqm. or more.
14. Specification of proposed building in Form BR-II.
15. Fire safety norms approved by National Building Code shall be adhered.
16. The construction of building will be undertaken as per approved building plan, structural design, given by the structure engineer, Fire Safety if applicable approved by competent authority.
17. Certificate of conformity to regulation and structural safety for relevant building (depending on type and height) in Form BR-IVA has submitted by owner.
18. No drainage sanitary (including water supply) pipes shall be allowed in common walls.
19. Completion of basic internal amenities may be assured and size of plot as per approved scheme shall be checked.
20. Solar water heating system will be provided for plot having 400 Sq. yd. area or above.
21. To take energy conservation measures CFL lights will be used.
22. The sanction of this building plan is valid for two years i.e. upto ... 1-7-011

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above

*[Signature]*  
Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

1. The Senior Town Planner, Rohtak.
2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no. 2192 Dated: 15-6-09
3. Distt Town Planner (as Panipat)

*[Signature]*  
Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

BR-III  
(See Rule 44 of Act 41 of 1963)

From Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

F

To  
PARSVNATH DEVELOPERS LTD.  
Parsvnath Metro Tower  
Near Shahdara Metro Station  
Shahdara, Delhi-32.

Memo no. 1569 Dated: 2-7-09

Sub: Approval of building plans in respect of plot no. P-104, 166 Block-C  
M/s. Parsvnath Develo. Pvt. Ltd. Sector-39  
Lawi Pkt.

Ref: Your application no. 40 dated 21/5/09

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst no. SDP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
3. This plan is being approved without prejudice to the status of the licenses for the colony.
4. You will get setbacks of your building (s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
5. That you will get occupation certificate from competent authority before occupying the above said building.
6. That you will provide rain water harvesting system as per direction of the competent authority.
7. That responsibility of the structure stability and the structure safety against the earthquake of the building block shall be solely of the Architect/Owner.
8. That the basement setback shall be minimum 6 feet from the common wall in the event the adjoining plots is build up without basement adjoining the common wall.
9. That you will not put up the proposed building into any use other than residential purposes and you shall not raise any further construction without getting the approval of competent authority, otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
10. Niches shall not be permissible in common walls.
11. Public Health services shall be connected as per approved services/plans.
12. The flushing cistern shall be of 8 Ltr. Capacity.

X

13. The work of P.H. services be got executed as per standard. The arrangement of roof top rain water harvesting will made by the plot owner on the plot where area of roof is 100 sqm. or more.
14. Specification of proposed building in Form BR-II.
15. Fire safety norms approved by National Building Code shall be adhered.
16. The construction of building will be undertaken as per approved building plan, structural design, given by the structure engineer, Fire Safety if applicable approved by competent authority.
17. Certificate of conformity to regulation and structural safety for relevant building (depending on type and height) in Form BR-IVA has submitted by owner.
18. No drainage sanitary (including water supply) pipes shall be allowed in common walls.
19. Completion of basic internal amenities may be assured and size of plot as per approved scheme shall be checked.
20. Solar water heating system will be provided for plot having 400 Sq. yd. area or above.
21. To take energy conservation measures CFL lights will be used.
22. The sanction of this building plan is valid for two years i.e. upto ..... 1-7-11

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above

  
 Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

1. The Senior Town Planner, Rohtak.
2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no. ... Dated:.... 7185 15/6/09
3. The Distt Town Planner (R) Panipat

  
 Distt. Town Planner-cum-  
 Chairman, Building Plan Approval Committee  
 For Controlled Area Panipat



BR-III  
(See Rule 44 of Act 41 of 1963)

From

Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

To

Parsvnath Developers LTD.  
Parsvnath Metro Tower  
near - Shahdara Metro Station  
Shahdara Delhi - 110032

✓ =

Memo no.

4237

Dated: 6/10/09

Sub:

Approval of building plans in respect of plot no. A-97, 99, 101, 103, 111 & 113  
Parsvnath, Bahawal City Sector 38 & 39, Panipat

Ref:

Your application no. .... dated .. 11-9-09

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst no. SDP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
3. This plan is being approved without prejudice to the status of the licenses for the colony.
4. You will get setbacks of your building (s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
5. That you will get occupation certificate from competent authority before occupying the above said building.
6. That you will provide rain water harvesting system as per direction of the competent authority.
7. That responsibility of the structure stability and the structure safety against the earthquake of the building block shall be solely of the Architect/Owner.
8. That the basement setback shall be minimum 6 feet from the common wall in the event the adjoining plots is build up without basement adjoining the common wall.
9. That you will not put up the proposed building into any use other than residential purposes and you shall not raise any further construction without getting the approval of competent authority, otherwise this approval shall be automatically cancelled and appropriate action as per rule will be initiated.
10. Niches shall not be permissible in common walls.
11. Public Health services shall be connected as per approved services/plans.
12. The flushing cistern shall be of 8 Ltr. Capacity.

13. The work of P.H. services be got executed as per standard. The arrangement of roof top rain water harvesting will be made by the plot owner on the plot where area of roof is 100 sqm. or more.
14. Specification of proposed building in Form BR-II.
15. Fire safety norms approved by National Building Code shall be adhered.
16. The construction of building will be undertaken as per approved building plan, structural design, given by the structure engineer, Fire Safety if applicable approved by competent authority.
17. Certificate of conformity to regulation and structural safety for relevant building (depending on type and height) in Form BR-IVA has submitted by owner.
18. No drainage sanitary (including water supply) pipes shall be allowed in common walls.
19. Completion of basic internal amenities may be assured and size of plot as per approved scheme shall be checked.
20. Solar water heating system will be provided for plot having 400 Sq. yd. area or above.
21. To take energy conservation measures CFL lights will be used.
22. The sanction of this building plan is valid for two years i.e. upto 5/10/2011

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above

  
Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

1. The Senior Town Planner, Rohtak.
2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no: ... Dated: ...
3. DISTT TOWN PLANNER (C) PANIPAT

  
Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

BR-III  
(See Rule 44 of Act 41 of 1963)

From Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

To  
PARSVNATH DEVELOPERS LTD.  
Parsvnath Metro Tower  
Near Shahdara Metro Station  
Shahdara, Delhi-32.

Memo no. 1549 Dated: 2-7-09

Sub: Approval of building plans in respect of plot no. C-103, 167, 169 Sector 38439,  
Parsvnath Paliwal City, Panipat

Ref: Your application no. 37, dated 29/5/09

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst no. 5DP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
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4. You will get setbacks of your building (s) checked at plinth level and obtain a certificate from this office before proceeding with the super structure.
5. That you will get occupation certificate from competent authority before occupying the above said building.
6. That you will provide rain water harvesting system as per direction of the competent authority.
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21. To take energy conservation measures CFL lights will be used.
22. The sanction of this building plan is valid for two years i.e. upto .... 1-7-011

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above

*[Signature]*  
Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

Endst no.

Dated:

A copy is forwarded to the following for information and necessary action, please.

1. The Senior Town Planner, Rohtak.
2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no 7191. Dated: 15/6/09

/

Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

BR-III  
(See Rule 44 of Act 41 of 1963)

From

Distt. Town Planner,  
Chairman, Building Plans Approval Committee for  
Licensed Colonies Controlled Area, Panipat

To

PARSVNATH DEVELOPERS LTD.  
Parsvnath Metro Tower  
Near Shahdara Metro Station  
Shahdara, Delhi - 32.

Memo no. 1557 Dated: 2-7-09

Sub: Approval of building plans in respect of plot no. C-102, Sector 38&39,  
Parsvnath Palival City, Panipat

Ref: Your application no. 39 dated 20/5/09

Building Plan Committee constituted vide The Director, Town and Country Planning, Haryana, Chandigarh endst no. SDP-III-99/4593 dated 15/04/1999 has approved your buildings plans subject to the conditions as under:-

1. That you will abide by Punjab Scheduled Roads and Controlled Areas Restriction of Unregulated Development Act, 1963 and Rules framed there under.
2. The building plans shall be treated as cancelled if plot falls in unlicensed area.
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14. Specification of proposed building in Form BR-II.
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20. Solar water heating system will be provided for plot having 400 Sq. yd. area or above.
21. To take energy conservation measures CFL lights will be used.
22. The sanction of this building plan is valid for two years i.e. upto ... 1-7-2011

One copy of sanction plan is enclosed herewith for your further necessary action.

DA/As above

*[Signature]*  
Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat

Endst no.

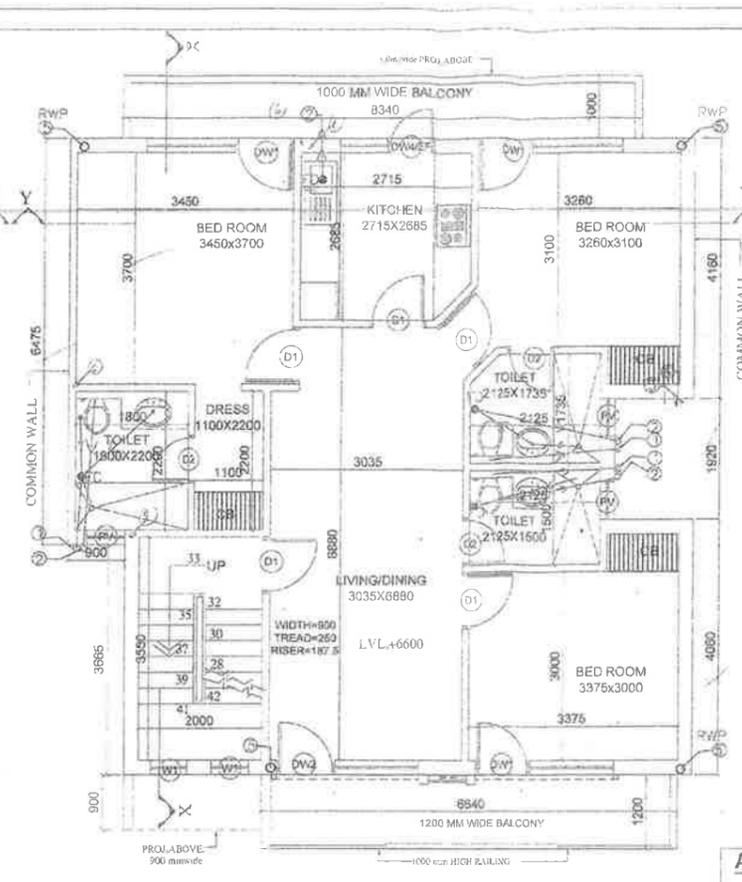
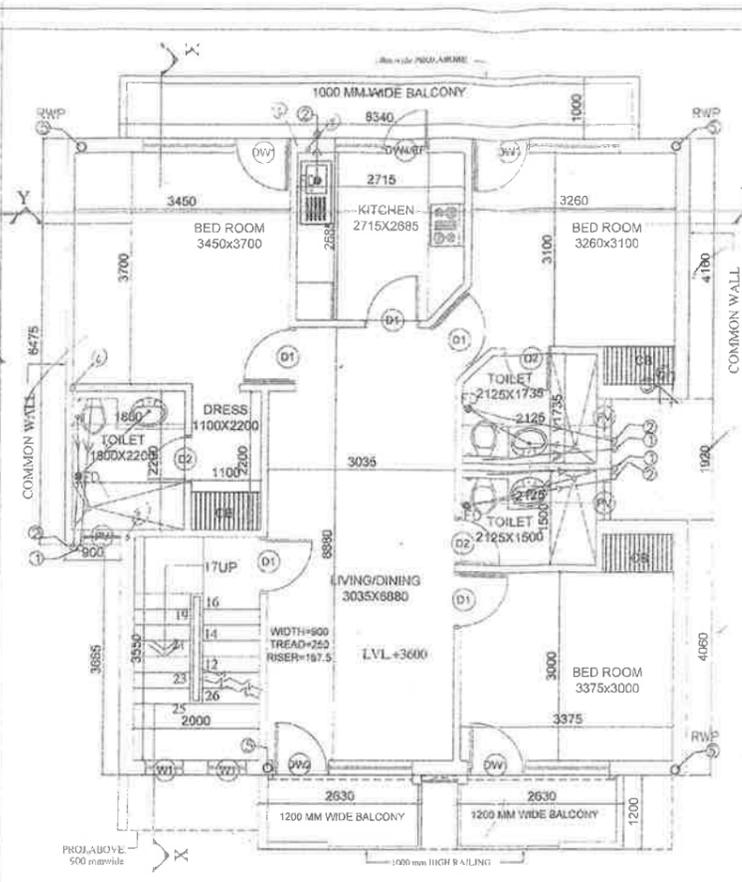
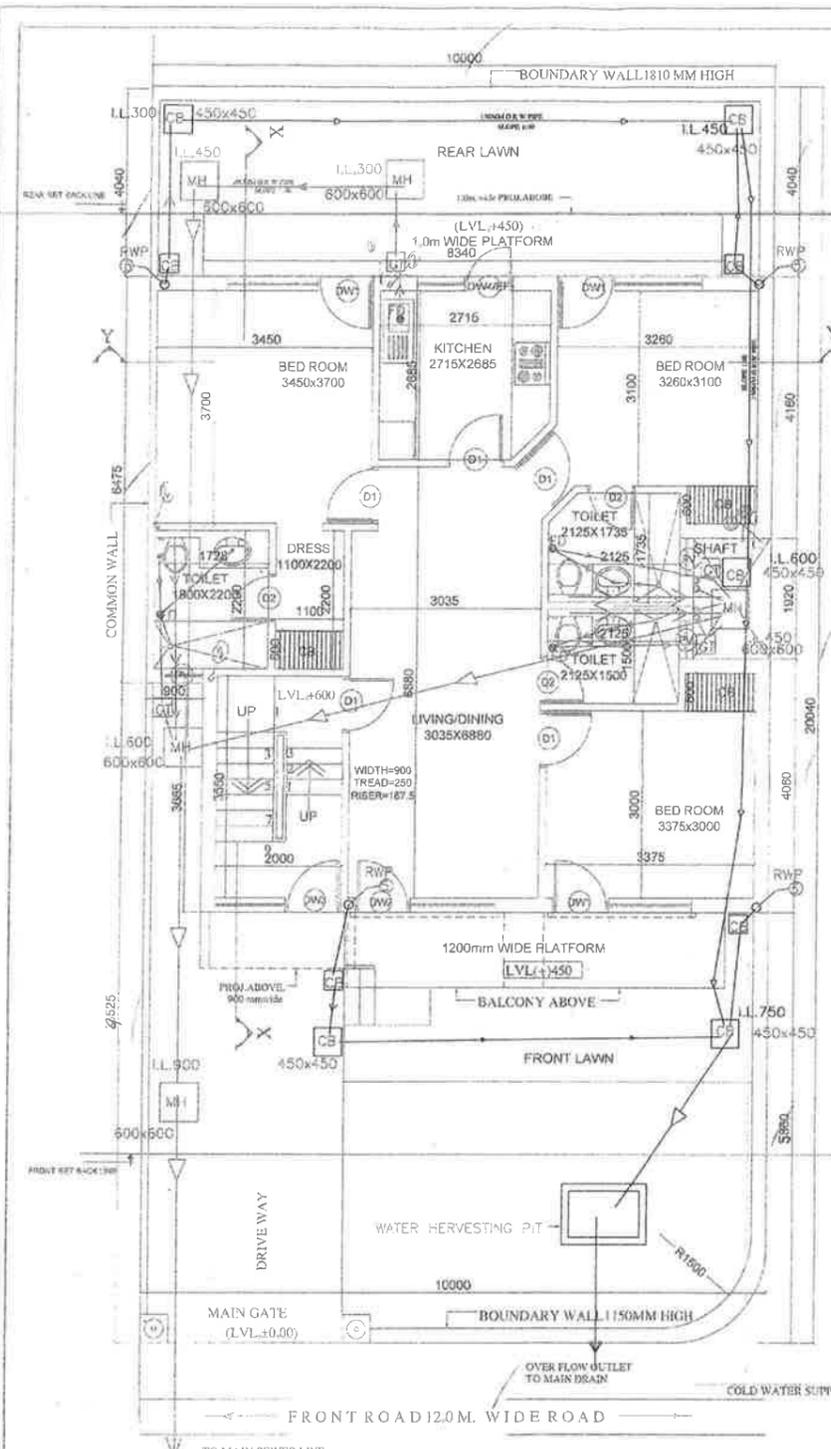
Dated:

A copy is forwarded to the following for information and necessary action, please.

1. The Senior Town Planner, Rohtak.
2. The Executive Engineer, HUDA Division, Panipat, w.r.t. Memo no 7193 Dated: 15/6/09

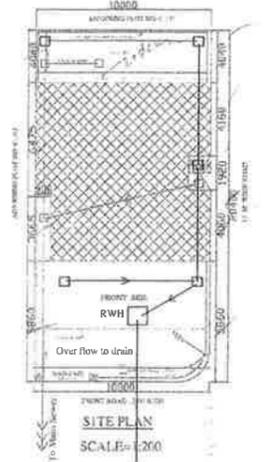
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Distt. Town Planner-cum-  
Chairman, Building Plan Approval Committee  
For Controlled Area Panipat



DOOR WINDOW SCHEDULE

TYPE	WIDTH	HEIGHT	CILL	LINTEL
D1	900	2100		2100
D2	750	2100		2100
DW1	2250	2550	0.150	2550
DW2	2100	2550	0.150	2550
DW3	2000	2100	0.150	2100
DW4	1850	2550	0.150	2550
W2	600	750		
W3	600	1350		1200

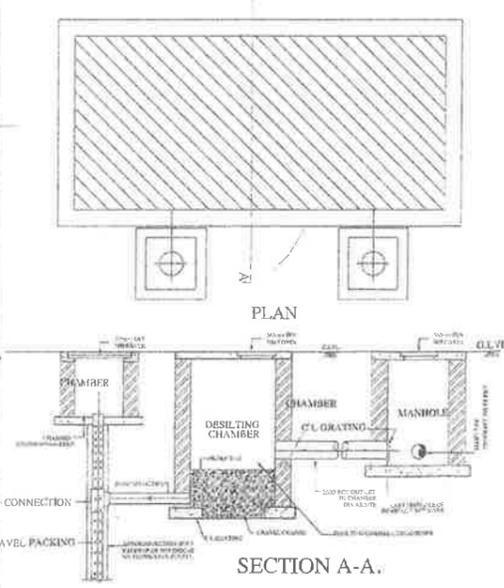


AREA :-

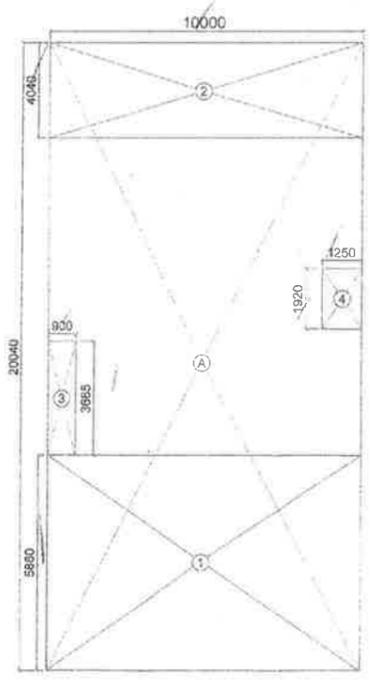
A	= 10.00 X 20.04	= 200.40	SQ.M.
1	= 10.00 X 5.860	= 58.60	SQ.M.
2	= 10.00 X 4.04	= 40.40	SQ.M.
3	= 0.90 X 3.665	= 3.298	SQ.M.
4	= 1.25 X 1.92	= 2.40	SQ.M.

AREA DETAIL:-

PLOT AREA	= 10.00 X 20.04	= 200.40	SQ.M.
PERMISSIBLE F.A.R.		= 290.58	SQ.M.
PERMISSIBLE COVERED AREA OF GROUND FLOOR		= 120.24	SQ.M.
PROPOSED COVERED AREA OF GROUND FLOOR = A - (1+2+3+4)		= 200.40 - (58.60 + 40.40 + 3.298 + 2.40)	
		= 200.40 - 104.698	
		= 95.702	SQ.M.
PROPOSED COVERED AREA OF 1ST FLOOR = A - (01+02+03+04)		= 200.40 - (58.60 + 40.40 + 3.298 + 2.40)	
		= 200.40 - 104.698	
		= 95.702	SQ.M.
PERMISSIBLE COVERED AREA OF F.F = 110.22		= 95.702	SQ.M.
PROPOSED COVERED AREA OF 2ND FLOOR = A - (01+02+03+04)		= 200.40 - (58.60 + 40.40 + 3.298 + 2.40)	
		= 200.40 - 104.698	
		= 95.702	SQ.M.
ACHIEVED F.A.R.		= 287.106	SQ.M.
MUMTY COVERED AREA = 4.01 X 2.46		= 9.86	SQ.M.



TYP. DET. OF RAIN WATER HARVESTING (SCALE : N.T.S.)



PLOT NO: C-102

SUBMISSION DRAWING

PROJECT:-  
PROPOSED INDEPENDENT FLOORS ON 300 SQ.M AT PANPAT.

DRAWING TITLE:-  
SUBMISSION FOR PLOT NO.- C-102 AT PARSWATH CITY PANPAT (FLOOR PLANS, ELEVATION, SITE PLAN)

Grid Architecture Interiors Pvt. Ltd.  
115, NEW MANGLA PURI MEHRAULI GURGAON ROAD NEW DELHI-20  
TEL 26809974, 75, 76 FAX 26808384  
E-MAIL - GRID@GMAIL.COM

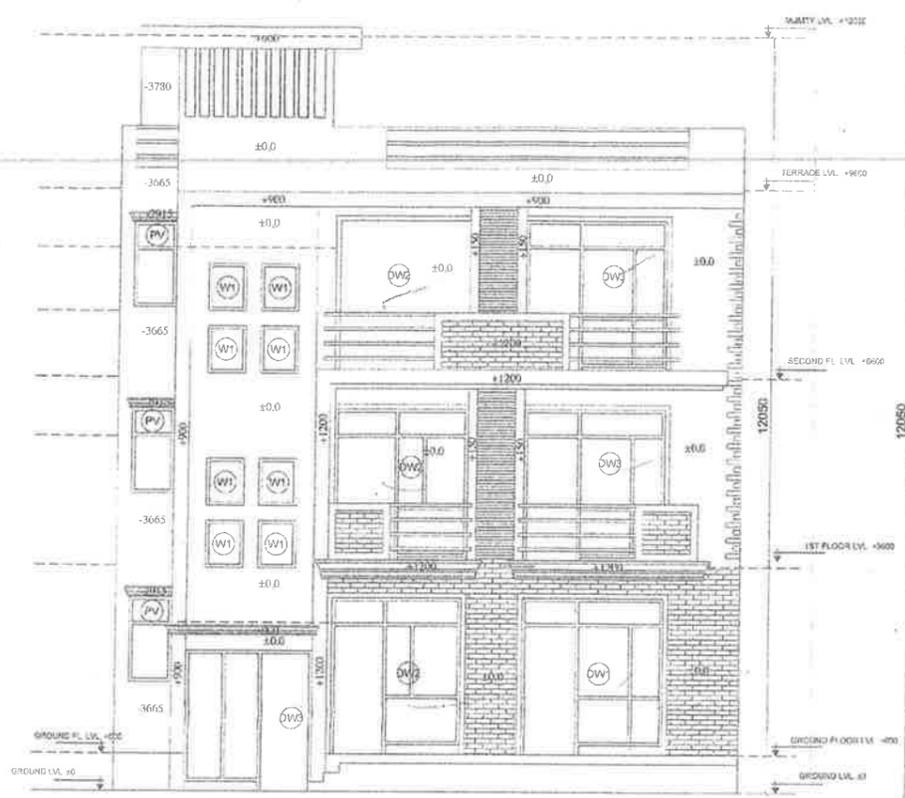
OWNER SIGN: [Signature]  
ARCHITECT SIGN: [Signature]

For Parswath Developers Ltd.  
(B. B. WADHWAN)  
Sr. General Manager

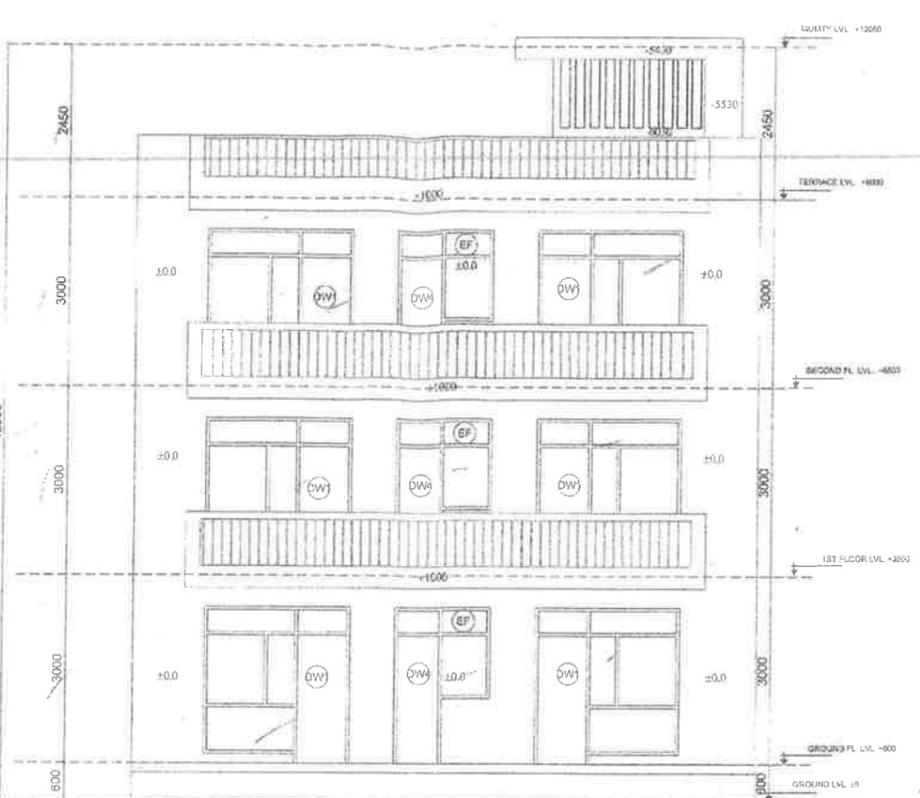
C. L. SHARMA  
Architect  
CA/75/9  
Parswath Developers Ltd.

DRG NO. SB/A/01

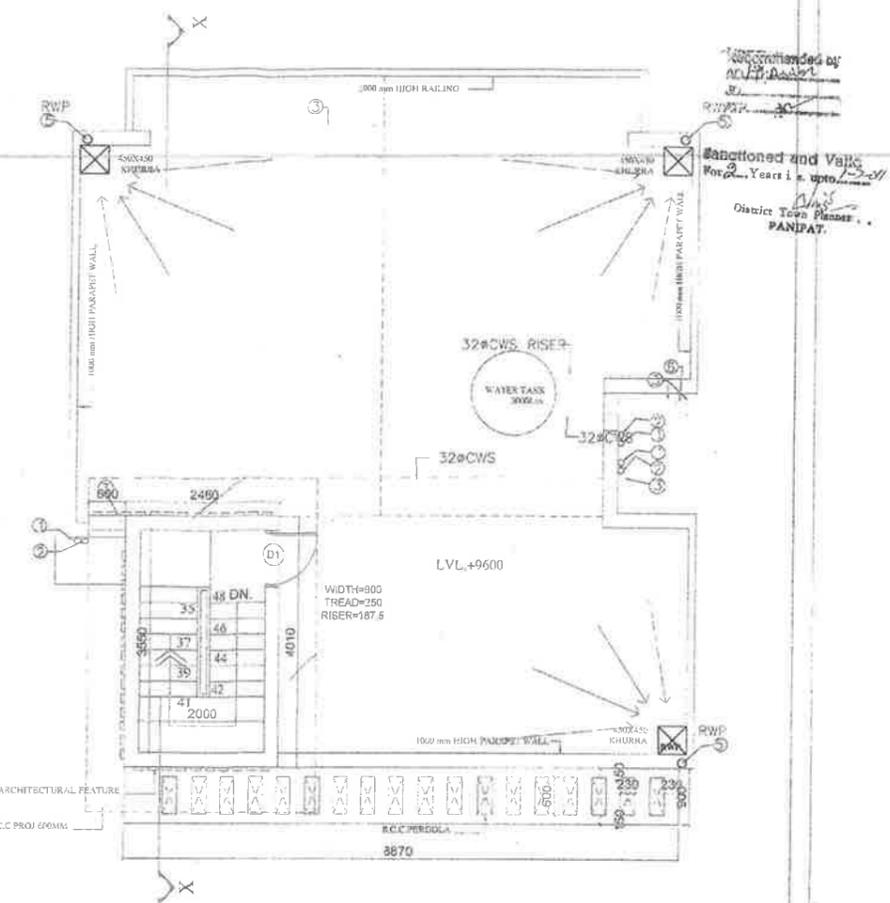
SCALE 1:50



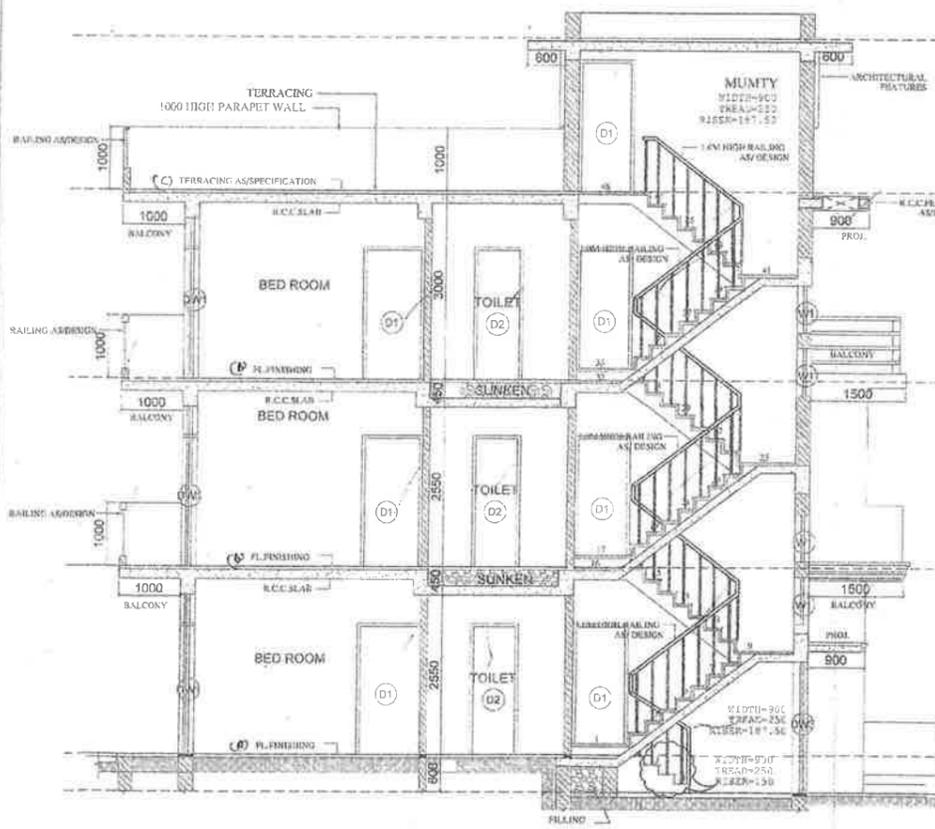
FRONT ELEVATION



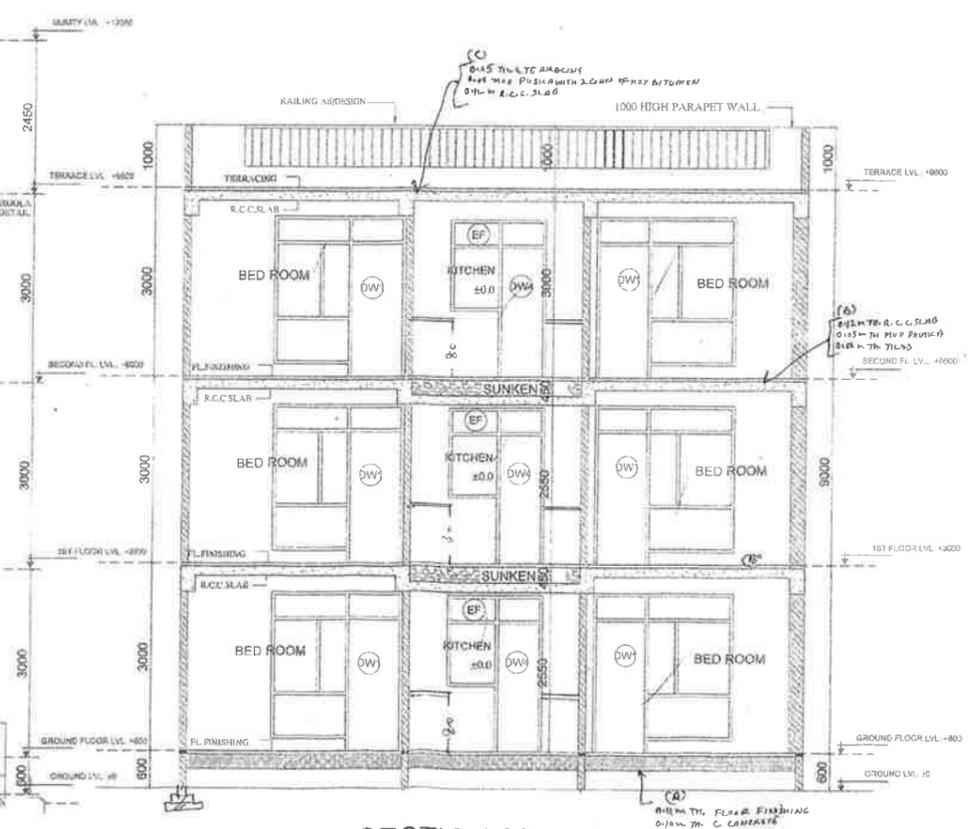
REAR ELEVATION



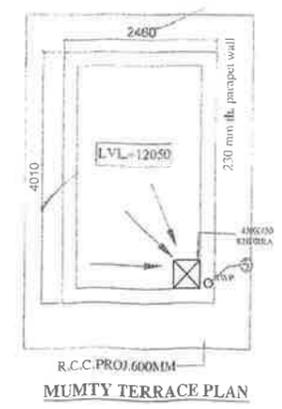
TERRACE FLOOR PLAN



SECTION AT -X-X.



SECTION AT -Y-Y.



MUMTY TERRACE PLAN

- LEGEND
- (1) 100mm SOIL PIPE
  - (2) 100mm WASTE PIPE
  - (3) COLD WATER SUPPLY
  - (5) 100mm RAIN WATER PIPE
  - (6) CWS RISER
  - SIZE 300X300MM
  - SIZE 450X450MM
  - SIZE 600X600MM

SUBMISSION DRAWING

PROJECT :-  
PROPOSED INDEPENDENT FLOORS  
ON 3000 SQM AT PANIPAT.

DRAWING TITLE :-  
SUBMISSION FOR PLOT NO. C-182  
AT PARSVATH CITY PANIPAT  
(FLOOR PLANS, ELEVATION,  
SITE PLAN)

Grid Architecture Interiors Pvt. Ltd.  
116, NEW HANGLA PUR  
MEHRAULI GURGAON ROAD NEW DELHI-30  
TEL. 26809974, 75, 76 FAX. 26808384  
E. MAIL - GRID@ETHNET

OWNER SIGN: For Parsvath Developers Ltd.  
(B. S. WADHWAN)  
Sr. General Manager

ARCHITECT SIGN: C. L. SHARMA  
Architect  
CA/15/9  
Parsvath Developers Ltd.

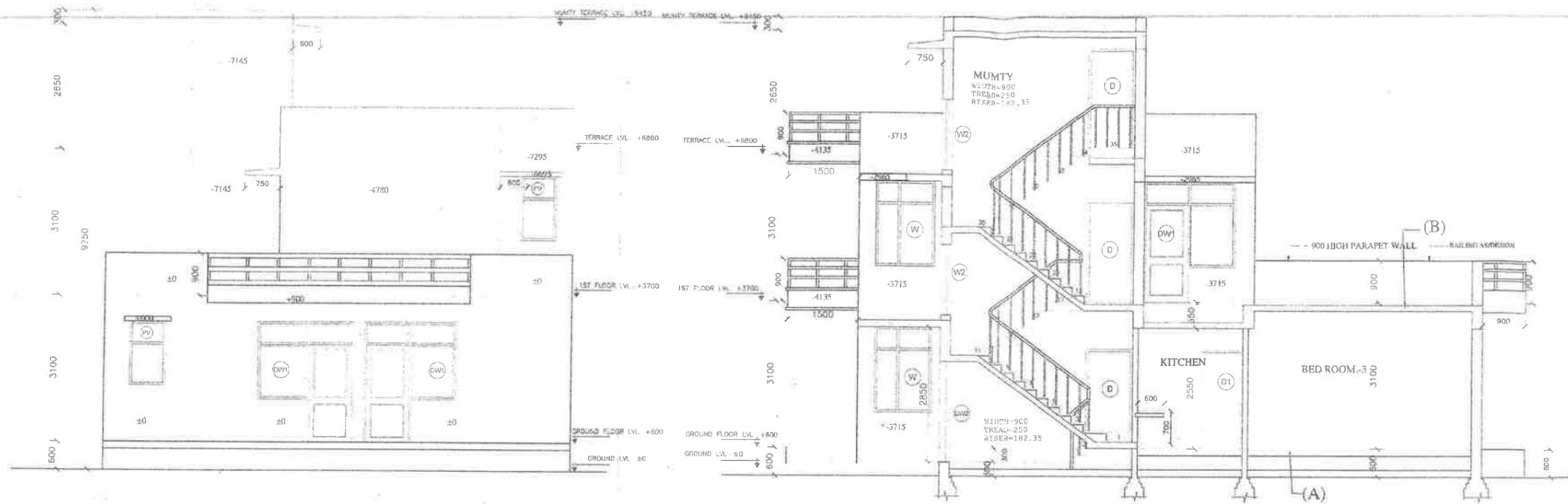
DRG NO. SB/A/01

SCALE 1:50

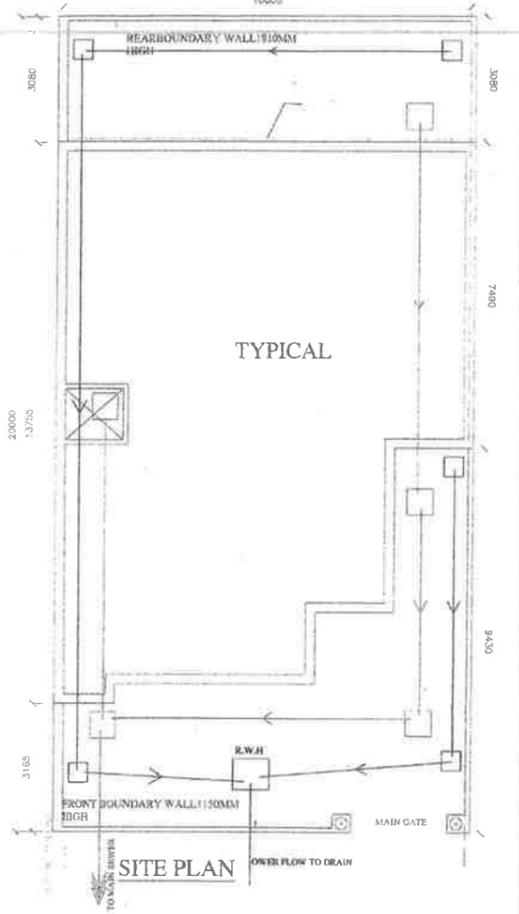
NORTH

Approved by  
 P.A. R.L.  
 12/12/10

sections and / or  
 Rev. 2. 12/12/10  
 Director Town Planner  
 PANIPAT.

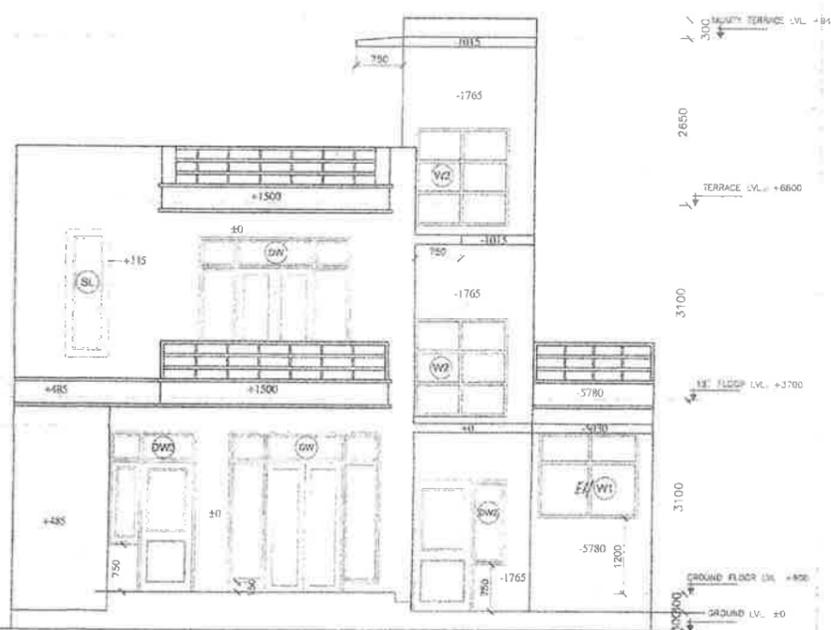


SECTION X-X'

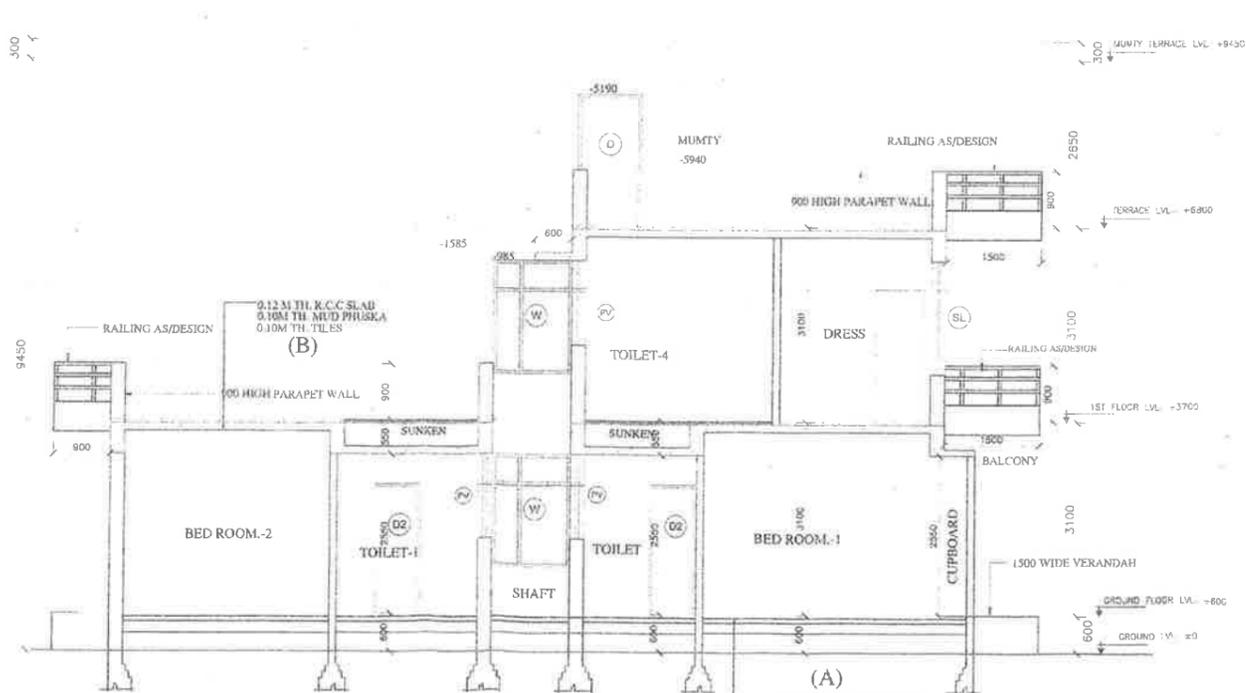


SITE PLAN

REAR ELEVATION



FRONT ELEVATION



SECTION Y-Y'

PROJECT  
 VILLA IN 200SQM.PLOTS  
 PARSHVATH PALI WAL CITY PANIPAT  
 SECTOR- 38 & 39

TITLE  
 SUBMISSION PLAN FOR PLOT NO:-  
 BLOCK -A-(95 & 273)

Grid Architecture Interiors Pvt. Ltd.  
 116 NEW MANOLA PJRI  
 MEHRAULI GURGAON ROAD NEW DELHI-30  
 TEL. 26809974,75,76 FAX. 26808384  
 E-MAIL - GRID@ETH.NET

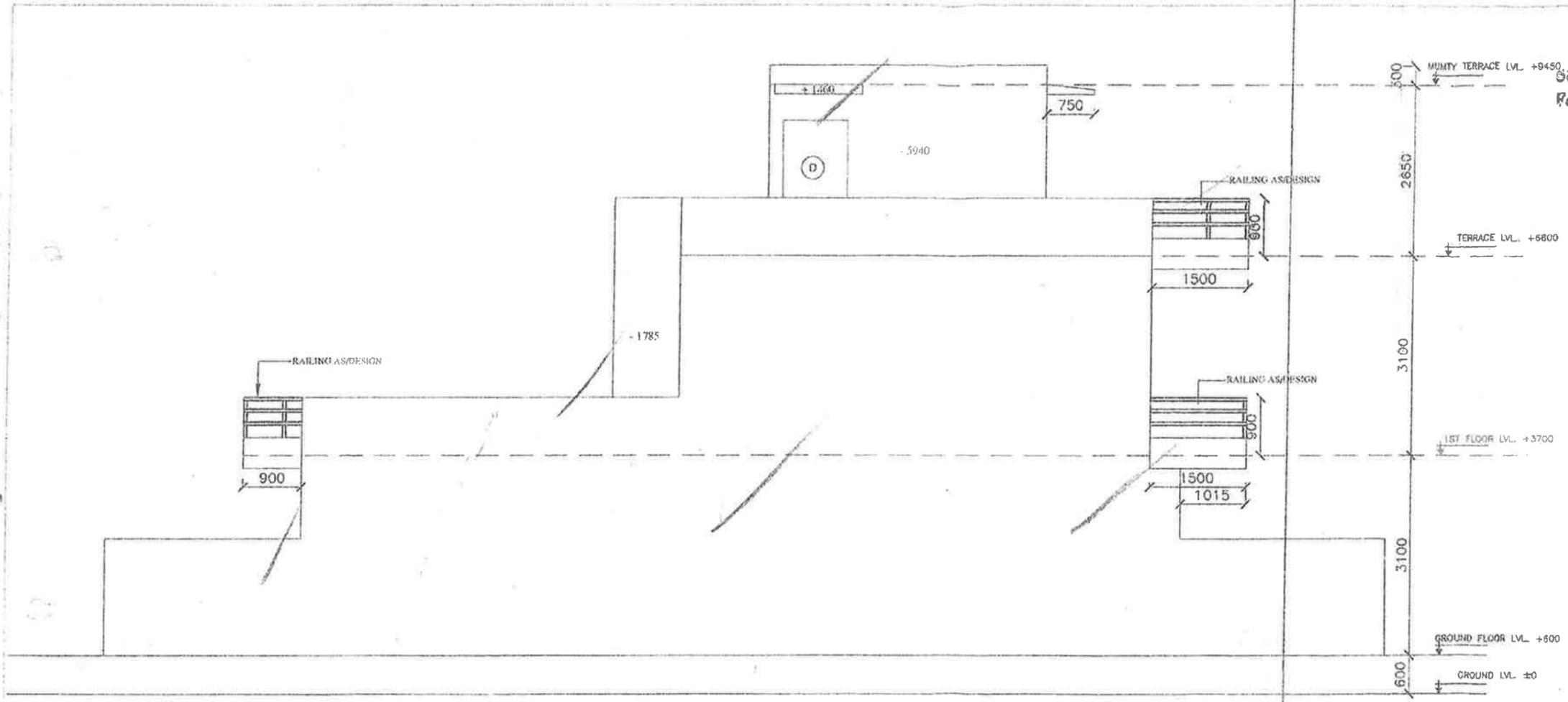
OWNER SIGN For Parshvath Developers Ltd. (B. B. WADHWAN) Sr. General Manager	ARCHITECT SIGN C. L. SHARMA Architect CA/73/6 Parshvath Developers Ltd.
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DRG NO. SB/A/01  
 SCALE 1:50

Picture - 09.2.9

Recommended by  
AD/T. *[Signature]*  
J.D.P.A. *[Signature]*  
ATP *[Signature]*

sanctioned and valid  
for 2 Years i.e. upto.....  
*[Signature]*  
District Town Planner  
PANIPAT.



LEFT ELEVATION

PROJECT.  
VILLA IN 200SQM.PLOTS  
PARSHVATH PALIWAL CITY PANIPAT  
SECTOR-38 & 39

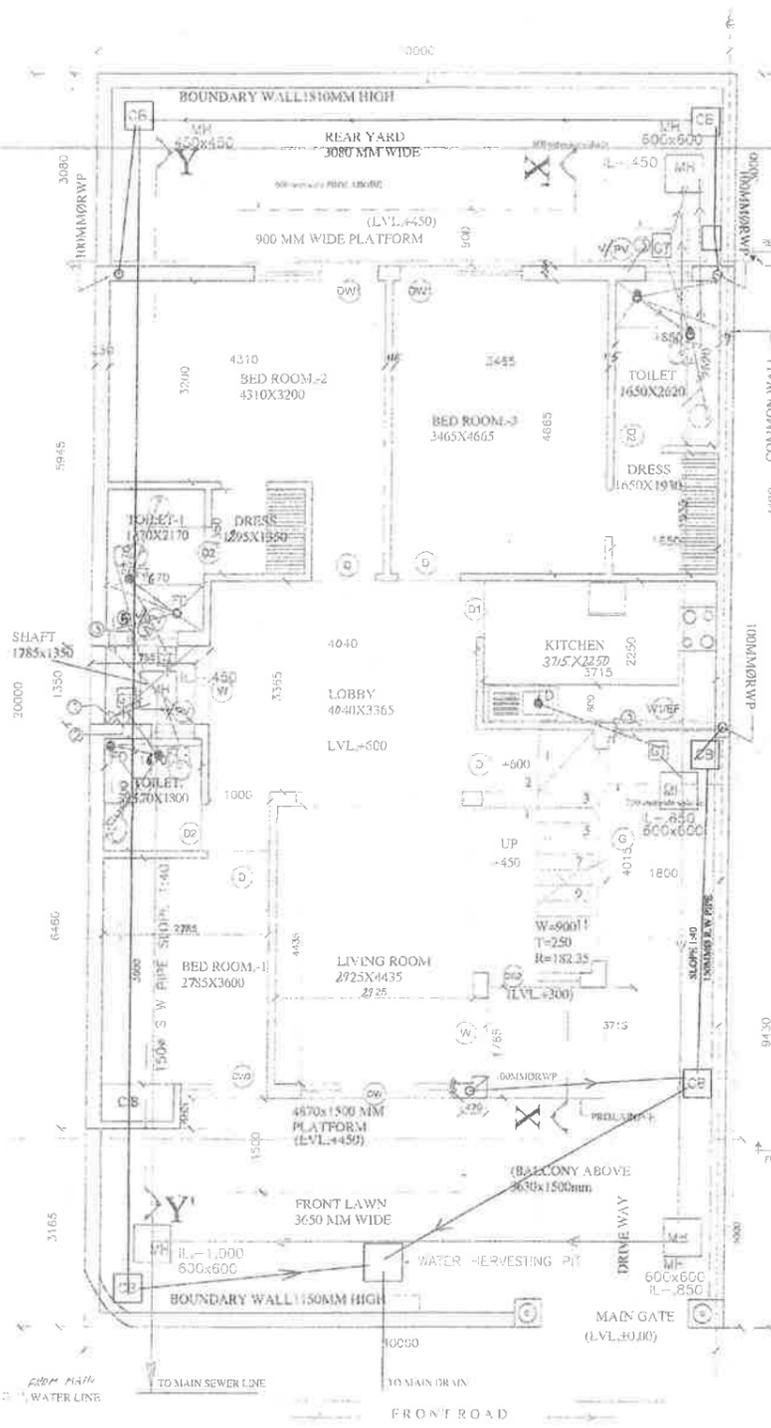
TITLE  
SUBMISSION PLAN FOR PLOT NO:  
BLOCK -A-(95 & 273)

Grid Architecture Interiors Pvt. Ltd.  
116, NEW MANGLA PURI  
MEHRAULI GURGAON ROAD NEW DELHI-30  
TEL. 26809974,75,76 FAX. 26808384  
E. MAIL - GRID@ETH.NET

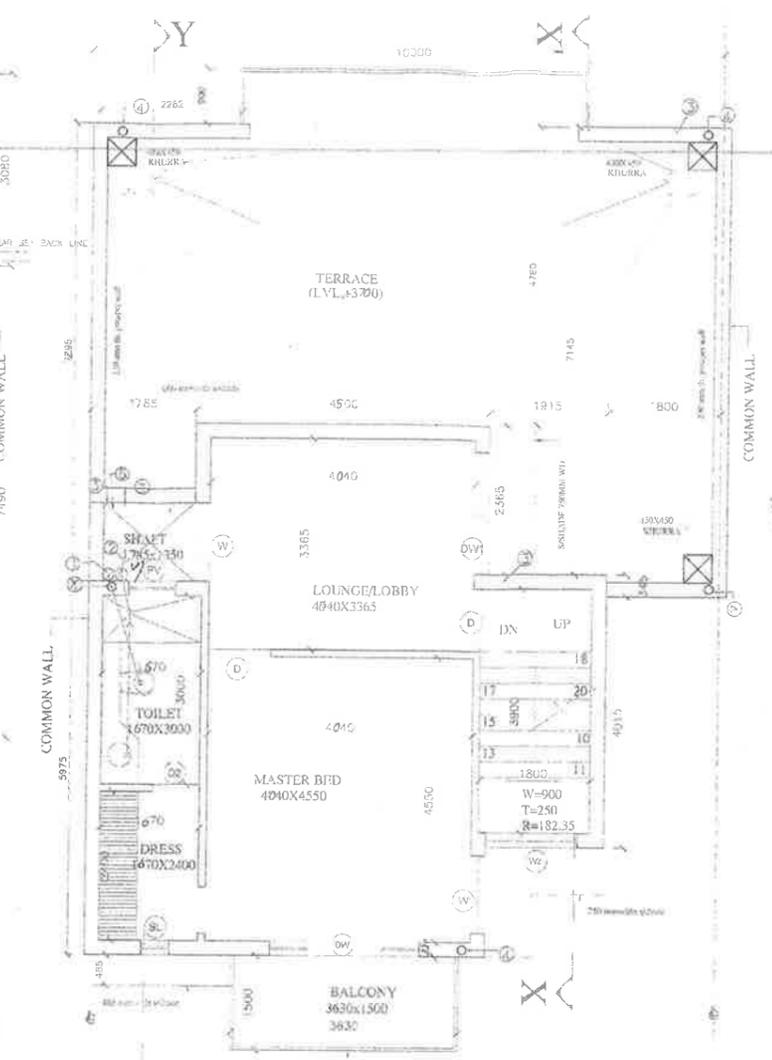
OWNER SIGN <i>[Signature]</i> (B.S. WADHWA) Sr. General Manager	ARCHITECT SIGN <i>[Signature]</i> C. L. SHARMA Architect CA/75/9 Parsvnath Developers Ltd
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For Parsvnath Developers Ltd.

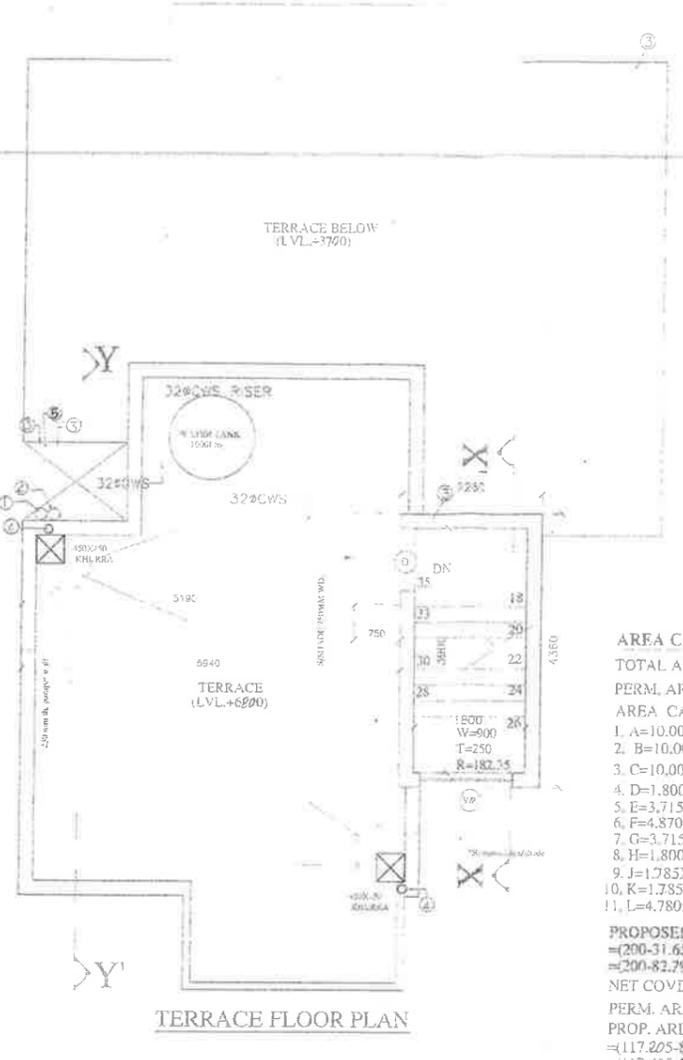
Nov 4/2017



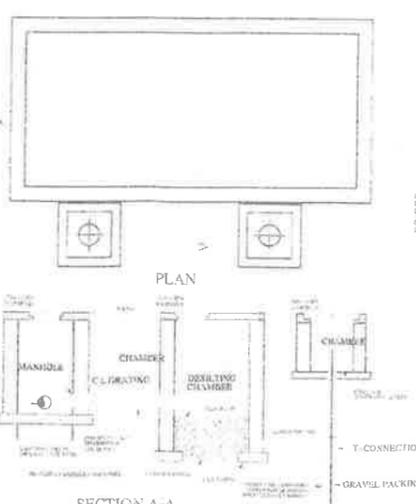
GROUND FLOOR PLAN



FIRST FLOOR PLAN



TERRACE FLOOR PLAN



SECTION A-A. TYPICAL DETAIL OF RAIN WATER HARVESTING (SCALE: N.T.S.)



AREA CALCULATION



MUMTY TERRACE PLAN

- LEGEND
- ① 100mm SOIL PIPE
  - ② 75mm WASTE PIPE
  - ③ COLD WATER PIPE
  - ④ 100mm HOT WATER PIPE
  - ⑤ 20mm PVC RISER



LOCATION PLAN

DOOR W/D DOWN SCHEDULE

TYPE	WIDTH	HEIGHT	CHILL	INTEL
1	1000	2000	100	100
2	1000	2000	100	100
3	1000	2000	100	100
4	1000	2000	100	100
5	1000	2000	100	100
6	1000	2000	100	100
7	1000	2000	100	100
8	1000	2000	100	100
9	1000	2000	100	100
10	1000	2000	100	100
11	1000	2000	100	100
12	1000	2000	100	100
13	1000	2000	100	100
14	1000	2000	100	100
15	1000	2000	100	100
16	1000	2000	100	100
17	1000	2000	100	100
18	1000	2000	100	100
19	1000	2000	100	100
20	1000	2000	100	100
21	1000	2000	100	100
22	1000	2000	100	100
23	1000	2000	100	100
24	1000	2000	100	100
25	1000	2000	100	100
26	1000	2000	100	100
27	1000	2000	100	100
28	1000	2000	100	100
29	1000	2000	100	100
30	1000	2000	100	100
31	1000	2000	100	100
32	1000	2000	100	100
33	1000	2000	100	100
34	1000	2000	100	100
35	1000	2000	100	100
36	1000	2000	100	100
37	1000	2000	100	100
38	1000	2000	100	100
39	1000	2000	100	100
40	1000	2000	100	100

**AREA CALCULATION**  
 TOTAL AREA OF PLOT = 10,000 X 20,000 = 200,000 SQM.  
 PERM. AREA ON GR. FL. = 60% OF 200,000 = 120,000 SQM.  
**AREA CALCULATION:-**  
 1. A = 10,000 X 20,000 = 200,000 SQM  
 2. B = 10,000 X 3,165 = 31,650 SQM.  
 3. C = 10,000 X 3,080 = 30,800 SQM  
 4. D = 1,800 X 4,015 = 7,227 SQM  
 5. E = 3,715 X 2,250 = 8,358 SQM  
 6. F = 4,870 X 0,485 = 2,361 SQM  
 7. G = 3,715 X 2,365 = 8,785 SQM  
 8. H = 1,800 X 0,345 = 0,621 SQM  
 9. J = 1,785 X 1,165 = 2,079 SQM  
 10. K = 1,785 X 1,350 = 2,409 SQM  
 11. L = 4,780 X 10,000 = 47,800 SQM.  
**PROPOSED AREA ON GR. FLOOR = (A+B+C+D+E+F+K)**  
 = (200,000 + 31,650 + 30,800 + 7,227 + 8,358 + 2,361 + 2,079 + 47,800) = 327,275 SQM.  
**NET COVD. AREA ON GR. FLOOR = 117,205 SQM.**  
 PERM. AREA ON F. FL. = 55% OF 200,000 = 110,000 SQM.  
 PROP. AREA ON F. FLOOR = (GR. FL. AREA - C+H+J + L)  
 = (117,205 - 8,785 - 0,621 - 2,079 + 47,800) = 52,520 SQM.  
**NET COVD. AREA ON FIRST FLOOR = 57,925 SQM.**  
**TOTAL COVD. AREA ON GR. & F. FLOOR = 117,205 + 57,925 = 175,130 SQM**  
**F.A.R. = (175,130 / 200,000) = 87.56%**  
**MUMTY AREA = 2,260 X 4,360 = 9,853 SQM.**  
**TOTAL COVD. AREA ON GR. + F. FLOOR & MUMTY = 117,205 + 57,925 + 9,853 = 184,983 SQM**

PROJECT: VILLA IN 200SQM PLOTS PARSHAYNATH PALIWAL CITY PANTPAT SECTOR-38 & 39

FILE: SUBMISSION PLAN FOR PLOT NO:- BLOCK -A-(95 & 273)

Grid Architecture Interiors Pvt. Ltd.  
 118, NEW MANDAL PURI  
 NEW RAJ GURGAON ROAD NEW DELHI-35  
 TEL: 26809974-75-76 FAX: 26809384  
 E-MAIL: GARCHIT@GAIL.COM

OWNER SIGN: [Signature]  
 ARCHITECT SIGN: [Signature]

DRG NO. SB/A/01

SCALE 1:50