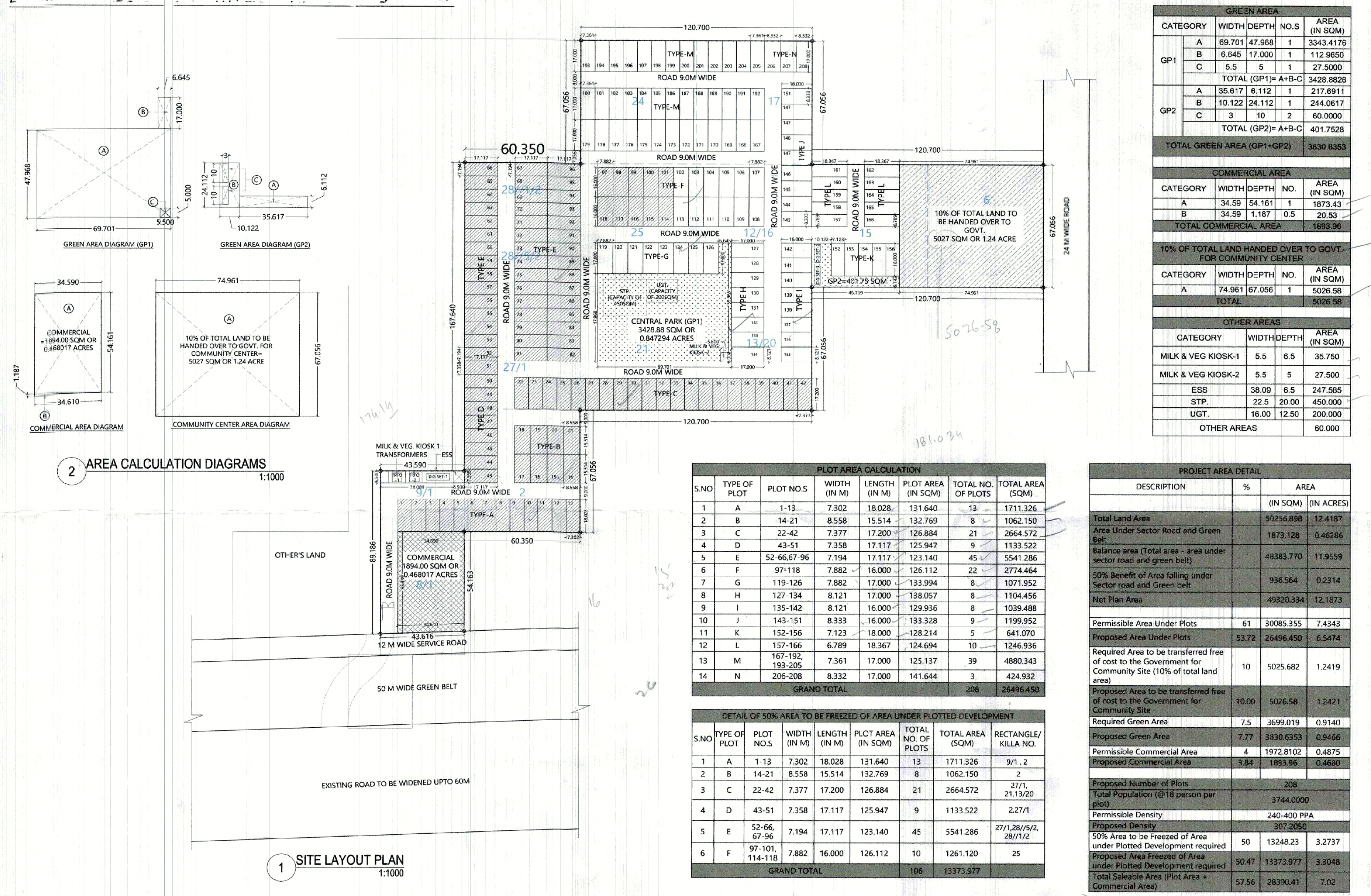
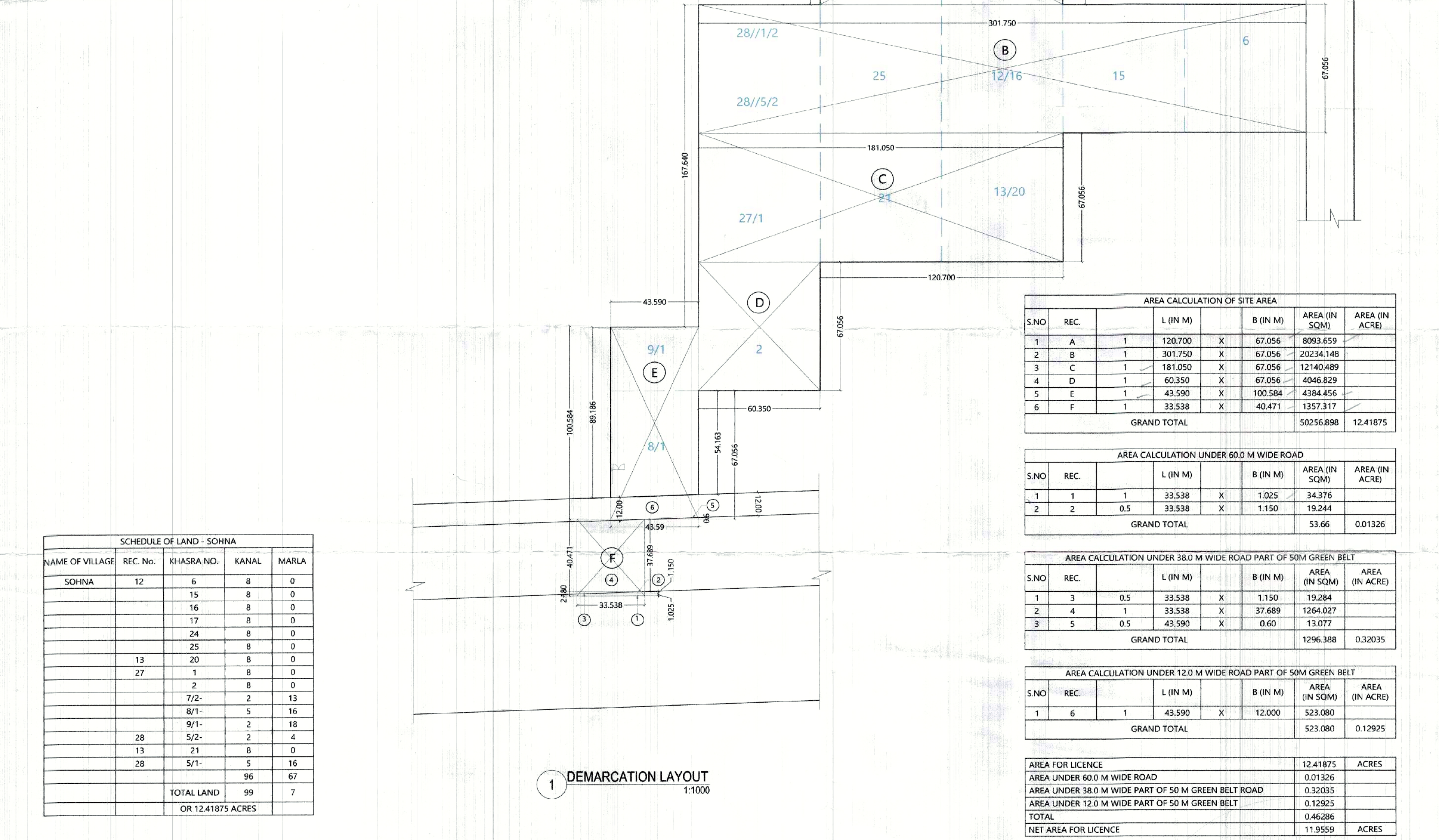


DEMARCATON PLAN OF AFFORDABLE PLOTTED COLONY UNDER DEEN DAYAL JAN AWAS YOJNA -2016 BELONGING TO LION INFRADEVELOPERS LLP, VALLABHAM BUILDCON PVT. LTD & VIBHOR HOME DEVELOPERS PVT. LTD. IN COLLABORATION WITH LION INFRADEVELOPERS LLP (Licence No. 23 of 2019) DATED 20-02-2019 IN REVENUE ESTATE SOHNA, SECTOR-35, SOHNA, DISTT.



DEMARCATON PLAN OF AFFORDABLE PLOTTED COLONY UNDER DEEN DAYAL JAN AWAS YOJNA -2016 BELONGING TO LION INFRADEVELOPERS LLP, VALLABHAM BUILDCON PVT. LTD & VIBHOR HOME DEVELOPERS PVT. LTD. IN COLLABORATION WITH LION INFRADEVELOPERS LLP (Licence No. 23 of 2019) DATED 20-02-2019 IN REVENUE ESTATE SOHNA, SECTOR-35, SOHNA, DISTT.



LEGEND

[Pattern]	AREA TO BE FROEZED
[Pattern]	LAND HANDED OVER TO GOVT.
[Pattern]	COMMERCIAL AREA
[Pattern]	GREEN AREA

GENERAL NOTES

GP1
 A 69.701 47.868 1 3343.4176
 B 6.845 17.000 1 112.9650
 C 6.5 5 1 27.5000
 TOTAL (GP1) = A+B+C 3428.8828

GP2
 A 35.817 8.112 1 217.8911
 B 10.122 24.112 1 244.0617
 C 3 10 2 60.0000
 TOTAL (GP2) = A+B+C 401.7528

TOTAL GREEN AREA (GP1+GP2) 3830.6353

COMMERCIAL AREA

CATEGORY	WIDTH	DEPTH	NO.	AREA (IN SQM)
A	34.59	54.161	1	1873.43
B	34.59	1.187	0.5	20.53
TOTAL COMMERCIAL AREA				1893.96

OTHER AREAS

CATEGORY	WIDTH	DEPTH	NO.	AREA (IN SQM)
MILK & VEG KIOSK-1	5.5	6.5	5	35.750
MILK & VEG KIOSK-2	5.5	5	5	27.500
ESS	38.09	6.5	247	247.585
STP	22.5	20.00	450	450.000
UGT.	16.00	12.50	200	200.000
OTHER AREAS				60.000

PROJECT AREA DETAIL

DESCRIPTION	%	AREA (IN SQM)	AREA (IN ACRES)
Total Land Area		50256.898	12.4187
Area Under Sector Road and Green Belt		1873.128	0.42686
Balance Area (Total area - area under sector road and green belt)		48383.770	11.9959
50% Benefit of Area falling under Sector road and Green belt		936.564	0.2314
Net Plan Area		49202.334	12.1873
Permissible Area Under Plots	61	30085.355	7.4343
Proposed Area Under Plots	53.72	26496.450	6.5474
Required Area to be transferred free of cost to the Government for Community Site (10% of total land area)	10	5025.682	1.2419
Proposed Area to be transferred free of cost to the Government for Community Site	10.00	5025.682	1.2421
Required Green Area	7.5	3699.019	0.9140
Proposed Green Area	7.77	3830.6353	0.9466
Permissible Commercial Area	4	1972.8102	0.4875
Proposed Commercial Area	3.84	1893.96	0.4680
Proposed Number of Plots		206	
Total Population (@18 person per plot)		3744.0000	
Permissible Density		240-400 PPA	
Proposed Density		307.2050	
50% Area to be Froezed of Area under Plotted Development required	50	13248.23	3.2737
Proposed Area Froezed of Area under Plotted Development required	50.47	13373.977	3.3048
Total Saleable Area (Plot Area + Commercial Area)	57.56	28390.41	7.02

SCHEDULE OF LAND - SOHNA

NAME OF VILLAGE	REC. No.	KHASRA NO.	KANAL	MARLA	
SOHNA	12	5	8	0	
		15	8	0	
		16	8	0	
		17	8	0	
		24	8	0	
		25	8	0	
		13	20	8	0
		27	1	8	0
		2	8	0	
		7/2-	2	13	
		8/1-	5	16	
		9/1-	2	18	
		28	5/2-	2	4
		13	21	8	0
		28	5/1-	5	16
			96	67	
TOTAL LAND				99	7
				OR 12.41875 ACRES	

ARCHITECT'S SIGNATURE: [Signature]

OWNER'S SIGNATURE: [Signature] For Lion InfraDevelopers LLP
Authorized Signatory

PROJECT: GREEN VALLEY, SECTOR 35, SOHNA ROAD(GURUGRAM) (DDJAY)

CLIENT: LION INFRADEVELOPERS

PRINCIPAL ARCHITECT: **Planners Group** ARCHITECTS | PLANNERS | DESIGNERS | ENGINEERS
OFFICES - NCR (GURGAON) & CHANDIGARH 1023, JMD Megapolis, Sector 48, Gurgaon 122001 +91(124) 4978484, ncr@plannersgroup.net

MEP CONSULTANT:

STRUCTURE CONSULTANT:

CONCEPT SUB TENDER GFC

REVISION TRACK:

REV	AMENDMENTS	DATE
R1		
R2		
R3		

PLOTTED HOUSING 326_01

DRAWING TITLE: LAYOUT & DEMARCATON PLAN

DRAWING NO: 326_01_SUB_AR101 | **RO**

DATE ISSUED: 04-09-2020

DRAWN BY: AR. MANJARI | **CHECKED BY:** AR. VAKUL

SCALE: A0 1:1000