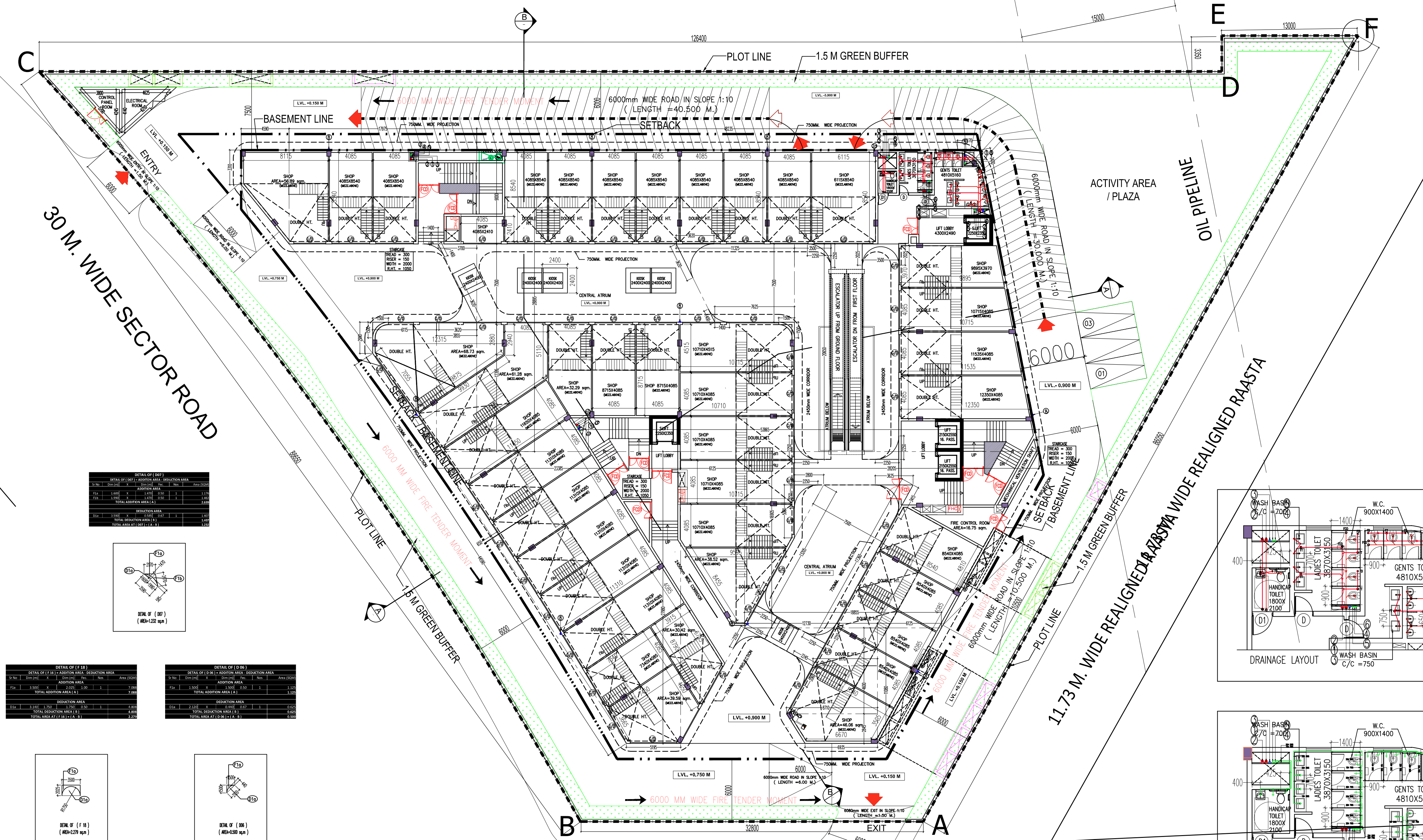
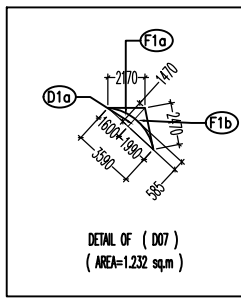


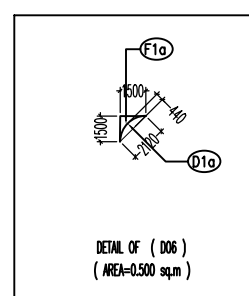
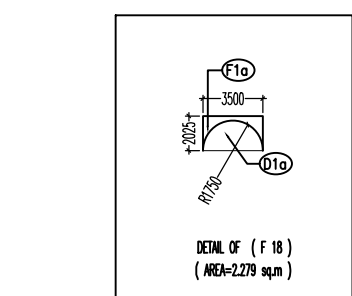


DETAIL OF (D1)					
Sr No.	Dim (m)	X	Y	Area (sqm)	Remarks
D1	1000	1000	1000	1.00	1000 X 1000
D2	1500	1500	1500	2.25	1500 X 1500
D3	750	750	750	0.56	750 X 750
D4	2000	2000	2000	4.00	2000 X 2000
D5	3000	3000	3000	9.00	3000 X 3000
D6	4000	4000	4000	16.00	4000 X 4000
D7	5000	5000	5000	25.00	5000 X 5000
D8	6000	6000	6000	36.00	6000 X 6000
D9	7000	7000	7000	49.00	7000 X 7000
D10	8000	8000	8000	64.00	8000 X 8000
D11	9000	9000	9000	81.00	9000 X 9000
D12	10000	10000	10000	100.00	10000 X 10000



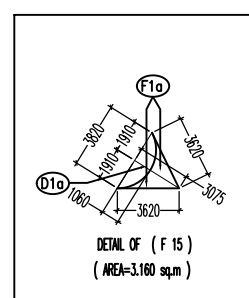
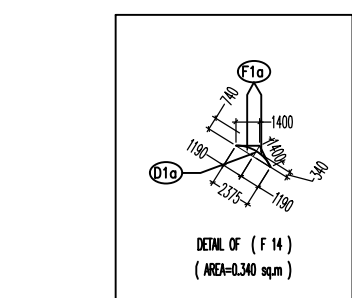
DETAIL OF (F1)					
Sr No.	Dim (m)	X	Y	Area (sqm)	Remarks
F1	1000	1000	1000	1.00	1000 X 1000
F2	1500	1500	1500	2.25	1500 X 1500
F3	750	750	750	0.56	750 X 750
F4	2000	2000	2000	4.00	2000 X 2000
F5	3000	3000	3000	9.00	3000 X 3000
F6	4000	4000	4000	16.00	4000 X 4000
F7	5000	5000	5000	25.00	5000 X 5000
F8	6000	6000	6000	36.00	6000 X 6000
F9	7000	7000	7000	49.00	7000 X 7000
F10	8000	8000	8000	64.00	8000 X 8000
F11	9000	9000	9000	81.00	9000 X 9000
F12	10000	10000	10000	100.00	10000 X 10000

DETAIL OF (D2)					
Sr No.	Dim (m)	X	Y	Area (sqm)	Remarks
D2	1000	1000	1000	1.00	1000 X 1000
D3	1500	1500	1500	2.25	1500 X 1500
D4	750	750	750	0.56	750 X 750
D5	2000	2000	2000	4.00	2000 X 2000
D6	3000	3000	3000	9.00	3000 X 3000
D7	4000	4000	4000	16.00	4000 X 4000
D8	5000	5000	5000	25.00	5000 X 5000
D9	6000	6000	6000	36.00	6000 X 6000
D10	7000	7000	7000	49.00	7000 X 7000
D11	8000	8000	8000	64.00	8000 X 8000
D12	9000	9000	9000	81.00	9000 X 9000
D13	10000	10000	10000	100.00	10000 X 10000



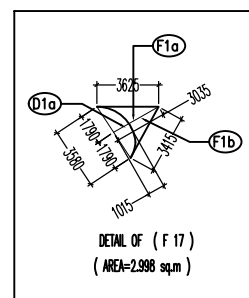
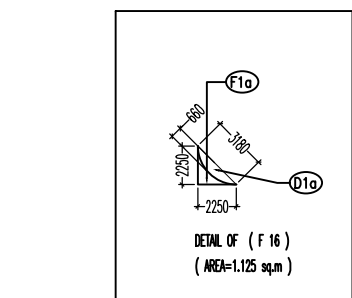
DETAIL OF (F1)					
Sr No.	Dim (m)	X	Y	Area (sqm)	Remarks
F1	1000	1000	1000	1.00	1000 X 1000
F2	1500	1500	1500	2.25	1500 X 1500
F3	750	750	750	0.56	750 X 750
F4	2000	2000	2000	4.00	2000 X 2000
F5	3000	3000	3000	9.00	3000 X 3000
F6	4000	4000	4000	16.00	4000 X 4000
F7	5000	5000	5000	25.00	5000 X 5000
F8	6000	6000	6000	36.00	6000 X 6000
F9	7000	7000	7000	49.00	7000 X 7000
F10	8000	8000	8000	64.00	8000 X 8000
F11	9000	9000	9000	81.00	9000 X 9000
F12	10000	10000	10000	100.00	10000 X 10000

DETAIL OF (F2)					
Sr No.	Dim (m)	X	Y	Area (sqm)	Remarks
F2	1000	1000	1000	1.00	1000 X 1000
F3	1500	1500	1500	2.25	1500 X 1500
F4	750	750	750	0.56	750 X 750
F5	2000	2000	2000	4.00	2000 X 2000
F6	3000	3000	3000	9.00	3000 X 3000
F7	4000	4000	4000	16.00	4000 X 4000
F8	5000	5000	5000	25.00	5000 X 5000
F9	6000	6000	6000	36.00	6000 X 6000
F10	7000	7000	7000	49.00	7000 X 7000
F11	8000	8000	8000	64.00	8000 X 8000
F12	9000	9000	9000	81.00	9000 X 9000
F13	10000	10000	10000	100.00	10000 X 10000

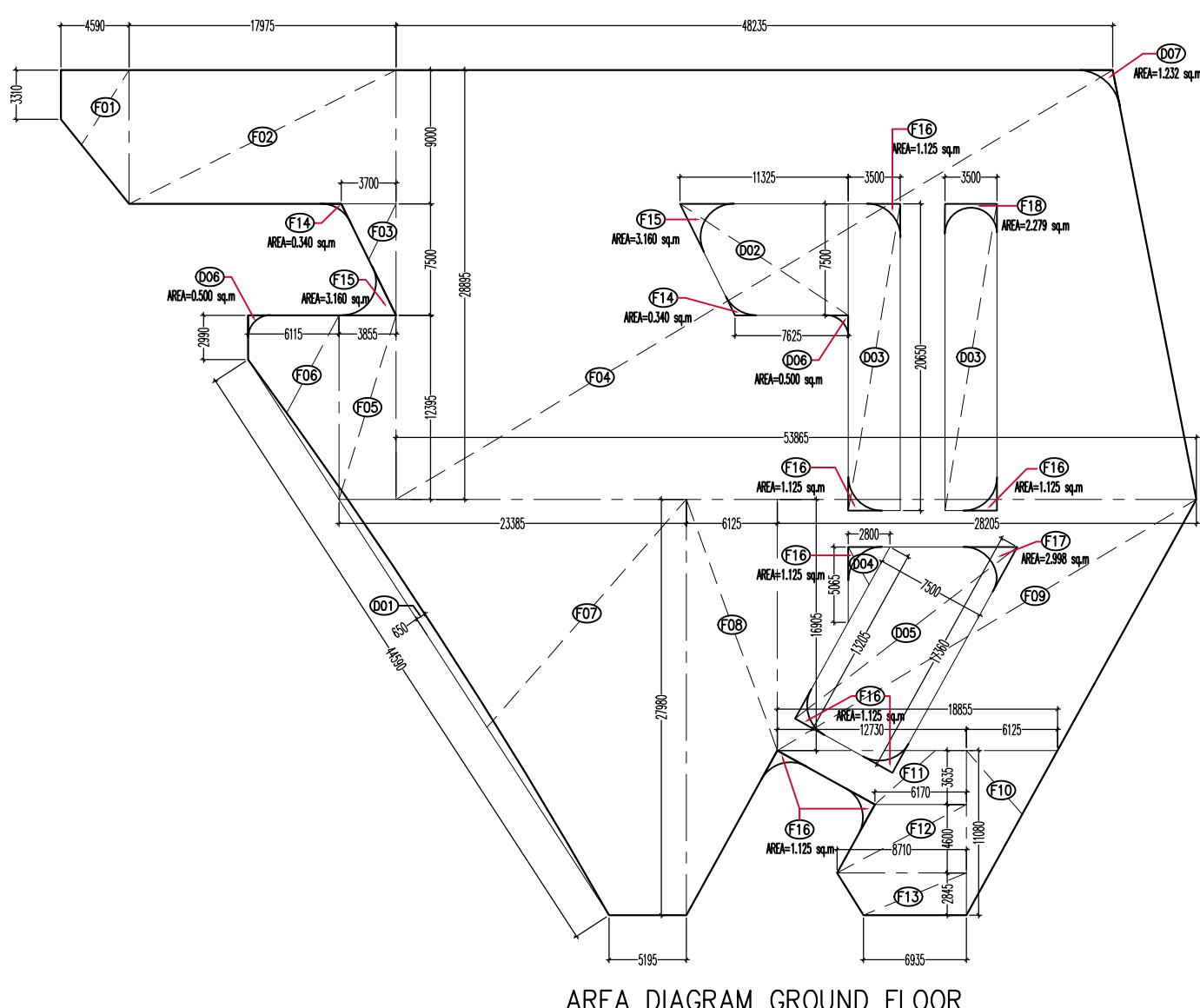


DETAIL OF (F1)					
Sr No.	Dim (m)	X	Y	Area (sqm)	Remarks
F1	1000	1000	1000	1.00	1000 X 1000
F2	1500	1500	1500	2.25	1500 X 1500
F3	750	750	750	0.56	750 X 750
F4	2000	2000	2000	4.00	2000 X 2000
F5	3000	3000	3000	9.00	3000 X 3000
F6	4000	4000	4000	16.00	4000 X 4000
F7	5000	5000	5000	25.00	5000 X 5000
F8	6000	6000	6000	36.00	6000 X 6000
F9	7000	7000	7000	49.00	7000 X 7000
F10	8000	8000	8000	64.00	8000 X 8000
F11	9000	9000	9000	81.00	9000 X 9000
F12	10000	10000	10000	100.00	10000 X 10000

DETAIL OF (F2)					
Sr No.	Dim (m)	X	Y	Area (sqm)	Remarks
F2	1000	1000	1000	1.00	1000 X 1000
F3	1500	1500	1500	2.25	1500 X 1500
F4	750	750	750	0.56	750 X 750
F5	2000	2000	2000	4.00	2000 X 2000
F6	3000	3000	3000	9.00	3000 X 3000
F7	4000	4000	4000	16.00	4000 X 4000
F8	5000	5000	5000	25.00	5000 X 5000
F9	6000	6000	6000	36.00	6000 X 6000
F10	7000	7000	7000	49.00	7000 X 7000
F11	8000	8000	8000	64.00	8000 X 8000
F12	9000	9000	9000	81.00	9000 X 9000
F13	10000	10000	10000	100.00	10000 X 10000



GROUND FLOOR PLAN
LVL. +0.90 M
SINGLE CAR PARKING = 03 ECS



GROUND FLOOR AREA CALCULATION					
Sr No.	Dim (m)	X	Y	Area (sqm)	Remarks
F01	17.975	X	9.000	1.00	17.975 X 9.000
F02	3.700	X	7.450	0.50	3.700 X 7.450
F04	48.235	X	53.865	1.00	48.235 X 53.865
F05	3.855	X	12.395	1.00	3.855 X 12.395
F06	(2.950 + 12.395) / 2 X 6.115			1	47.783
F07	(23.385 + 5.155) / 2 X 22.960			1	309.834
F08	(27.860 + 18.305) / 2 X 5.125			1	137.466
F09	(28.205 + 18.855) / 2 X 16.905			2	397.774
F10	11.080	X	6.125	0.50	11.080 X 6.125
F11	(12.730 + 6.170) / 2 X 3.635			1	34.350
F12	(6.170 + 8.710) / 2 X 4.650			1	24.220
F13	(8.710 + 6.935) / 2 X 2.845			1	22.255
F14	AREA AS PER DETAIL = (0.340 X 2)			2	0.680
F15	AREA AS PER DETAIL = (3.160 X 2)			2	6.320
F16	AREA AS PER DETAIL = (1.125 X 8)			8	9.000
F17	AREA AS PER DETAIL = (2.958 X 1)			1	2.958
F18	AREA AS PER DETAIL = (2.279 X 1)			1	2.279
TOTAL ADDITION AREA (A)					2854.918
DEDUCTION AREA					
D01	44.590	X	0.650	0.67	19.419
D02	(11.325 + 7.625) / 2 X 7.500			1	71.062
D03	3.500	X	20.650	1.00	144.550
D04	2.800	X	5.065	0.50	7.091
D05	(13.205 + 17.360) / 2 X 7.500			1	114.618
D06	AREA AS PER DETAIL = (0.500 X 2)			2	1.000
D07	AREA AS PER DETAIL = (1.232 X 1)			1	1.232
TOTAL DEDUCTION AREA (B)					358.972
TOTAL FAR AREA / GROUND COVERAGE AT GROUND FLOOR (C) = (A-B)					2495.946

GROUND TOILET CALCULATION					
NO.	PERMANENT POPULATION	FLOATING POPULATION	TOTAL REQUIRED	MALE	FEMALE
10%	8320	80%	748.78		
MALE (10)	8320	MALE (20)	MALE (10)	MALE	MALE
POPULATION	55	28	469	250	219
W.C.	2.22	1.85	2.00	1.58	4
URINAL	1.46	0.98	0.98	12	13
VONSH BASIN	2.22	1.11	2.00	1.78	4

Exit Calculation For Ground Floor					
Total floor area	2495.946		sqm		
Floors	Average occupant load as per NBC	No. of occupant	As per NBC	Exit Required	Exit Provided
Merchantile Area	2495.946	3	831.98	8319.82	2 X 7500 = 15000 MM

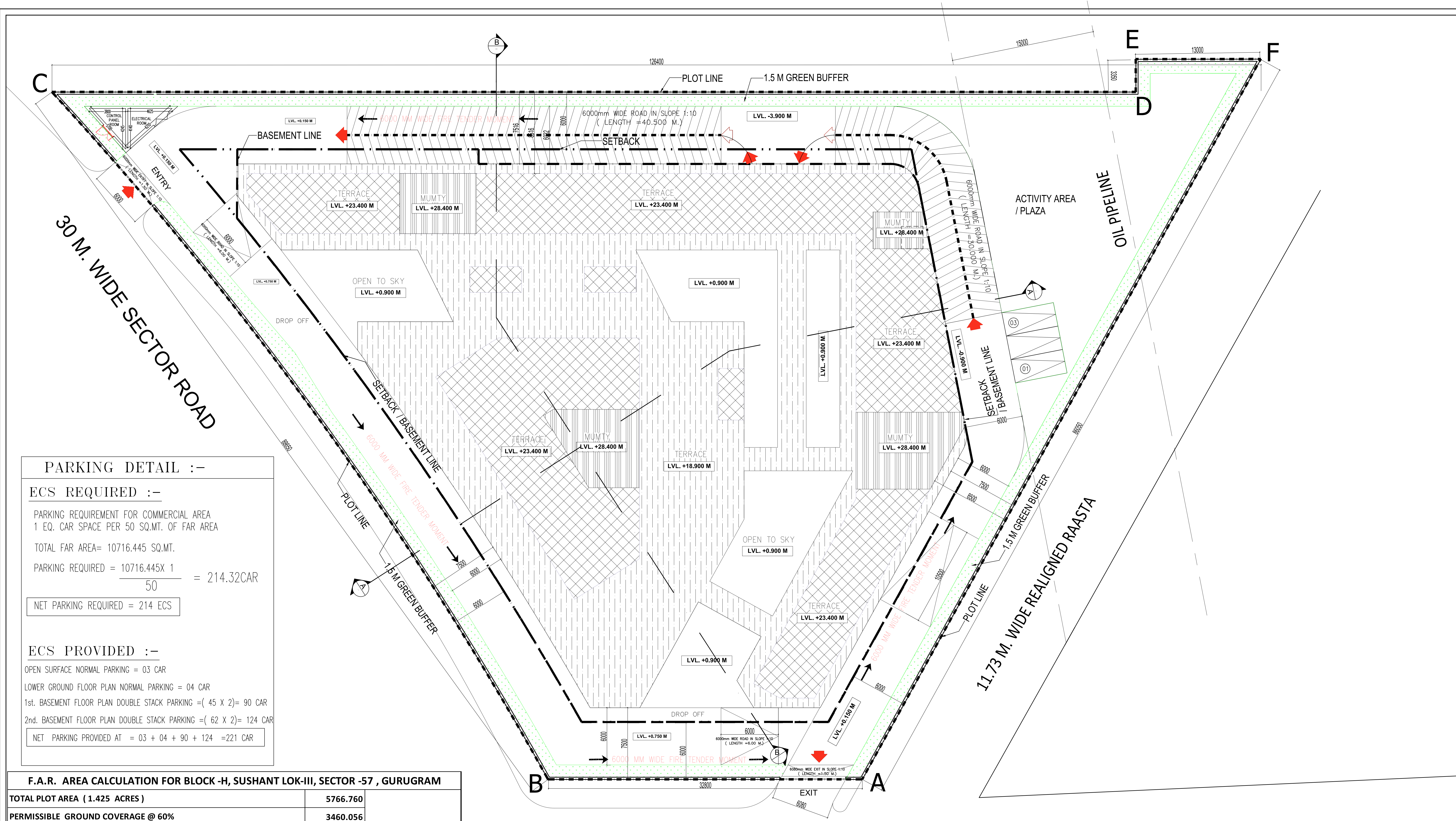
- ### NOTES
- THIS DEVELOPMENT HAS BEEN CONCEIVED, DESIGNED AND DRAFTED ON THE BASIS OF THE FOLLOWING
 1. ALL USEABLE OFFICE SPACES/RETAIL SPACES (LIKE SHOP AREAS, ENTERTAINMENT) WILL BE AIR-CONDITIONED. THEREFORE, NO PROVISION HAS BEEN MADE FOR NATURAL VENTILATION OF SPACES.
 2. ALL TOILETS/KITCHENS WILL BE MECHANICALLY VENTILATED. CONDITIONED AIR FROM THE FLOOR WILL BE SUCKED IN TO THE TOILETS/KITCHENS AND VENTED OUT THROUGH A VENT SHAFT
 3. ALL SPACES (ROOM SPACES, RETAIL SPACES, SERVICE AREAS, PARKING BASEMENT, ETC) WILL BE ARTIFICIALLY LIT. ANY NATURAL LIGHT WHICH IS AVAILABLE IN THE ROOM SPACES IS ONLY INCIDENTAL AND NOT ESSENTIAL TO THE FUNCTIONING OF THE BUILDING.
 4. 100% STANDBY GENERATING CAPACITY WILL BE PROVIDED FOR THE ENTIRE ELECTRICAL REQUIREMENT OF THE TOTAL SCHEME. THIS THEREFORE INCLUDES STANDBY GENERATION FOR ALL COMMON SERVICES, FIRE SERVICES, LIFTS ETC. AND ALSO THE ENTIRE ELECTRICAL LOAD FOR VENTILATION, AIR-CONDITIONING, LIGHTS AND ALL ROOM EQUIPMENT.
 5. BASEMENT WILL BE ARTIFICIALLY VENTILATED.
 6. THIS BUILDING WILL BE SPRINKLED AS PER NBC NORMS.
 7. HANDICAP RAMP WITH RAILING
 8. ALL PARTITION ARE IN 100/200MM THICK IN BLOCK WORK.

- ### LEGEND FOR PLUMBING
- 110 OD SWR uPVC SOIL & VENT PIPE
 - 110 OD SWR uPVC WASTE & VENT PIPE
 - 75 OD VENT PIPE
 - FLUSHING WATER SUPPLY DN. TAKE PIPE
 - DOMESTIC WATER SUPPLY DN. TAKE PIPE
 - FLUSHING WATER SUPPLY RISER PIPE
 - DOMESTIC WATER SUPPLY RISER PIPE
 - 160 OD uPVC RAIN WATER PIPE (TERRACE)

- ### PLUMBING NOTE:-
- * URINAL TO FLOOR TRAP 63 OD uPVC SOIL PIPE
 - * WASH BASIN TO FLOOR TRAP 50 OD uPVC WASTE PIPE
 - * FLOOR DRAIN TO FLOOR TRAP 63 OD uPVC WASTE PIPE
 - * FLOOR TRAP TO VERTICAL WASTE STACK 110 OD WASTE PIPE
 - * W.C. TO VERTICAL SOIL STACK 110 OD SOIL PIPE

SCHEDULE OF OPENINGS

TYPE	WIDTH	HEIGHT	SILL HT.	LINTEL
D	900	2100	-	2100
D1	1000	2100	-	2100
D2	1500	2100	-	2100
D3	750	2100	-	2100
FCD	2000	2100	-	2100
FCD1	1500	2100	-	2100
G/D	3425	2100	-	2100
GL	AS/PLAN	2100	-	2100



PARKING DETAIL :-

ECS REQUIRED :-

PARKING REQUIREMENT FOR COMMERCIAL AREA
1 EQ. CAR SPACE PER 50 SQ.MT. OF FAR AREA

TOTAL FAR AREA= 10716.445 SQ.MT.

PARKING REQUIRED = $\frac{10716.445 \times 1}{50}$ = 214.32CAR

NET PARKING REQUIRED = 214 ECS

ECS PROVIDED :-

OPEN SURFACE NORMAL PARKING = 03 CAR

LOWER GROUND FLOOR PLAN NORMAL PARKING = 04 CAR

1st. BASEMENT FLOOR PLAN DOUBLE STACK PARKING =(45 X 2)= 90 CAR

2nd. BASEMENT FLOOR PLAN DOUBLE STACK PARKING =(62 X 2)= 124 CAR

NET PARKING PROVIDED AT = 03 + 04 + 90 + 124 =221 CAR

F.A.R. AREA CALCULATION FOR BLOCK -H, SUSHANT LOK-III, SECTOR -57 , GURUGRAM				
TOTAL PLOT AREA (1.425 ACRES)		5766.760	ALL AREA IN SQMT.	
PERMISSIBLE GROUND COVERAGE @ 60%		3460.056		
PERMISSIBLE F.A.R @ 1.75		10091.830		
Additional 12% FAR of Plot Area For GREEN AREA		692.011		
NET PERMISSIBLE FAR (1.75 +0.12 = 1.87 %)		10783.841		
PROPOSED GROUND COVERAGE @ 43.28 %		2495.946		
PROPOSED F.A.R. @ 1.858		10716.445		
S.NO.	FLOORS	FAR AREA (A)	NON FAR AREA (B)	TOTAL BUILT UP AREA (A+B)
1	2nd. BASEMENT FLOOR	0.000	3288.277	3288.277
2	1st. BASEMENT FLOOR	0.000	3288.277	3288.277
3	LOWER GROUND FLOOR	1897.473	1129.778	3027.250
4	GROUND FLOOR	2495.946	0.000	2495.946
5	MEZZANINE FLOOR	980.964	120.176	1101.139
6	FIRST FLOOR	2110.706	171.292	2281.998
7	SECOND FLOOR	2110.706	171.292	2281.998
8	THIRD FLOOR	1120.650	154.941	1275.591
9	MUMTY ,M.ROOM & O.H.WATER TANK	0.000	383.105	383.105
TOTAL AREA		10716.445	8707.138	19423.583

- NOTES
- THIS DEVELOPMENT HAS BEEN CONCEIVED, DESIGNED AND DRAFTED ON THE BASIS OF THE FOLLOWING

1. ALL USEABLE OFFICE SPACES/RETAIL SPACES (LIKE SHOP AREAS, ENTERTAINMENT) WILL BE AIR-CONDITIONED THEREFORE,NO PROVISION HAS BEEN MADE FOR NATURAL VENTILATION OF SPACES.

2. ALL TOILETS/KITCHENS WILL BE MECHANICALLY VENTILATED.CONDITIONED AIR FROM THE FLOOR WILL BE SUCKED IN TO THE TOILETS/KITCHENS AND VENTED OUT THROUGH A VENT SHAFT

3. ALL SPACES (ROOM SPACES,RETAIL SPACES, SERVICE AREAS, PARKING BASEMENT,ETC) WILL BE ARTIFICIALLY LIT. ANY NATURAL LIGHT WHICH IS AVAILABLE IN THE ROOM SPACES IS ONLY INCIDENTAL AND NOT ESSENTIAL TO THE FUNCTIONING OF THE BUILDING.

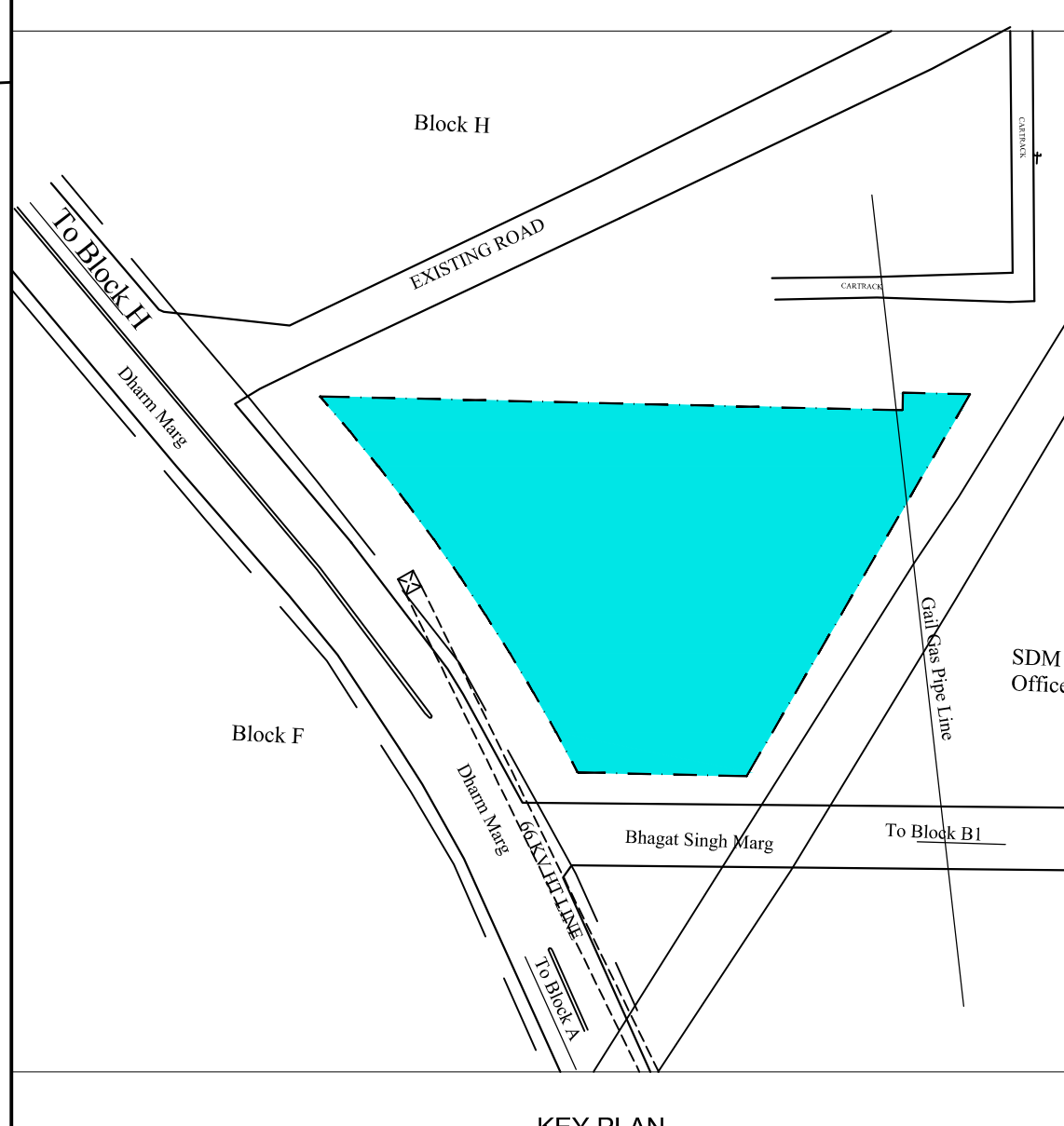
4. 100% STANDBY GENERATING CAPACITY WILL BE PROVIDED FOR THE ENTIRE ELECTRICAL REQUIREMENT OF THE TOTAL SCHEME. THIS THEREFORE INCLUDES STANDBY GENERATION FOR ALL COMMON SERVICES, FIRE SERVICES, LIFTS ETC. AND ALSO THE ENTIRE ELECTRICAL LOAD FOR VENTILATION,AIR-CONDITIONING, LIGHTS AND ALL ROOM EQUIPMENT.

5. BASEMENT WILL BE ARTIFICIALLY VENTILATED.

6. THIS BUILDING WILL BE SPRINKLED AS PER NBC NORMS.

7. HANDICAP RAMP WITH RAILING

8. ALL PARTITION ARE IN 100/200MM THICK IN BLOCK WORK .



GIAN PRAKASH MATHUR

Digitally signed by GIAN PRAKASH MATHUR
Date: 2021.10.30 14:35:30 +05'30'

OWNER'S SIGN

ARCHITECT'S SIGN

PROJECT:-

APPROVAL OF BUILDING PLAN OF COMMERCIAL SITE ADMEASURING 1.425 ACRES IN BLOCK-H FALLING IN THE RESIDENTIAL PLOTTED COLONY OF AREA MEASURING 199.063 ACRES (Licence no 102 To 114 of 2004 Dated 27.07.2004)IN SECTOR - 57, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY, M/s. PARYAPT INFRASTRUCTURE PVT. LTD.

TITLE:-

SITE PLAN & AREA CALCULATION

DATE:-11/10/2021

SCALE:- 1:100

DATE:-11/10/2021

01