

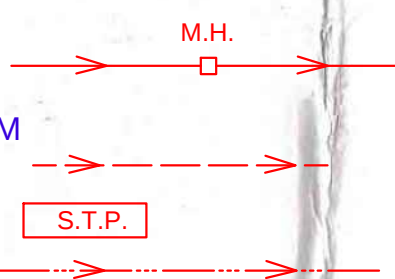
SEWER AGE SCHEME

OTHER PROPERTY

SETBACK LINE
BOUNDARY WALL

LEGEND

- SEWERAGE PIPE LINE
- D.I. PIPE (BY PUMPING) FROM S.T.P. TO GOVT. SEWER LINE
- S.T.P.
- GOVT. SEWER LINE
- F.L. 218.50
G.L. 218.30
I.L. 216.00



200 mm Ø = 115m. (B - C)

400 mm Ø = 80m. (C - D)

400 mm Ø = 12m. (D - S.T.P.)

BELT CAP. 950 K.L.

200 mm Ø = 65m. (D1 - D)

200 mm Ø D.I. PIPE = 100m. (BY PUMPING)

GOVT. SEWER LINE

F.L. 218.10
G.L. 217.90
I.L. 215.90F.L. 218.25
G.L. 218.10

SECTOR-102

BOUNDARY WALL

BOUNDARY WALL

OTHER PROPERTY

24 M WIDE ROAD

BOUNDARY WALL

SETBACK LINE

OTHER PROPERTY

BOUNDARY WALL

SETBACK LINE

OTHER PROPERTY

SECTOR-102

BOUNDARY WALL

SETBACK LINE

OTHER PROPERTY

BOUNDARY WALL

SETBACK LINE

OTHER PROPERTY

BOUNDARY WALL

SETBACK LINE

Habitat 102, Sector-102, Gurugram				
Sl no	AREA SUMMARY	Acre	Sqm	
1	Plot Area	9.3625	37888.633	
2	Net Planned Area (total area for FAR Calculation)	9.22345	37325.919	
a	Area for Residential Group	@ 96% of net planned area (2)	8.854512	35832.882
b	Site allocated for Commercial	@ 4% of net planned area (2)	0.368938	1493.0367
3	Group Housing :			
c	Permissible FAR for Group Housing	@ 2.25 of 35832.882 (a)		80623.984
d	Additional For KBCB - (Platinum Rated)	@ 15% of 35832.882 (a)		5374.332
e	Total Permissible FAR for Group Housing	(c + d)		85998.317
f	Proposed FAR for Group Housing			85972.222
g	Balanced FAR for Housing			26.695
4	Commercial :			
h	Total Permissible FAR for Commercial	@ 1.75 of 1493.0367 (b)		2612.814
i	Additional For KBCB - (Platinum Rated)	@ 15% of 1493.0367 (b)		223.9555
j	Total Permissible FAR for Commercial	(h + i)		2836.7698
k	Proposed FAR for Commercial			2833.275
4	Summary			
l	Permissible Gr. Coverage Area	@ 50% of net planned area (2)		18662.959
m	Proposed Gr. Coverage Area (34.6%)			9235.739
5	Required Density	Population	Dwelling Units	
n	750 PPA (Min)	5661	1329	No.s
o	900 PPA (Max)	7969	1593	No.s
6	Proposed Density Summary			
p	Total No. of Units	1341	Dwelling Unit	
q	Total Population @ 5 persons per unit	6705	No.s	
r	Density Achieved	757.24	Say 758	PPA
7	Green Area Summary			
s	Required Green Area	15% of Net Planned Area (2)	5598.888	Sqm.
t	Proposed Green Area	15.47%	5774.230	Sqm.
8	Parking Summary			
u	Required Parking	671	ECS	
v	Proposed Parking	671	ECS	

DWELLING UNIT COUNT					
TOWERS	3 BHK TYPE 1	3 BHK TYPE 2	3 BHK TYPE 3	2 BHK TYPE 1	TOTAL
TOWER A1	80	43			123
TOWER A2/A3	164	82	4	84	334
TOWER A4/A10	406	203	14	210	833
TOTAL	650	328	18	337	1341

TOWERS	STILT AREA PER TOWER	GROUND FLOOR F.A.R. PER TOWER	GROUND FLOOR F.A.R. PER TOWER	TYPICAL FLOOR F.A.R. PER TOWER	21st FLOOR F.A.R. PER TOWER	NO. OF UNITS/FLOOR	BALCONY AREA PER TOWER	GORE NON F.A.R. PER TOWER	WATER TANK AREA PER TOWER	F.A.R. PER TOWER	BUILTUP AREA PER TOWER	No. OF TOWERS	TOTAL F.A.R.	TOTAL BUILTUP AREA
TOWER A1	111.578	728.057	486.250	610.485	453.051	20	74.412	33.108	58.358	11148.006	13146.525	1	11148.006	13146.525
TOWER A2/A3	111.578	672.390	486.250	610.485	510.485	20	74.412	33.108	58.358	10898.955	13090.887	2	21397.910	26181.710
TOWER A4/A10	111.578	672.390	486.250	610.485	610.485	14	74.412	33.108	58.358	7633.044	8362.825	7	53431.305	65678.772
TOTAL AREA (SQ.M.) =											29478.005	10	86372.222	1,05,006.011

S.N	TOWER NO.	TYPE	F.A.R. OF TOWER IN SQ.M.	NO. OF UNITS/FLOOR	TOTAL NO. OF UNITS	TOTAL NO. OF DJS PERSONS/PERSON
1	A1	3 BHK+2 BHK	11148.006	8	22	174
2	A2	3 BHK+2 BHK	10898.955	8	21	167
3	A3	3 BHK+2 BHK	10898.955	8	21	167
4	A4	3 BHK+2 BHK	7633.044	8	15	119
5	A5	3 BHK+2 BHK	7633.044	8	15	119
6	A6	3 BHK+2 BHK	7633.044	8	15	119
7	A7	3 BHK+2 BHK	7633.044	8	15	119
8	A8	3 BHK+2 BHK	7633.044	8	15	119
9	A9	3 BHK+2 BHK	7633.044	8	15	119
10	A10	3 BHK+2 BHK	7633.044	8	15	119
TOTAL RESIDENTIAL F.A.R. =			86972.222		1341.000	6705.000

S.N	TOWER NO.	TYPE	GR. COVERAGE OF TOWER IN SQ.M.	TOTAL NO. OF UNITS	TOTAL NO. OF DJS PERSONS/PERSON
1	A1	3 BHK+2 BHK	728.057	22	174
2	A2	3 BHK+2 BHK	672.390	21	167
3	A3	3 BHK+2 BHK	672.390	21	167
4	A4	3 BHK+2 BHK	672.390	15	119
5	A5	3 BHK+2 BHK	672.390	15	119
6	A6	3 BHK+2 BHK	672.390	15	119
7	A7	3 BHK+2 BHK	672.390	15	119
8	A8	3 BHK+2 BHK	672.390	15	119
9	A9	3 BHK+2 BHK	672.390	15	119
10	A10	3 BHK+2 BHK	672.390	15	119
TOTAL GR. COVERAGE AREA =			6778.567		10898.955

S.N	DESCRIPTION	TYPE	AREA (SQ.M.)	TOTAL NO. OF UNITS	TOTAL NO. OF DJS PERSONS/PERSON
1	COMMERCIAL		2238.806		3562.170
TOTAL GR. COVERAGE AREA =			2238.806		3562.170

S.N	DESCRIPTION	TYPE	AREA (SQ.M.)	TOTAL NO. OF UNITS	TOTAL NO. OF DJS PERSONS/PERSON
1	COMMUNITY & CRECHE		218.388		421.275
TOTAL GR. COVERAGE AREA =			218.388		421.275

S.N	DESCRIPTION	TYPE	BUILT UP IN SQ.M.	TOTAL BUILT UP AREA
1	COMMERCIAL		3562.170	3562.170
TOTAL BUILT UP AREA =			3562.170	3562.170

S.N	DESCRIPTION	TYPE	BUILT UP IN SQ.M.	TOTAL BUILT UP AREA
1	COMMUNITY & CRECHE		421.275	421.275
TOTAL BUILT UP AREA =			421.275	421.275

S.N	DESCRIPTION	TYPE	BUILT UP IN SQ.M.	TOTAL BUILT UP AREA
1	COMMUNITY & CRECHE		421.275	421.275
TOTAL BUILT UP AREA =			421.275	421.275

- NOTES:
- ALL LIFTS SHALL HAVE 100% POWER BACKUP.
 - ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISION OF NBC.
 - FIRE FIGHTING/SAFETY PROVISIONS WILL BE AS PER RELEVANT NBC PROVISIONS.
 - BUILDING STRUCTURE DESIGNED EARTHQUAKE RESISTANT.
 - MAIN ENTRY & BOUNDARY WALL AS PER STANDARD DESIGN.

PROJECT
PROPOSED BUILDING PLAN OF AFFORDABLE GROUP HOUSING COLONY ON LAND MEASURING 9.3625 Acres (License no.42 of 2021 dated 27.07.2021) IN SECTOR 102, GURUGRAM, HARYANA BEING DEVELOPED BY HABITAT TOWNSHIP PVT. LTD.

CLIENT
RUDRAKSHA REALTORS PVT. LTD. & OTHERS IN COLLABORATION WITH HABITAT TOWNSHIP PVT. LTD.

PRINCIPAL ARCHITECT



K-47, KAILASH COLONY, NEW DELHI-110048
PHONE NO.: 011-48556800

DRG. TITLE
SITE PLAN - TERRACE LVL. & AREA SUMMARY

OWNER'S SIGN

ARCHITECT'S SIGN
GOONMEET S. CHAHAN
B. Arch. (Hons.), M.C.A.
CA/1502/2014

SCALE - 1:400

DATE-24.08.2021



SHEET NO.

01

SEWERAGE SCHEME