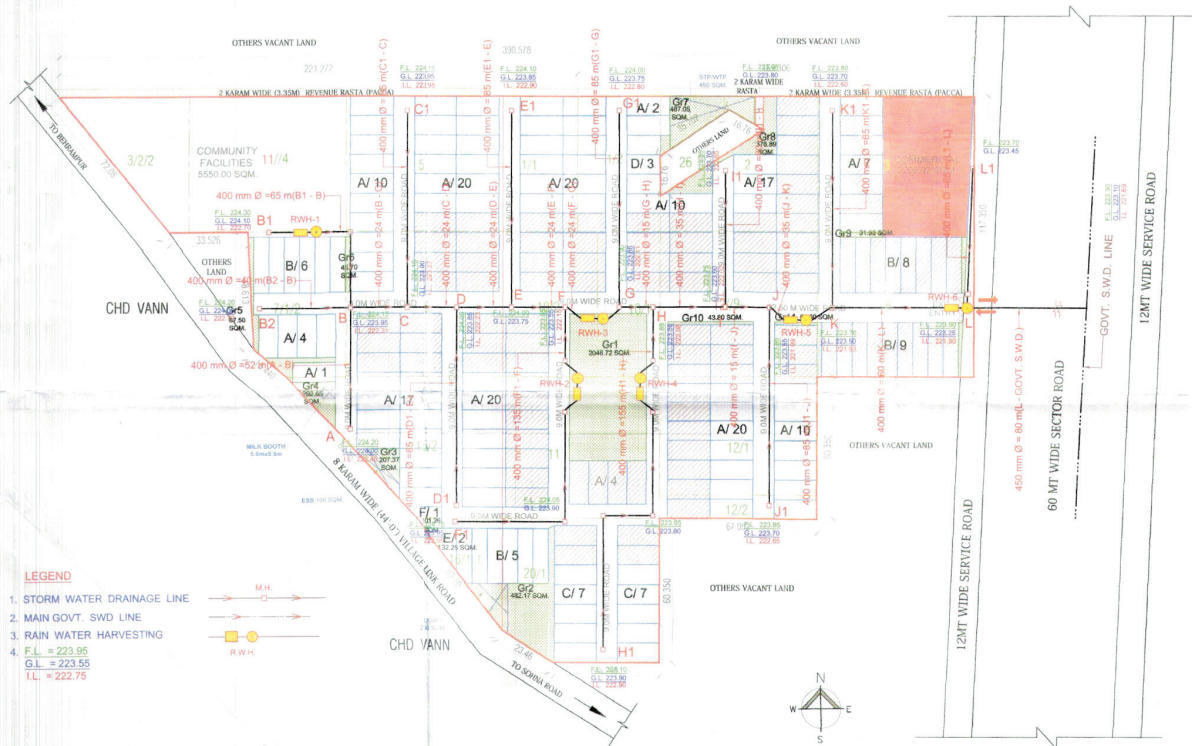


STORM WATER DRAINAGE SCHEME



PROPOSED LAYOUT PLAN OF AFFORDABLE PLOTTED COLONY UNDER DEEN DAYAL JAN AWAS YOUNA SCHEME - 2016 IN THE REVENUE ESTATE OF VILLAGE - FAZILPUR JHARSA, SECTOR - 71, G M U C, DISTRICT - GURUGRAM - HARYANA AREA ADMEASURING 13.6775 ACRES - BEING DEVELOPED BY RAJ BUILDWELL PRIVATE LIMITED

DRAWING NO.	DFA/2021/71/Layout04 Dtd 01-02-2021
DRAWING TITLE	PROPOSED LAYOUT PLAN
SCALE	1 CM TO 10 METERS

To be read with Licence No. 33 of 2021 dated 07/02/21

- This layout plan for an area measuring 13.6775 acres (Drawing No. DTP-19/17 dated 09-07-2019) comprised of license which is issued in respect of Affordable Residential Plotted Colony Under Deen Dayal Jan Awas Yojna being developed by Raj Buildwell Pvt. Ltd. in Sector-71, Gurugram. The entire area is hereby approved subject to the following conditions:
- That the layout plan shall be read in conjunction with the clauses appearing on the agreement executed under Rule 11 and the bilateral agreement.
 - That the plotted area of 17-cul-de-sac shall not exceed 45% of the net plotted area of the colony. The entire area reserved for commercial purposes shall be taken as plotted for calculation of the area under plots.
 - That the construction plan in respect of all the Residential Plots and Commercial Plots shall be approved from this Department and construction on these sites shall be governed by the Haryana Building Code-2017 and the Zoning Plan approved by the Director, Town & Country Planning, Haryana.
 - That for proper planning and integration of services in the area adjacent to the colony, the colonizer shall abide by the directions of the DTPC for the modification of layout plans of the colony.
 - That the minimum rate falling in the colony shall be kept free for circulation movement as shown in the layout plan.
 - That the colonizer shall abide by the directions of the DTPC, Haryana and accordingly shall make necessary changes in the layout plan for making any adjustment in the alignment of the peripheral roads, internal road circulation or for proper integration of the planning proposals of the adjoining areas.
 - That no property shall be used as access directly from the carriage way to 10 metres or wider sector road if applicable.
 - All green belts provided in the layout plan within the licensed area of the colony shall be developed by the colonizer. All other green belts outside the licensed area shall be developed by the Haryana Urban Development Authority/Colonizer on the directions of the Director, Town and Country Planning, Haryana in accordance with terms and conditions of the agreements of the license.
 - At the time of demarcation (i.e. if required percentage of organized open space is reduced, the same will be provided by the colonizer in the licensed area.
 - No plot will deliver as access from less than 9 metres wide road shall mean a minimum clear width of 8 metres between the plots.
 - Any extra area over and above the permissible as under commercial use shall be deemed to be open space.
 - The portion of the sector development plan road system belts as provided in the Development Plan if applicable, which form part of the licensed area shall be transferred free of cost to the government on the terms of Section 3 (b) of the Act No. 8 of 1975.
 - That the use of plots are being approved subject to the conditions that these plots shall not have a frontage of less than 75% of the standard frontage when demarcated.
 - That you will have no objection to the regularization of the boundaries of the license through the line and later with the land that HUDA is fully able to acquire in the interest of planned development and integration of services. The decision of the competent authority shall be binding in this regard.
 - That the colonizer/owner shall ensure the installation of Solar Power Plant as per provisions of Haryana Solar Power Policy, 2016 issued by Haryana Government Renewable Energy Department under Notification No. 19/4/2016-S Power dated 14.03.2016.
 - That the colonizer/owner shall ensure the installation of Solar Photovoltaic Power Plant as per the provisions of order No. 22/52/2005-Power dated 21.03.2016 issued by Haryana Government Renewable Energy Department.
 - That the colonizer/owner shall strictly comply with the directions issued under Notification No. 19/4/2016-SF dated 31.03.2016 issued by Haryana Government Renewable Energy Department for enforcement of the Energy Conservation Building Codes.

S.NO	DESCRIPTION	IN %	AREA IN ACRE	AREA IN SQM
1	TOTAL SITE AREA		13.6775	59350.79
2	MAX. AREA ALLOWED UNDER RES. & COMM. PLOTS	65.00	8.890	39978.01
3	MAX. PERMISSIBLE AREA UNDER RESIDENTIAL PLOTS	61.00	8.343	37373.96
4	PROPOSED AREA UNDER RESIDENTIAL PLOTS	58.31	7.704	34170.36
5	PERMISSIBLE AREA UNDER COMMERCIAL PLOTS	4.00	0.547	2414.00
6	PROPOSED AREA UNDER COMMERCIAL PLOTS	3.993	0.546	2409.92
7	PROVIDED AREA UNDER RES. & COMM. PLOTS (+/-)	69.307	9.248	40380.28
8	REQUIRED AREA FOR COMMUNITY FACILITIES	10.00	1.368	5935.08
9	PROVIDED AREA FOR COMMUNITY FACILITIES	10.027	1.371	5950.00
10	REQUIRED MIN. GREEN AREA	7.50	1.026	4511.31
11	PROVIDED GREEN AREA	7.533	1.030	4569.38

DENSITY CALCULATION			
1	PERMISSIBLE DENSITY		240-400 PPA
2	PROPOSED POPULATION (18.0 PERSON PER PLOT)	210	3780
			276 PPA

CLASSIFICATION OF PLOTS			
S.NO	PLOT TYPE	WIDTH	LENGTH
1	A	8.20	18.25
2	B	8.50	22.85
3	C	8.20	17.875
4	D	8.20	14.28
5	E	8.20	14.28
6	F	8.20	14.28
	TOTAL #	210	31170.360

CLASSIFICATION OF FROZEN PLOTS 80% OF TOTAL SALEABLE AREA			
S.NO	PLOT TYPE	WIDTH	LENGTH
1	A	8.20	18.25
2	B	8.50	22.85
3	C	8.20	17.875
	TOTAL #	106	16664.936

Checked subject to comments in forwarding letter No. 150297/ Dt. 21/03/2021 and notes attached with the estimate

Additional Chief Engineer (H2) for Chief Engineer, HSPV, Gurugram

R.A. BUILDWELL
Superintending Engineer,
HSPV Circle, Gurugram

LC-1204 + LC-1257

RAJ BUILDWELL PRIVATE LIMITED
41A, RING ROAD, LAJPAT NAGAR - IV,
CAPTAIN GURU MARG, NEW DELHI - 110024

For Service Fee Estimate only

Executive Engineer
HSPV Circle, Gurugram