

DETAIL OF PLOTS				TOTAL AREA (Sq. Mtr.)	TOTAL AREA (Sq. Mtr.)
S.NO.	TYPE	SIZE (Sq. Mtr.)	NO.		
1	I	10	210	210	2100
2	II	10.87	23,000	281	77750
3	III	10.66	27,500	283	8208
4	IV	12.72	27,500	350	22400
5	V	14.54	27,500	420	10400
6	VI	15.27	27,500	420	31074
7	VII	18.21	27,500	500	4200
8	VIII	19.54	45,000	840	37810
9	IX	24.71	38,000	940	18920
10	X	20.88	48,333	999	20930
11	XI	20.88	48,333	999	21410
TOTAL				10453	677387

AREA CALCULATIONS		
AREA UNDER DEVELOPMENT	11,284	PERCENTAGE
AREA UNDER UNDEVELOPED	28,358	
TOTAL SITE AREA	140150	
NET PLANNED AREA	2,97	
NET AVAILABLE AREA	137,180	
AREA UNDER COMMERCIAL	66,487	48.42%
AREA UNDER RESIDENTIAL	2,78	2.01%
TOTAL SALEABLE AREA	71,247	51.94%

POPULATION CALCULATIONS		
ERS PLOTS	210	89
OTHER PLOTS	833	113.5
DENSITY	1318	Per/1371800

SCHEDULE OF EWS & NPWL PLOTS		
ERS PLOTS #2326	209	210
NPWL PLOTS #2325	201	201

DETAIL OF FACILITIES		
NURSERY SCHOOL	2	2
PRIMARY SCHOOL	2	2
HIGH SCHOOL	1	1
DEPARTMENTAL CENTRE	1	1
COMMUNITY CENTRE	1	1
POLICE POST	1	1
RELIGIOUS BUILDING	1	1
ELECTRIC SUB-STATION	1	1
MILK & VEGETABLE SHOP	2	2
SUB-POST OFFICE (IN COMM.)	1	1
ATM (IN COMMERCIAL)	2	2
MULTIPURPOSE BOOTH (IN COMM.)	2	2
CLINICS (IN COMMERCIAL)	2	2
BEAUTY PARLOUR (IN COMM.)	2	2
HEALTH CENTRE	1	1

DETAIL OF GREEN AREA		
ORGANIZED GREEN #4% (A-4)	5,466	9.5
OTHER GREEN #9% (A-9)	1,37	3.82

REVISIONS		
R-1	10.03.10	111.54 AC. LAYOUT REISED
R-2	10.03.10	111.54 AC. AREA APPLIED
S.No.	DATE	REASON

PROJECT: "ESENCIA" RESIDENTIAL PLOTTED COLONY SEC-67, GURGAON

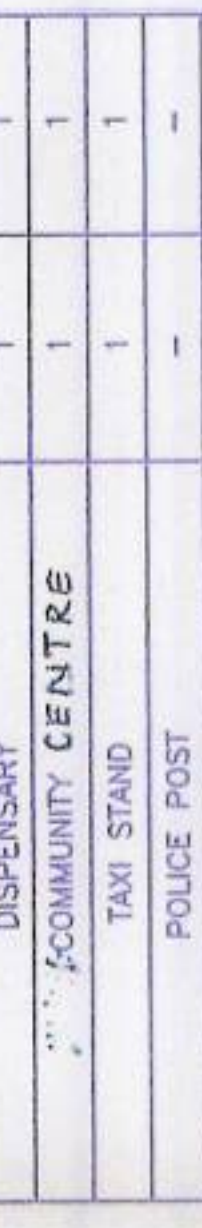
PROJECT TITLE: LAYOUT PLAN

SCALE: 1 : 2000

DATE: 1 / 2000

DEALT BY:

DRAWING NO. AY/SAN/S/4/1-3



For All Real Properties & Infrastructures

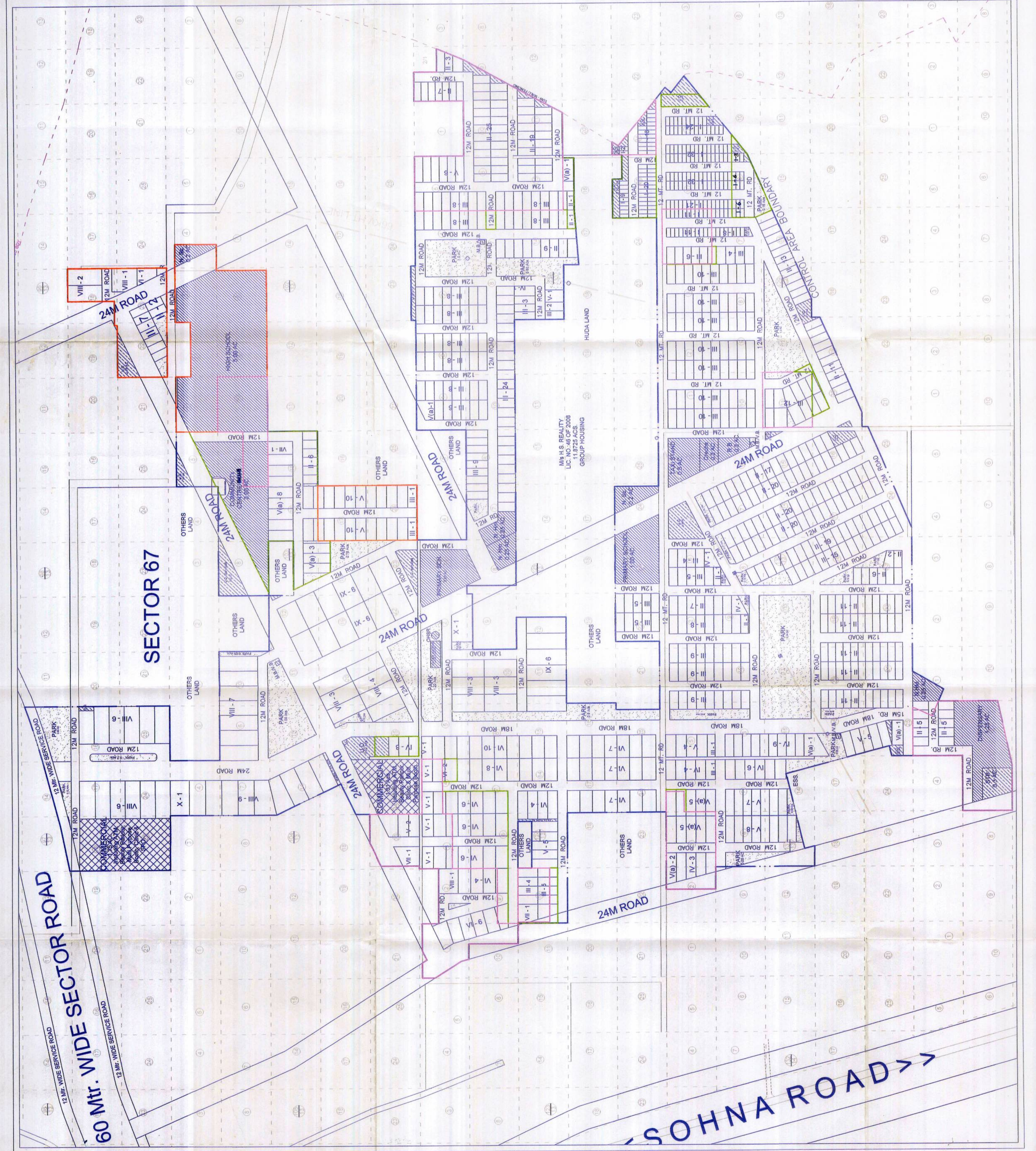
HIRESH BEDI (PRACTISING ARCHITECT) M.A., M.P.P.

URBAN PLANNER

ADOL. V. PRESIDENT (SANCTIONS)



115, ANSAL BHAWAN, IFF-KUMARG, NEW DELHI-110001



To be read with Licencce No. 2/ of 2011 dated 24-3-2011.

This has Revised Layout Plan for an area of 140150 sq.m (3.46 Lacs) as per (Drg. No. D-6, T.C.P-2397 dated 16.02.2011) comprised of licenses which were issued to M/s Ansal Properties & Infrastructures Pvt. Ltd. in collaboration with M/s Ansal Properties & Infrastructures Pvt. Ltd. in Sector-67, Gurgaon Manesar Urban Complex is hereby approved subject to the following conditions:

- That this Revised Layout Plan shall be read in conjunction with the clauses appearing in the agreement executed under Rule 11 and the bilateral agreement.
- That the plotted area of the colony shall not exceed 55% of the net planned area of the colony. The entire area reserved for commercial purposes shall be taken as plotted for calculation of the area under plots.
- That the demarcation plans as per site of all the residential, commercial and institutional sites shall be got approved by the Director General, Town & Country Planning, Haryana, and the Director General, Urban Development and Controlled Areas Restriction of Unplanned Development, Haryana, and the Director General, Town & Country Planning, Haryana, before any construction work is started in the colony.
- That the proposed planning and integration of services in the area shall be as per the approved layout plan of the colony and the directions of the D.G. T.C.P. for the modification of layout plans of the colony, the colonizer shall abide by the plan.
- That the revenue area falling in the colony shall be least free for crochabaz/movement as shown in the layout plan.
- That the colonizer shall abide by the directions of the D.G. T.C.P. Haryana and accordingly shall make necessary arrangements for the provision of the peripheral roads, internal road circulation or for proper integration of the planning proposals of the adjoining plots of the sectors as shown in the Development Plan.
- All green belts provided in the layout plan within the licensed area of the colony shall be developed by the colonizer in accordance with the directions of the Director General, Town & Country Planning, Haryana and in accordance with terms and conditions of the agreements of the licenses.
- No part of the licensed area shall be used for any other purpose than that specified in the license.
- The maximum number of buildings in any one block shall not exceed 40 and the area under infrastructure are shall not exceed 10% of the total area of the colony.
- No part of the licensed area shall be used for any other purpose than that specified in the license.
- Any excess area over and above the permitted 4% under commercial use shall be deemed to be open space.
- The maximum number of buildings in any one block shall not exceed 40 and the area under infrastructure are shall not exceed 10% of the total area of the colony.
- This condition shall also be incorporated in the zoning plan for the colony.
- No plot will have an access from less than 12 meters wide road which mean a minimum clear width of 12 meters between the plots.
- The portion of the sector/development plan roads (green belts) as provided in the Development Plan, which form part of the licensed area shall be transferred free of cost to the government on the line of section 3(3)(ii) of the provisions of the Act.
- That the odd size plots (except EWS plots) which are proposed in the Development Plan shall be approved subject to the conditions that these plots should not have a coverage of less than 75% of the standard coverage which is prescribed in the Development Plan.
- That you will have no objection to the regularization of the boundaries of the license through give and take with the government to the extent of the regularization of the boundaries of the license through give and take with the government.
- The decision of the competent authority shall be binding in this regard.
- That the colonizer shall obtain the clearance/DOC as per the provisions of the Notification No. S.O. 1531 (E) Dated 14.02.2006 issued by Ministry of Environment and Forest, Government of India before starting the development work at site.
- That the rain water harvesting system shall be provided as per Central Ground Water Authority norms/Haryana Govt. notification as applicable.
- That the provision of solar water heating system shall be as per norms specified by HADEA and shall be made operational where applicable before applying for an occupation certificate.
- That the colonizer/owner shall use only Compact Fluorescent Lamp (CFL) for internal lighting as well as Campus lighting.
- That the colonizer shall recover the ultimate responsibility of your power utility to ensure the provision of project to the concerned site for transmission/switching station at the concerned site as per the norms prescribed by the power utility in your project area at the time of approval of Building plans.

(Sd/-) (Signature)

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