

LEGEND FOR PLUMBING-

SYMBOL	DESCRIPTION
(Symbol)	SEWERAGE LINE
(Symbol)	DRAINAGE LINE
(Symbol)	IRRIGATION LINE
(Symbol)	TANKER INLET PIPE
(Symbol)	MUNICIPAL INLET PIPE
(Symbol)	BORE WELL INLET PIPE
(Symbol)	GARDEN HYDRANT
(Symbol)	MHS SEWER MANHOLE STARTING DEPTH=900mm
(Symbol)	DMH DRAIN MANHOLE STARTING DEPTH=900mm
(Symbol)	RWH RECHARGE PIT
(Symbol)	6.0M WIDE ROAD
(Symbol)	8.945M WIDE ROAD

TYPICAL MANHOLE SCHEDULE

Type of Manhole	Size (mm)	Shape	Depth
A	900 DIA	CIRCULAR	900 TO 1650
B	1200 DIA	CIRCULAR	1651 TO 2300
C	1500 DIA	CIRCULAR	2301 TO 3000

Design of Garden Hydrant system

S.No.	From	To	Ths	Length
1	G1	G2	100	1.0
2	G2	G3	50	17.5
3	G3	G4	25	1.0
4	G4	G5	25	25.4
5	G5	G6	25	1.0
6	G6	G7	25	1.0
7	G7	G8	25	1.0
8	G8	G9	25	1.0
9	G9	G10	25	1.0
10	G10	G11	25	1.0
11	G11	G12	25	1.0
12	G12	G13	25	1.0
13	G13	G14	25	1.0
14	G14	G15	25	1.0
15	G15	G16	25	1.0
16	G16	G17	25	1.0
17	G17	G18	25	1.0
18	G18	G19	25	1.0
19	G19	G20	25	1.0
20	G20	G21	25	1.0
21	G21	G22	25	1.0
22	G22	G23	25	1.0
23	G23	G24	25	1.0
24	G24	G25	25	1.0
25	G25	G26	25	1.0
26	G26	G27	25	1.0
27	G27	G28	25	1.0
28	G28	G29	25	1.0
29	G29	G30	25	1.0
30	G30	G31	25	1.0
31	G31	G32	25	1.0
32	G32	G33	25	1.0
33	G33	G34	25	1.0
34	G34	G35	25	1.0
35	G35	G36	25	1.0
36	G36	G37	25	1.0
37	G37	G38	25	1.0
38	G38	G39	25	1.0
39	G39	G40	25	1.0
40	G40	G41	25	1.0
41	G41	G42	25	1.0
42	G42	G43	25	1.0
43	G43	G44	25	1.0
44	G44	G45	25	1.0
45	G45	G46	25	1.0
46	G46	G47	25	1.0
47	G47	G48	25	1.0
48	G48	G49	25	1.0
49	G49	G50	25	1.0
50	G50	G51	25	1.0

AREA SUMMARY

Sl. No.	Description	Area (Sqm.)	Area (Acres)
1	PLOT AREA	2,123,375	8593.233
2	PERMISSIBLE FAR	1,75	15038.15775
3	PERMISSIBLE GROUND COVERAGE	35%	3007.631
4	ADDITIONAL FAR @ 12% GREEN	12%	1031.18796
5	TOTAL PERMISSIBLE FAR (A+B)		16069.34571
6	PERMISSIBLE RESIDENTIAL FAR (A+B)-(C+D)	(16069.34571)-(48.121165)	16021.2245
7	PERMISSIBLE COMMERCIAL FAR @ 0.5%		42.966
8	ADDITIONAL COMMERCIAL FAR @ 12% GREEN	12%	5.155
9	TOTAL PERMISSIBLE COMMERCIAL FAR (C+D)		48.121
10	PROPOSED FAR FOR RESIDENTIAL		16020.741
11	PROPOSED COMMERCIAL FAR		48.104
12	PROPOSED GROUND COVERAGE	13.91%	1195.529
13	TOTAL NO OF PROPOSED UNITS		114 D.U.
14	DENSITY PERMISSIBLE = 300/ACRES (4046.849)		300
15	ACHIEVED DENSITY PER ACRE = (834) / 2,123,375	(114x5)+(20x2) = 634	298.572480
16	REQUIRED GREEN = 15% OF PLOT AREA	15.00%	1268.985
17	REQUIRED PARKING @ 1.5E.C.S PER DWELLING UNIT		171 E.C.S
18	ADDITIONAL 5% PARKING FOR EWS		9 E.C.S
19	TOTAL REQUIRED PARKING		180 E.C.S
20	PROPOSED PARKING IN 1ST BASEMENT	1 E.C.S PER 32 SQ.M.	149 E.C.S
21	PROPOSED PARKING IN 2ND BASEMENT	1 E.C.S PER 32 SQ.M.	153 E.C.S
22	PROPOSED OPEN PARKING	1 E.C.S PER 23 SQ.M.	25 E.C.S
23	PROPOSED STILT PARKING	1 E.C.S PER 28 SQ.M.	26 E.C.S
24	TOTAL PROPOSED CAR PARKING		353 E.C.S
25	TOTAL 1ST BASEMENT AREA		5054.641
26	TOTAL 2ND BASEMENT AREA		5054.641
27	TOTAL STILT AREA		751.851
28	TOTAL BUILT UP AREA (FAR AREA + NON FAR AREA)		28371.539

AREA DETAILS

S.NO	TOWER A	TOWER B	EWS TOWER	COMMUNITY	TOTAL FAR AT ONE FLOOR (RESIDENTIAL)+ EWS (COMMUNITY)	TOTAL FAR AT ONE FLOOR (COMMERCIAL)	TOTAL NO OF UNITS AT ONE FLOOR	TOTAL GROUND COVERAGE	TOTAL NON FAR AREA (SQ.M.)	TOTAL BUILTUP AREA (SQ.M.)
0										0.000
1	1ST BASEMENT									
2	2ND BASEMENT									
3	GROUND COVERAGE	364.996						5054.641	5054.6410	
4	GROUND / STILT FLOOR	57.218	307.778	0	57.224	446.140	0	130.489	0.000	148.578
5	1ST FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
6	2ND FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
7	3RD FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
8	4TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
9	5TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
10	6TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
11	7TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
12	8TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
13	9TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
14	10TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
15	11TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
16	12TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
17	13TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
18	14TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
19	15TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
20	16TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
21	17TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
22	18TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
23	19TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
24	20TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0.000
25	TERRACE	0.000	65.956	0	0.000	85.576	0	0.000	28.977	0.000
26	TOTAL	6500.968	991.554	38	8874.2310	1125.789	78	496.968	53.727	148.578

PROPOSED GREEN AREA DETAIL

S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	1	39.033 X	19.206 = 749.868
2	1	82.492 X	4.500 = 371.214
3	1	68.033 X	4.500 = 306.149
		TOTAL GREEN AREA =	1427.030

PROPOSED OPEN PARKING AREA DETAIL

S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	A	55.895 X	5.500 = 307.323
2	B	12.580 X	18.415 = 231.661
		TOTAL OPEN PARKING AREA =	538.984
		TOTAL NO OF ECS PROPOSED IN OPEN =	(592.983/23)

STILT PARKING AREA DETAIL

S.No.	Block	Area (Sq.M.)
1	Block A	307.097
2	Block B	444.754
	TOTAL STILT AREA	751.851
	TOTAL NO OF ECS PROPOSED IN STILT =	(751.851/28)

SIGNING AUTHORITY

FOR PRIMORIS REALTORS LLP
DESIGNATING PARTNER

ARCHITECTS SIGN

PROJECT: PROPOSED GROUP HOUSING FOR 2.1234375 ACRES (LICENCE NO86 OF 2019 DATED 01.08.2019) FALLING IN THE REVENUE ESTATE OF VILLAGE ISLAMPUR, GURUGRAM MANANUR URBAN COMPLEX BEING DEVELOPED BY SH. KANWAR SAIN JAIN HUF KARTA & OTHERS IN COLLABORATION WITH PRIMORIS REALTORS LLP.

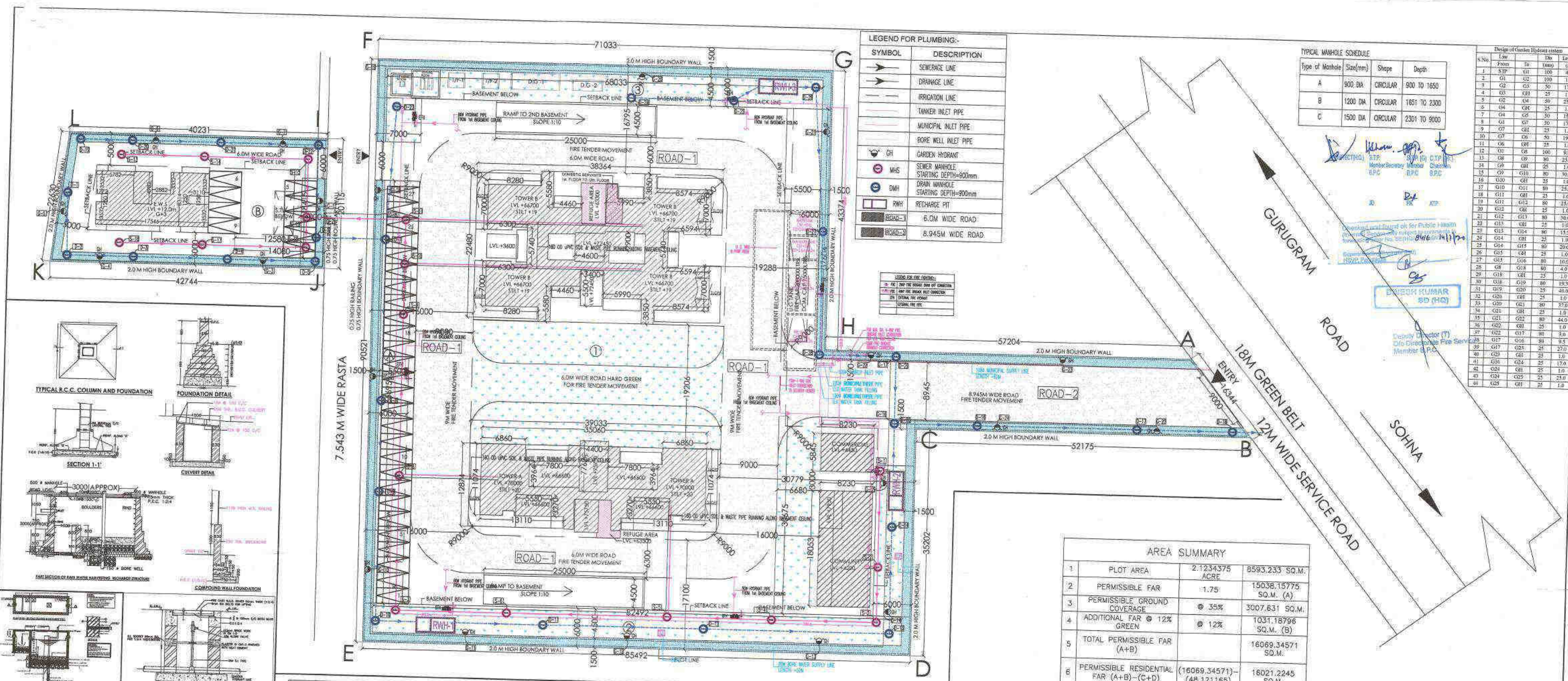
DRG. TITLE: LAYOUT PLAN

SCALE: 1:200

D.T. BY: DATE: 16/12/2019

ARCHITECTS: P.N. ANDLEY BARCH, A.I.A.

ANDLEYS ASSOCIATES PVT. LTD.
ARCHITECTS ENGINEERS PLANNERS



AREA DETAILS

S.NO	TOWER A		TOWER B		EWS TOWER		COMMUNITY		TOTAL FAR AT ONE FLOOR (RESIDENTIAL)+ EWS (COMMUNITY)	TOTAL FAR AT ONE FLOOR (COMMERCIAL)	TOTAL NO. OF UNITS AT ONE FLOOR	TOTAL GROUND COVERAGE	TOTAL NON FAR AREA (SQ.M.)	TOTAL BUILTUP AREA (SQ.M.)		
	FAR AREA	NON FAR AREA	FAR AREA	NON FAR AREA	FAR AREA	NON FAR AREA	FAR AREA	NON FAR								
0														0.000		
1	1ST BASEMENT															
2	2ND BASEMENT															
3	GROUND COVERAGE	364.996		503.364		130.489	0.000	148.578		48.104		5054.641	5054.6410			
4	GROUND / STILT FLOOR	57.218	307.778	0	57.224	446.140	0	130.489		0		1195.529	5054.641	5054.6410		
5	1ST FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
6	2ND FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
7	3RD FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
8	4TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
9	5TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
10	6TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
11	7TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
12	8TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
13	9TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
14	10TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
15	11TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
16	12TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
17	13TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
18	14TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
19	15TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
20	16TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
21	17TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
22	18TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
23	19TH FLOOR	327.548	28.868	2	464.053	30.047	4	122.159	8.250	0	6	67.1650	980.925	1195.529		
24	20TH FLOOR	220.338	28.868	0	0.000	0	0	0	0	0	0	102.565	894.168	1195.529		
25	TERRACE	0.000	85.956	0	0.000	85.576	0	0.000	28.977	0	0	22.332	28.968	248.208		
26	TOTAL	6500.968	991.554	38	8874.2310	1125.789	76	498.968	53.727	148.578	22.332	16020.741	48.104	114	12302.894	28371.539

PROPOSED GREEN AREA DETAIL

S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	39.033 X	19.206	749.868
2	82.492 X	4.500	371.214
3	68.033 X	4.500	306.149
TOTAL GREEN AREA			1427.231

PROPOSED OPEN PARKING AREA DETAIL

S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
A	55.895 X	5.500	307.373
B	12.580 X	18.415	231.661
TOTAL OPEN PARKING AREA			539.034
TOTAL NO. OF ECS PROPOSED IN OPEN			25 ECS

STILT PARKING AREA DETAIL

STILT AREA IN BLOCK 'A'	=	307.097 SQ.M.
STILT AREA IN BLOCK 'B'	=	444.754 SQ.M.
TOTAL STILT AREA	=	751.851 SQ.M.
TOTAL NO. OF ECS PROPOSED IN STILT	=	28 ECS

AREA SUMMARY

1	PLOT AREA	2.1234375	8593.233	SQ.M.
2	PERMISSIBLE FAR	1.75	15038.15775	SQ.M. (A)
3	PERMISSIBLE GROUND COVERAGE	35%	3007.631	SQ.M.
4	ADDITIONAL FAR @ 12% GREEN	12%	1031.18796	SQ.M. (B)
5	TOTAL PERMISSIBLE FAR (A+B)		16069.34571	SQ.M.
6	PERMISSIBLE RESIDENTIAL FAR (A+B)-(C+D)	(16069.34571)-(48.121165)	16021.2245	SQ.M.
7	PERMISSIBLE COMMERCIAL FAR @ 0.5%		42.966	SQ.M. (C)
8	ADDITIONAL COMMERCIAL FAR @ 12% GREEN	12%	5.155	SQ.M. (D)
9	TOTAL PERMISSIBLE COMMERCIAL FAR (C+D)		48.121	SQ.M.
10	PROPOSED FAR FOR RESIDENTIAL		16020.741	SQ.M.
11	PROPOSED COMMERCIAL FAR		48.104	SQ.M.
12	PROPOSED GROUND COVERAGE	13.91%	1195.529	SQ.M.
13	TOTAL NO. OF PROPOSED UNITS		114	D.U.
14	DENSITY PERMISSIBLE = 300/ACRES(4046.849)		300	
15	ACHIEVED DENSITY PER ACRE = (834) / 2.1234375	(114x5)+(20x2) = 634	298.572480	
16	REQUIRED GREEN = 15% OF PLOT AREA	15.00%	1288.985	SQ.M.
17	REQUIRED PARKING @ 1.5E.C.S PER DWELLING UNIT		171	E.C.S
18	ADDITIONAL 5% PARKING FOR EWS		9	E.C.S
19	TOTAL REQUIRED PARKING		180	E.C.S
20	PROPOSED PARKING IN 1ST BASEMENT	1 E.C.S PER 32 SQ.M.	149	E.C.S
21	PROPOSED PARKING IN 2ND BASEMENT	1 E.C.S PER 32 SQ.M.	153	E.C.S
22	PROPOSED OPEN PARKING	1 E.C.S PER 23 SQ.M.	25	E.C.S
23	PROPOSED STILT PARKING	1 E.C.S PER 28 SQ.M.	26	E.C.S
24	TOTAL PROPOSED CAR PARKING AREA		353	E.C.S
25	TOTAL 1ST BASEMENT AREA		5054.641	SQ.M.
26	TOTAL 2ND BASEMENT AREA		5054.641	SQ.M.
27	TOTAL STILT AREA		751.851	SQ.M.
28	TOTAL BUILT UP AREA (FAR AREA + NON FAR AREA)		28371.539	SQ.M.

SIGNING AUTHORITY

FOR PRIMORIS REALTORS LLP
DESIGNATING PARTNER

ARCHITECTS SIGN

SUBMISSION DRAWING

PROJECT: PROPOSED GROUP HOUSING FOR 2.1234375 ACRES (LICENCE NO86 OF 2019 DATED 01.08.2019) FALLING IN THE REVENUE ESTATE OF VILLAGE ISLAMPUR, GURUGRAM MANANUR URBAN COMPLEX BEING DEVELOPED BY SH. KANWAR SAIN JAIN HUF KARTA & OTHERS IN COLLABORATION WITH PRIMORIS REALTORS LLP.

DRG. TITLE: LAYOUT PLAN

SCALE: 1:200

DRG. NO.01

DATE: 16/12/2019

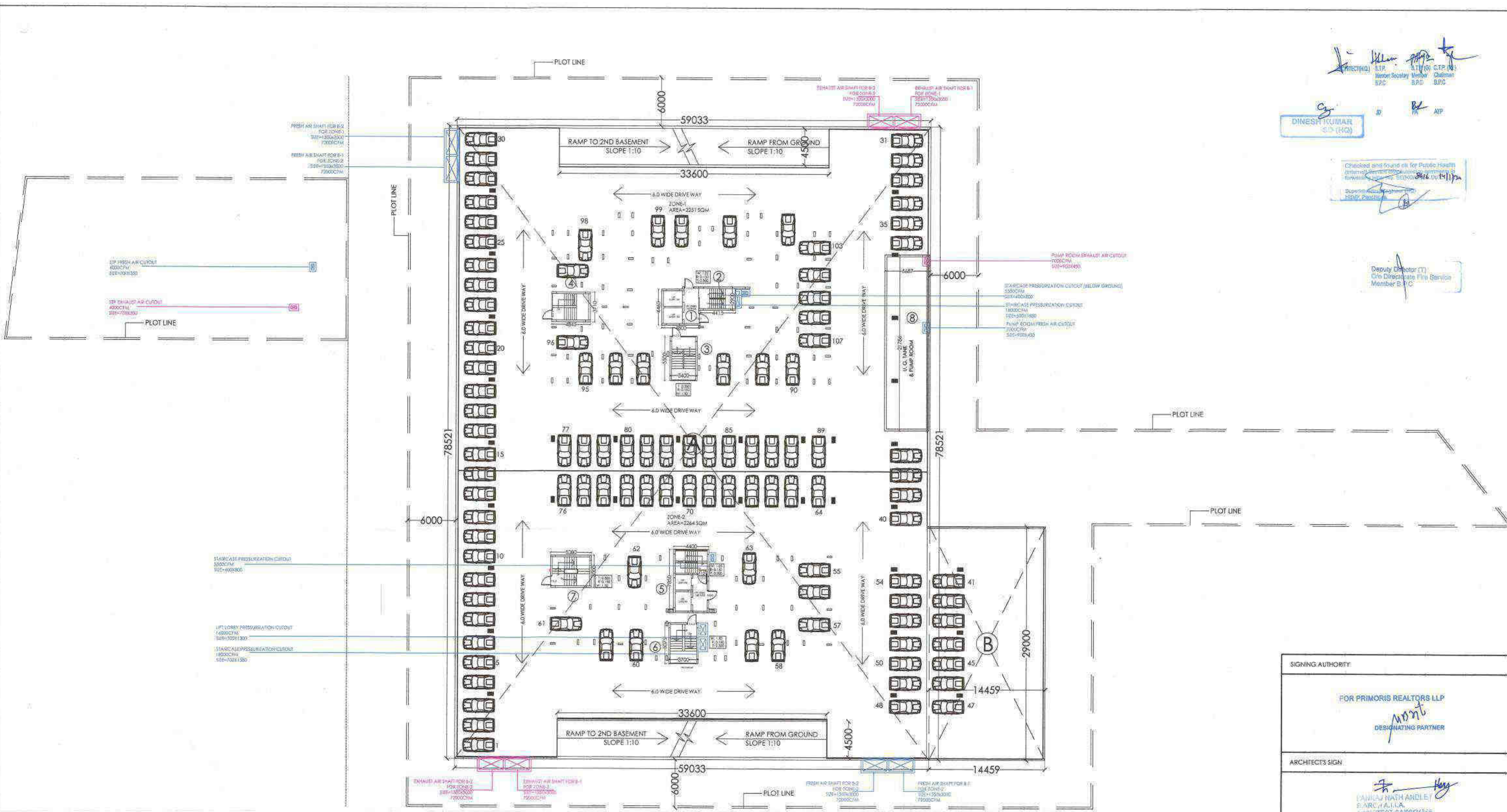
ARCHITECTS: P.N. ANDLEY - BARCH, A.I.I.A.

ANDLEYS ASSOCIATES PVT. LTD. ARCHITECTS ENGINEERS PLANNERS

Director (H.O.) S.T.P. S.T.P. (C.P. No.)
 Member Secretary Member Chairman
 B.P.C. B.P.C. B.P.C.

DINESH KUMAR
 S.D. (H.O.)

Checked and found ok for Public Health
 Certificate by M.S. Kumar, Jyoti
 Engineer, B.P.C. on 15/11/2019
 Deputy Director (T)
 Civil Directorate, P.N.S. Society
 Member B.P.C.



TOTAL BASEMENT AREA DETAIL:-

- = A(59.033X78.521)
- = B(14.459X29.0)
- = 4635.33+419.311
- = **5054.641 SQ.M.**

TOTAL BASEMENT PARKING AREA DETAIL:-

- = (5054.641 - 144.202)
- = **4910.439 SQ.M.**

PROPOSED PARKING:-

- = (4910.439/32)
- = **153 E.C.S**

DEDUCTION:-

- | | | |
|-----------------|---|--------|
| 1. 4.80 X 4.46 | = | 21.408 |
| 2. 4.415 X 2.90 | = | 12.803 |
| 3. 3.40 X 5.50 | = | 18.70 |
| 4. 4.845 X 3.71 | = | 17.974 |
| 5. 4.40 X 7.85 | = | 34.54 |
| 6. 3.70 X 5.075 | = | 18.777 |
| 7. 5.0 X 4.0 | = | 20.0 |

TOTAL DEDUCTION = 144.202 SQ.M.

SIGNING AUTHORITY:

FOR PRIMORIS REALTORS LLP
 Mont
 DESIGNATING PARTNER

ARCHITECT'S SIGN

P.N. ANDLEY
 ARCHITECT

SUBMISSION DRAWING

PROJECT:-
 PROPOSED GROUP HOUSING FOR
 2.1234375 ACRES (LICENCE NO86 OF 2019
 DATED 01.08.2019) FALLING IN THE REVENUE
 ESTATE OF VILLAGE ISLAMPUR, GURUGRAM
 MANESAR URBAN COMPLEX BEING DEVELOPED BY
 SH. KANWAR SAIN JAIN HUF KARTA & OTHERS
 IN COLLABORATION WITH PRIMORIS REALTORS P.L.P.

DRG. TITLE:-
1ST BASEMENT PLAN

SCALE:-1:200
 DRG. NO.-02
 DATE:-18/12/2019

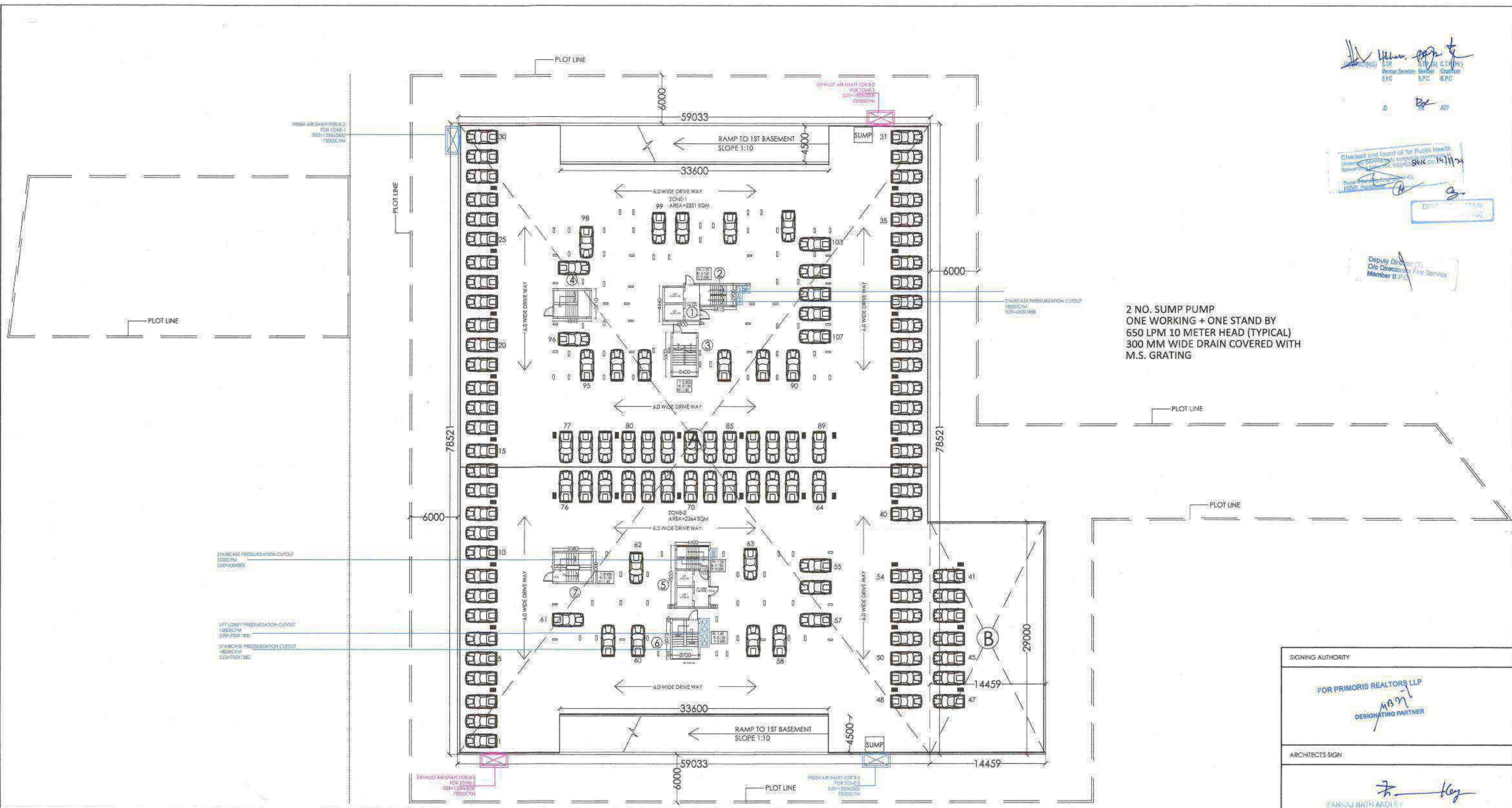
ARCHITECTS:-
 P. N. ANDLEY B.A.R.C.H., A.I.A.

ANDLEYS ASSOCIATES PVT. LTD.
 ARCHITECTS ENGINEERS PLANNERS
 99 HOUSING SOCIETY N.D.S.E.-1 NEW DELHI - 110049

Member Secretary B.P.C.
Member B.P.C.
Chairman B.P.C.

Checked and found ok for Public Health
Member Secretary B.P.C. 04/12/2019

Deputy Director
City Director
Member B.P.C.



2 NO. SUMP PUMP
ONE WORKING + ONE STAND BY
650 LPM 10 METER HEAD (TYPICAL)
300 MM WIDE DRAIN COVERED WITH
M.S. GRATING

TOTAL BASEMENT AREA DETAIL:-

- = A(59.033X78.521)
- = B(14.459X29.0)
- = 4635.33+419.311
- = **5054.641 SQ.M.**

TOTAL BASEMENT PARKING AREA DETAIL:-

- = (5054.641 - 144.202)
- = **4910.439 SQ.M.**

PROPOSED PARKING:-

- = (4910.439/32)
- = **153 E.C.S**

DEDUCTION:-

- | | | |
|-----------------|---|--------|
| 1. 4.80 X 4.46 | = | 21.408 |
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| 5. 4.40 X 7.85 | = | 34.54 |
| 6. 3.70 X 5.075 | = | 18.777 |
| 7. 5.0 X 4.0 | = | 20.0 |

TOTAL DEDUCTION = 144.202 SQ.M.

SIGNING AUTHORITY

FOR PRIMORIS REALTORS LLP
DESIGNATING PARTNER

ARCHITECTS SIGN

PANCAJ NATH ANDLEY
B. ARCH. A.I.I.A.
ARCHITECT 04/9/2019

SUBMISSION DRAWING

PROJECT:-
PROPOSED GROUP HOUSING FOR
2.1234375 ACRES (LICENCE NO86 OF 2019
DATED 01.08.2019) FALLING IN THE REVENUE
ESTATE OF VILLAGE ISLAMPUR, GURUGRAM
MANESAR URBAN COMPLEX BEING DEVELOPED BY
SH. KANWAR SAIN JAIN HUF KARTA & OTHERS
IN COLABORATION WITH PRIMORIS REALTORS P.L.P.

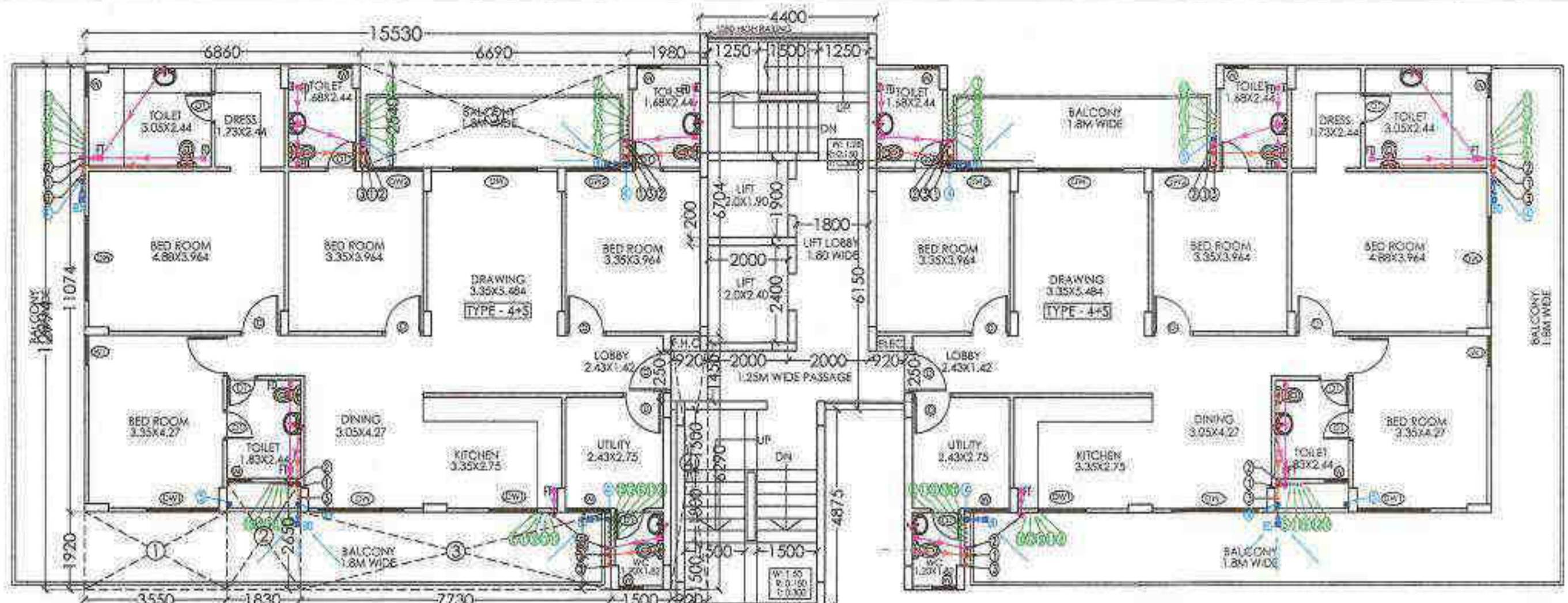
DRG. TITLE:-
2ND BASEMENT PLAN

SCALE:-1:200 DRG. NO:-03

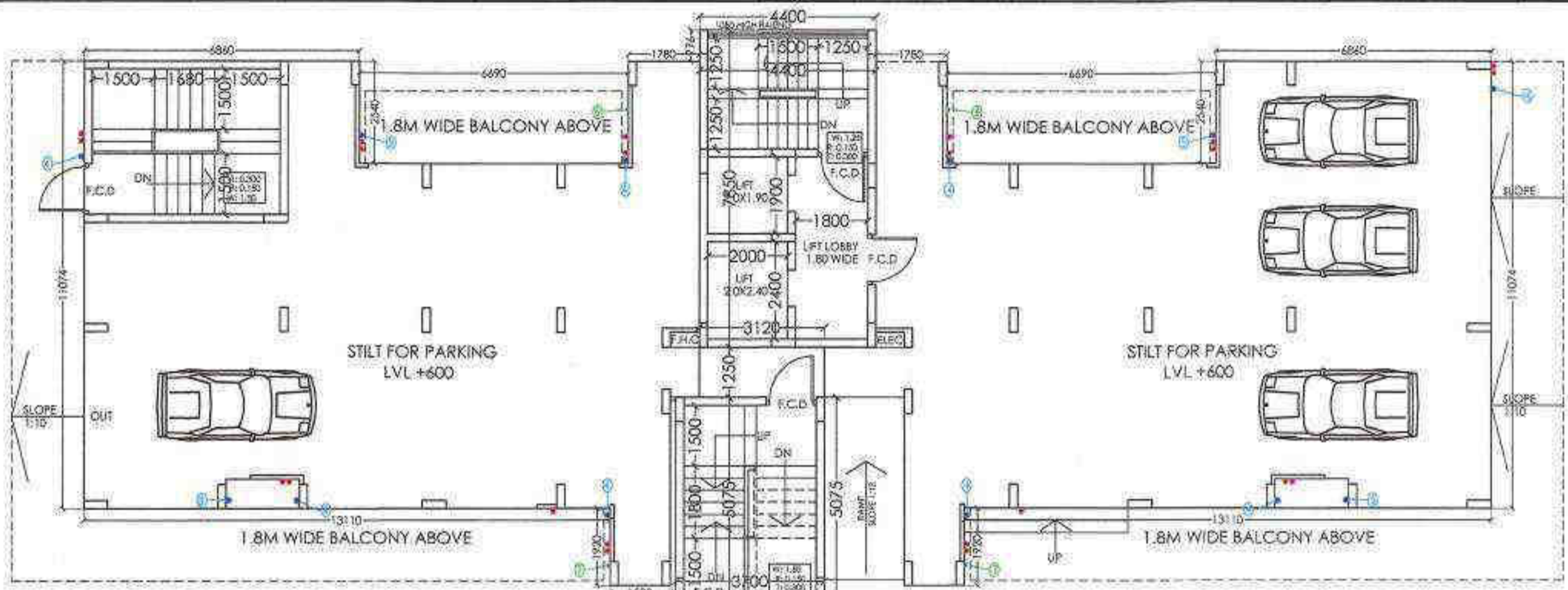
DLT.BY:- DATE:-18/12/2019

ARCHITECTS:-
P. N. ANDLEY B.ARCH. A.I.I.A.

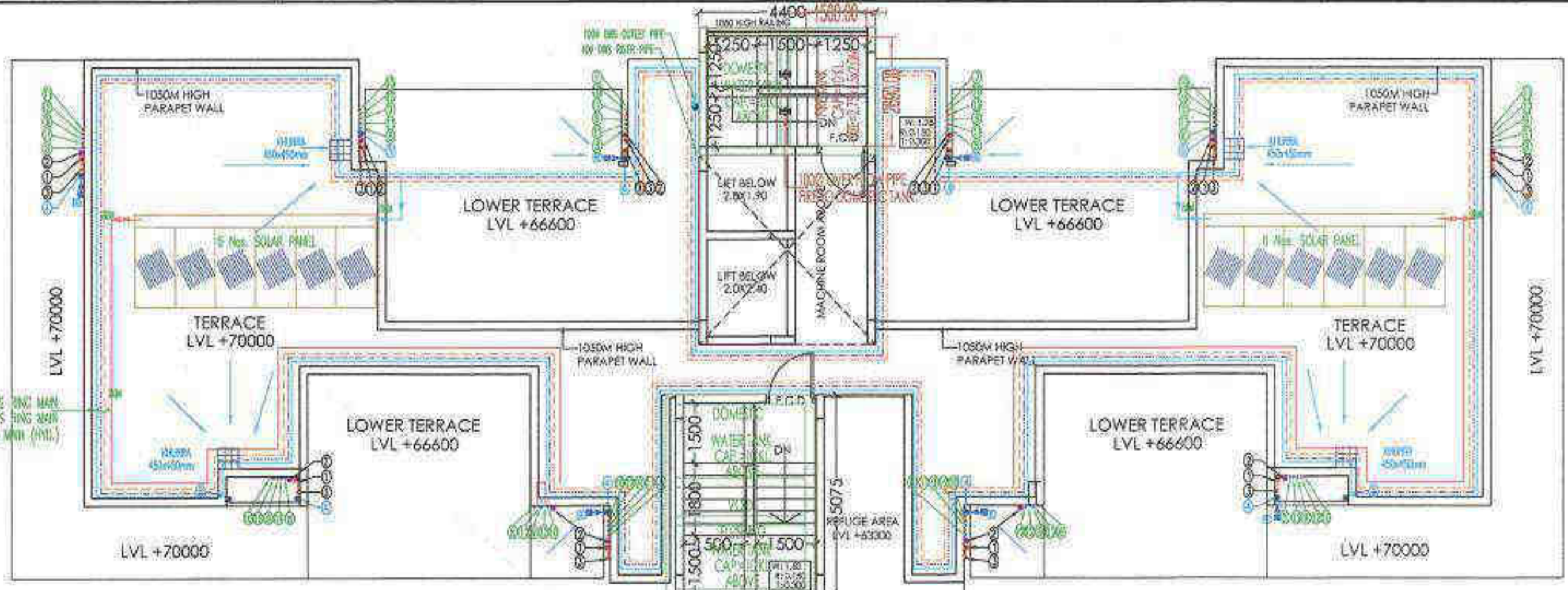
ANDLEYS ASSOCIATES PVT. LTD.
ARCHITECTS ENGINEERS PLANNERS
39 HOUSING SOCIETY N.D.S.E-I NEW DELHI - 110049



TYPICAL FLOOR PLAN (1ST-18TH FLOOR PLAN) (TOWER-A)



STILT FLOOR PLAN (TOWER-A)



TERRACE FLOOR PLAN (TOWER-A)

- PLUMBING NOTES:-**
1. ALL PIPE DIAMETERS ARE IN MM
 2. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 3. SOIL/WASTE & VENT PIPE WORKS:- SOIL/WASTE & VENT PIPES WORKS SHALL BE CARRIED OUT IN UPVC PIPES CLASS B SOLVENT CEMENT AND FITTINGS CONFORMING TO IS : 13562
 4. ALL HORIZONTAL SOIL AND WASTE PIPES SHALL BE LAD TO A SLOPE NOT FLATTER THAN 1:50 AND NOT STEEPER THAN 1:10 (UNLESS SPECIFIED OTHERWISE)
 5. WATER WELLS AND WASTE OUTLETS FROM SANITARY WARE SHALL BE APPROVED TO SUIT REQUIREMENTS OF SELECTED MAKES & MODELS ALL STONWARE PIPES SHALL BE ENCASED IN 200MM THICK 1:5:10 CEMENT CONCRETE ALL AROUND.
 6. FLOOR TRAPS:- ALL FLOOR TRAPS SHALL BE FORMED OF 100 X100 MM DIA OF 100MM WITH 110 MM DIA UPVC PIPE EXTENSION PIECE FOR SIDE INLETS.
 7. FLOOR DRAINS:- FLOOR DRAINS SHALL BE FORMED OF 80X80 OR 50X50 MM DIA UPVC ELBOW WITH 75mm DIA C.P. GRATING WITH FRAME.
 8. WASTE PIPES:- ALL WASTE PIPE WORK FROM WASH BASINS, SINKS, URINALS AND DRAIN POINTS SHALL BE IN UPVC PIPES AND FITTINGS OF 80X80/50X50 PRESSURE RATING.
 9. ALL WATER SUPPLY PIPES IN TOILETS SHALL RUN AT CEILING LEVEL UNLESS SPECIFIED OTHERWISE. NO WATER SUPPLY SHALL BE BURIED IN THE TOILET FLOOR.
 10. ALL WATER SUPPLY PIPE PROVIDING AND FIXING: UPVC (CHLORINATED POLY VINYL CHLORIDE) PIPES WITH PIPE MATERIAL AS PER ASTM D-1784 & PIPE DIMENSION AS PER ASTM F 4412/ASIN B 2846 COMPLETE WITH UPVC FITTINGS.

FAR AREA DETAIL:-
COVERED AREA DETAIL ON GROUND FLOOR:-
 =(CIRCULATION AREA AT GROUND FLOOR)
 = 57.218 SQ.M.

COVERED AREA DETAIL ON TYPICAL (1ST TO 19TH) FLOOR:-
 =(TYPE-4+S)+(CIRCULATION AREA AT ONE FLOOR)
 =(152.51X2)+(22.528)
 =(305.02)+(22.528)
 = 327.548 SQ.M.

COVERED AREA DETAIL AT 20TH FLOOR:-
 =(PENT HOUSE UPPER X 2)+(CIRCULATION AREA AT ONE FLOOR)
 =(100.556X2)+(22.528)
 =(201.112)+(22.528)
 = 223.64 SQ.M.

NON-FAR AREA DETAIL:-
COVERED AREA DETAIL ON TYPICAL (1ST TO 20ST) FLOOR:-
 = 32.638 SQ.M.

GROUND COVG. DETAIL:-
 =(FAR AT TYPICAL FLOOR)+(NON FAR AT TYPICAL FLOOR)+(LIFT WELL)
 =(327.528)+(28.868)+(2.0X2.4+2.0X1.90)
 = 364.996 SQ.M.

STILT AREA DETAIL:-
 =(GROUND COVERAGE) - (FAR AT GROUND FLOOR)-(NON FAR AREA AT GROUND FLOOR)
 =(364.996)-(57.218) - (0.681)
 = 307.097 SQ.M.

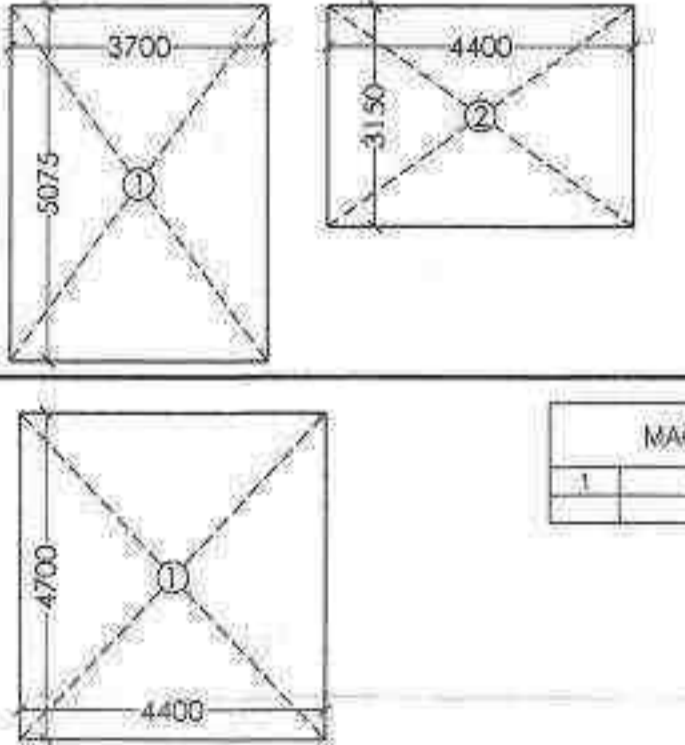
NON-FAR AREA DETAIL (AT GROUND FLOOR):-
 =(STILT AREA + NON FAR AREA AT GROUND FLOOR)
 =(307.097+0.681)
 = 307.778 SQ.M.

REQUIRED REFUGE AREA AT 19TH FLOOR:-
 =(FAR OF 18TH & 19TH FLOOR)/(12.5)X0.3+0.9
 =((327.548X2)/(12.5)X0.3+0.9)
 = 16.62 SQ.M.

PROPOSED REFUGE AREA AT 19TH FLOOR = 16.70 SQ.M.

TOTAL NON FAR AREA AT 19TH FLOOR
 = 32.638 + 16.70 = 49.338 SQ.M.

NON-FAR AREA DETAIL (AT TERRACE FLOOR):-
 =(MUMTY + MACHINE ROOM+WATER TANK)
 =(32.638+20.68+32.638)
 = 85.956 SQ.M.



MUMTY MACHINE ROOM PLAN

SCHEDULE OF DOOR & WINDOWS

S.NO.	TYPE	SIZE	CILL. LVL.	LT. LVL.
1	D	1.20 X 2.10	-	2.10 M.
2	D-1	1.0 X 2.10	-	2.10 ..
3	W	2.40 X 1.75	1.05	2.45 ..
4	W-1	1.64 X 1.75	1.05	2.45 ..

- ① 110mm OD UPVC SOIL & VENT PIPE
- ② 110mm OD UPVC WASTE & VENT PIPE
- ③ 75mm OD UPVC ANTI-SIPHONAGE PIPE
- ④ 75mm OD UPVC RAIN WATER PIPE FOR BALCONY
- ⑤ 110mm OD UPVC RAIN WATER PIPE FOR TERRACE
- ⑥ DOMESTIC WATER SUPPLY HIBER PIPE
- ⑦ FLUSHING WATER SUPPLY HIBER PIPE
- ⑧ DOMESTIC WATER SUPPLY 1/2" DIA PIPE FOR 9th TO 14th FLOOR
- ⑨ DOMESTIC WATER SUPPLY 1/2" DIA PIPE FOR 15th TO 19th FLOOR
- ⑩ DOMESTIC WATER SUPPLY 1/2" DIA PIPE FOR 20th TO 21st FLOOR
- ⑪ FLUSHING WATER SUPPLY 1/2" DIA PIPE FOR 10th TO 14th FLOOR
- ⑫ FLUSHING WATER SUPPLY 1/2" DIA PIPE FOR 15th TO 19th FLOOR
- ⑬ HOT WATER SUPPLY 1/2" DIA PIPE FOR KITCHEN FOR 10th TO 14th FLOOR
- ⑭ HOT WATER SUPPLY 1/2" DIA PIPE FOR KITCHEN FOR 15th TO 19th FLOOR
- ⑮ HOT WATER SUPPLY 1/2" DIA PIPE FOR KITCHEN FOR 20th TO 21st FLOOR
- ⑯ W/F FLOOR TRAP
- ⑰ BALCONY DRAIN
- ⑱ D/W/S ROSE PIPE
- ⑲ F/W/S ROSE PIPE
- ⑳ D/W/S PIPE
- ㉑ D/W/S HYDROPHOBIC PIPE
- ㉒ F/W/S PIPE
- ㉓ H/W/S PIPE
- ㉔ 80mm W/VE / BUTTER FLY W/VE

- PLUMBING NOTE:-**
- * WASH BASIN TO FLOOR TRAP 40mm UPVC WASTE PIPE
 - * FLOOR DRAIN TO FLOOR TRAP 63mm UPVC WASTE PIPE
 - * FLOOR TRAP TO VERTICAL WASTE STACK 110mm OD UPVC WASTE PIPE
 - * WC TO VERTICAL SOIL STACK 110mm OD UPVC SOIL PIPE
 - * URINAL TO URINAL TRAP 40mm OD UPVC SOIL PIPE
 - * BALCONY DRAIN TO VERTICAL RAIN WATER PIPE 75mm OD UPVC TRAP PIPE

SIGNING AUTHORITY

FOR PRIMORIS REALTORS LLP

DESIGNATING PARTNER

ARCHITECT'S SIGN

PANJAJ NATH ANDLEY
 B.ARC.H.A.L.L.A.
 ARCHITECT CA/9924856

SUBMISSION DRAWING

PROJECT:-
 PROPOSED GROUP HOUSING FOR 2.1234375 ACRES (LICENCE NO86 OF 2019 DATED 01.08.2019) FALLING IN THE REVENUE ESTATE OF VILLAGE ISLAMPUR, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY SH. KANWAR SAIN JAIN HUF KARTA & OTHERS IN COLABORATION WITH PRIMORIS REALTORS P.L.P.

DRG. TITLE:-
 FLOOR PLAN (TOWER A)

SCALE:-1:100 DRG. NO:04

DLT.BY:- DATE:-18/12/2019

ARCHITECTS:-
 P. N. ANDLEY B.ARC.H.A.L.L.A.

ANDLEYS ASSOCIATES PVT. LTD.
 ARCHITECTS ENGINEERS PLANNERS
 39, HOUSING SOCIETY N.D.S.E.H NEW DELHI -110049

CIRCULATION AREA AT ONE FLOOR (TOWER-A)

S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	2.000	4.900	9.800
2	5.940	1.450	8.608
3	0.200	4.875	0.975
4	0.200	4.875	0.975
5	2.000	0.200	0.400
6	2.000	0.200	0.400
7	2.000	0.200	0.400
8	0.200	0.278	0.115
9	0.200	0.278	0.115
10	4.400	0.200	0.880
NET FAR AREA =			22.528

CIRCULATION AREA AT GROUND FLOOR (TOWER-A)

S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	4.800	7.880	34.540
2	0.920	1.250	0.340
3	3.700	6.078	18.778
NET FAR AREA =			57.218

NON FAR AREA DETAIL AT TYPICAL FLOOR

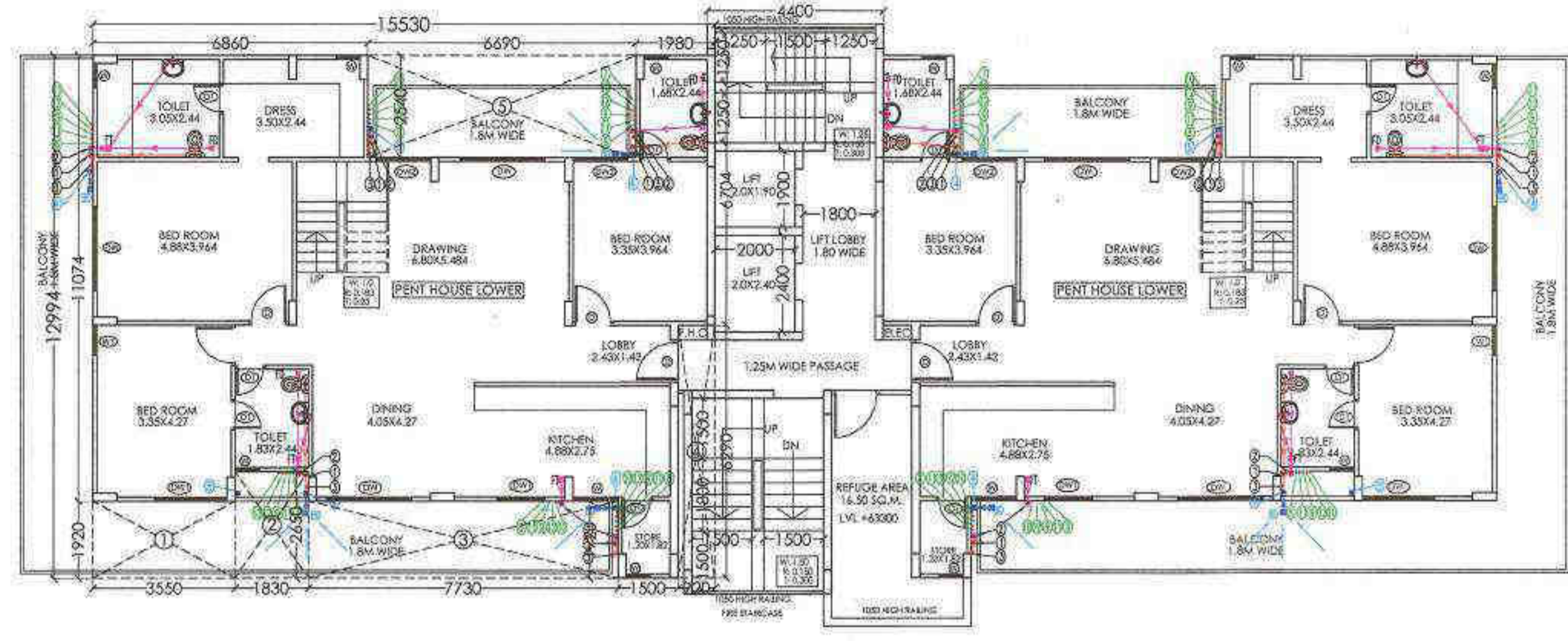
1	3.300	4.875	16.088
2	0.920	0.375	0.340
3	0.920	0.375	0.340
4	4.400	2.750	12.100
TOTAL NON FAR AREA =			28.868

NON FAR AREA DETAIL AT GROUND FLOOR

1	0.920	0.375	0.340
2	0.920	0.375	0.340
TOTAL NON FAR AREA =			0.681

TYPE 4+S FAR AREA DETAIL

S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	3.550	1.925	6.818
2	1.830	2.650	4.848
3	7.730	1.925	14.842
4	0.920	6.290	5.787
5	0.890	2.540	16.993
TOTAL DEDUCTIONS =			43.868
NET FAR AREA =			152.510



19TH FLOOR PLAN (PENT HOUSE LOWER FLOOR PLAN) (TOWER-A)

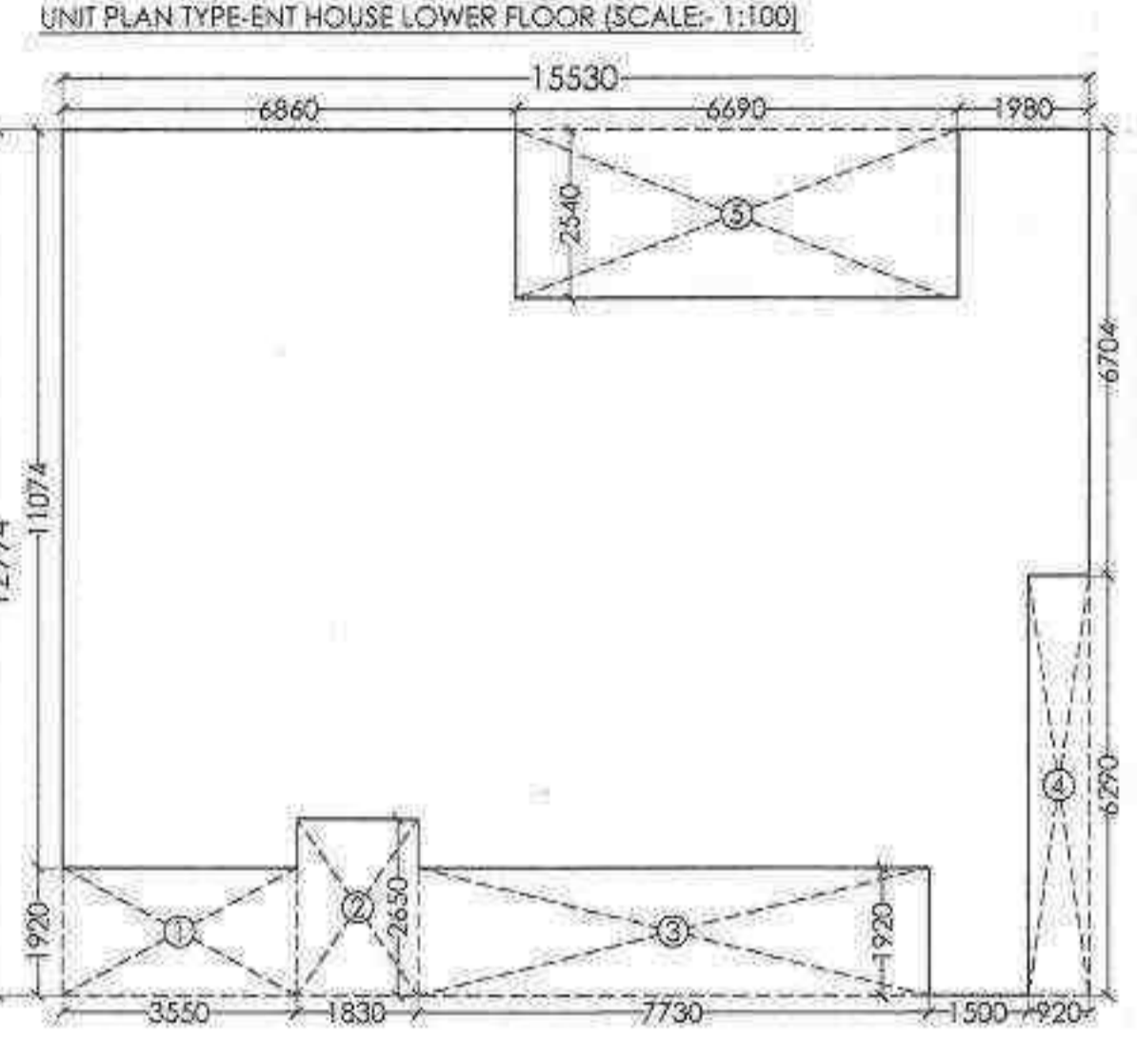
REQUIRED REFUGE AREA AT 19TH FLOOR:-
 $= ((\text{FAR OF 18TH \& 19TH FLOOR})/12.5) \times 0.3 + 0.9$
 $= ((327.548 \times 2) / 12.5) \times 0.3 + 0.9$
 $= 16.62 \text{ SQ.M.}$
PROPOSED REFUGE AREA AT 19TH FLOOR = 16.70 SQ.M.
TOTAL NON FAR AREA AT 19TH FLOOR
 $= 32.638 + 16.70 = 49.338 \text{ SQ.M.}$

- PLUMBING NOTE:-**
1. ALL PIPE DIMENSIONS ARE IN MM.
 2. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 3. SANITARIES & VENT PIPE WORK:-
SOIL WASTE & VENT PIPES WORK SHALL BE CONSIDERED IN UPVC PIPES CLASS 5 SOLVENT CEMENT AND FITTINGS CONFORMING TO IS - 15582.
 4. ALL HORIZONTAL SOIL AND WASTE PIPES SHALL BE Laid TO A SLOPE NOT FLATTER THAN 1:50 AND NOT STEEPER THAN 1:10 UNLESS SPECIFIED OTHERWISE.
 5. WASTE VALVES AND WASTE OUTLETS FROM SANITARY APPLIANCES SHALL BE ARRANGED TO SUIT REQUIREMENTS OF SLOTTED WASTE & NOZZLES ALL STONWARE PIPES SHALL BE ENCASED IN 200MM THICK 1:5:10 CONCRETE ALL AROUND.
 6. FLOOR TRAP:- ALL FLOOR TRAPS SHALL BE FORMED OF 100 X 100 MM DIA. 7" TRAP WITH 110 MM DIA. UPVC FITTING WITH 110 MM DIA. UPVC PIPE FOR THE TRAP.
 7. FLOOR TRAP:- FLOOR TRAPS SHALL BE FORMED OF 100 X 100 MM DIA. 7" TRAP WITH 110 MM DIA. UPVC FITTING WITH 110 MM DIA. UPVC PIPE FOR THE TRAP.
 8. WASTE PIPES:- ALL WASTE PIPE WORK FROM WASH BASIN, URINALS AND DOWN PIPES SHALL BE IN UPVC PIPES AND FITTINGS OF 110 MM DIA. UNLESS SPECIFIED OTHERWISE.
 9. ALL WATER SUPPLY PIPES IN TOILETS SHALL BE Laid AT SAME LEVEL UNLESS SPECIFIED OTHERWISE. NO WATER SUPPLY SHALL BE BURIED IN THE FLOOR.
 10. ALL WATER SUPPLY PIPE WORKING AND FITTING UPVC (CHLORINATED POLY VINYL CHLORIDE) PIPES WITH PIPE MATERIAL AS PER ISM 5-1784 & PIPE DIMENSION AS PER ISM 5-1784 & FITTING AS PER ISM 5-1784 COMPLETE WITH UPVC FITTINGS.

COVERED AREA DETAIL AT 19TH. FLOOR:-
 $= (\text{PENT HOUSE LOWER X 2}) + (\text{CIRCULATION AREA AT ONE FLOOR})$
 $= (152.51 \times 2) + (22.528)$
 $= (305.02) + (22.528)$
 $= 327.548 \text{ SQ.M.}$

COVERED AREA DETAIL AT 20TH. FLOOR:-
 $= (\text{PENT HOUSE UPPER X 2}) + (\text{CIRCULATION AREA AT ONE FLOOR})$
 $= (98.905 \times 2) + (22.528)$
 $= (197.81) + (22.528)$
 $= 220.338 \text{ SQ.M.}$

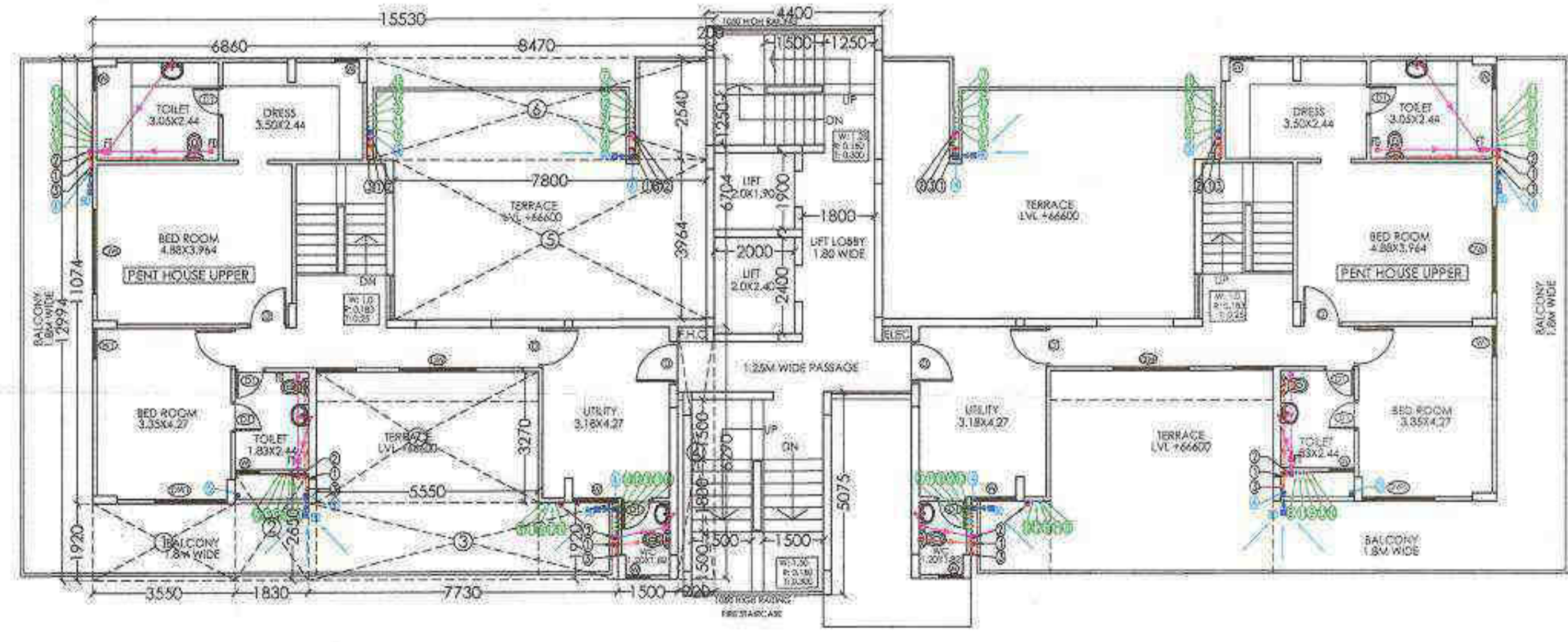
(Handwritten signatures and stamps)
DINESH KUMAR
 SD (HG)
 Checked and Allowed for Public Health
 (Notified Development) under the provisions of
 Section 147-A of the M.C.A. Act, 1974
 Date: 18/12/2019



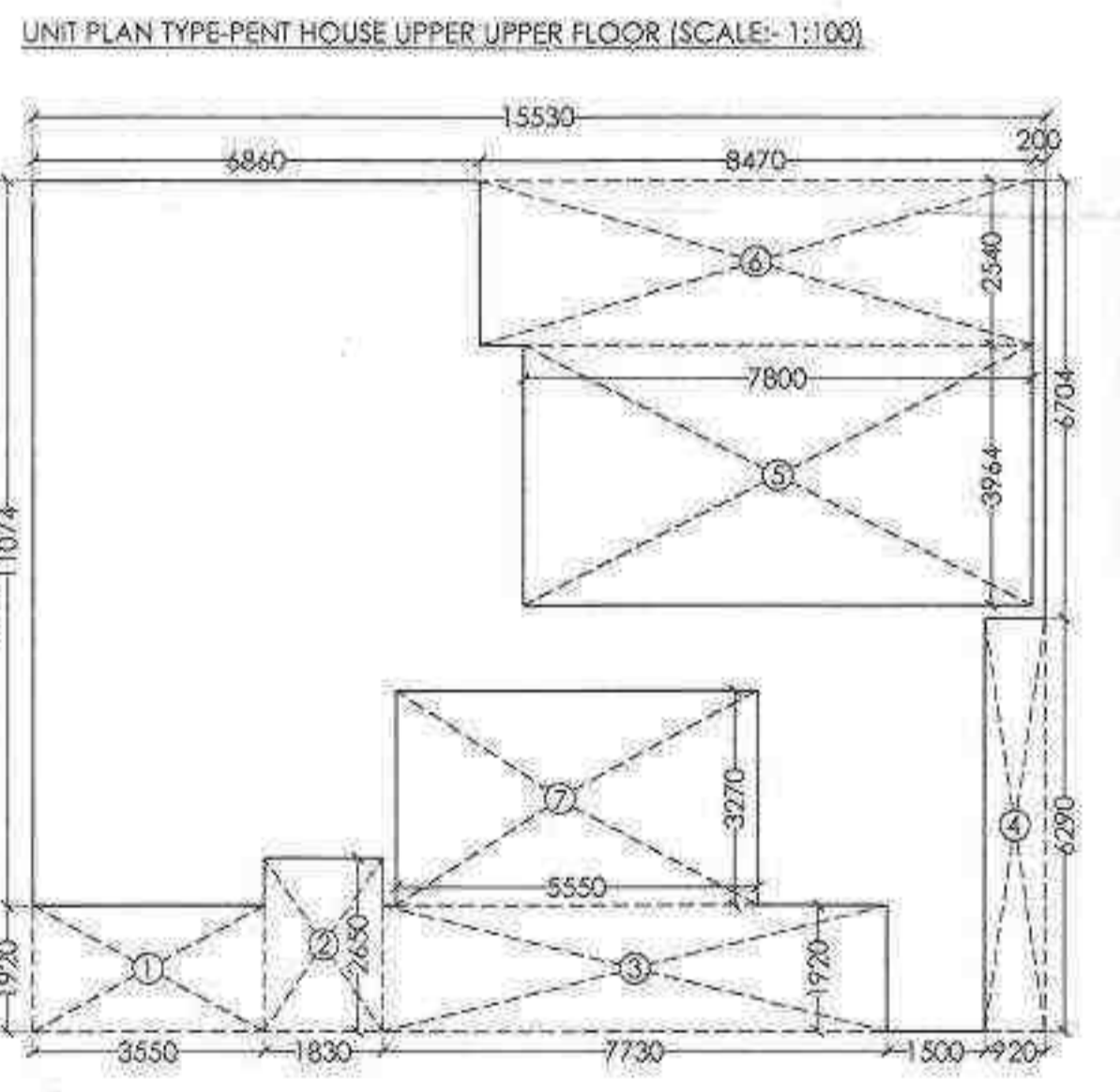
TYPE PENT HOUSE LOWER FLOOR FAR AREA DETAIL

S.NO.	DIMENSION (M)	DEDUCTIONS (SQ.M.)	TOTAL (SQ.M.)
1	3.550 X 1.920	6.816	
2	1.830 X 2.850	5.214	
3	7.730 X 1.920	14.842	
4	0.920 X 6.290	5.787	
5	8.690 X 2.540	21.913	
TOTAL DEDUCTIONS		44.286	
NET FAR AREA		152.510	

- 1) 110MM Ø UPVC SOIL & VENT PIPE
- 2) 110MM Ø UPVC WASTE & VENT PIPE
- 3) 75 Ø UPVC WASH-SINKAGE PIPE
- 4) 25 Ø UPVC RAIN WATER PIPE FOR BALCONY
- 5) 110 Ø UPVC RAIN WATER PIPE FOR TERRACE
- 6) DOMESTIC WATER SUPPLY PIPES
- 7) FLUSHING WATER SUPPLY PIPES
- 8) DOMESTIC WATER SUPPLY ON TAP PIPE FOR 100 TO 110 FLOOR
- 9) DOMESTIC WATER SUPPLY ON TAP PIPE FOR 100 TO 110 FLOOR
- 10) FLUSHING WATER SUPPLY ON TAP PIPE FOR 100 TO 110 FLOOR
- 11) FLUSHING WATER SUPPLY ON TAP PIPE FOR 100 TO 110 FLOOR
- 12) HOT WATER SUPPLY ON TAP PIPE FOR KITCHEN FOR 100 TO 110 FLOOR
- 13) HOT WATER SUPPLY ON TAP PIPE FOR KITCHEN FOR 100 TO 110 FLOOR
- 14) FLOOR DRAIN
- 15) FLOOR TRAP
- 16) BALCONY DRAIN
- 17) WASH BASIN PIPE
- 18) WASH PIPE
- 19) WASH PIPE
- 20) WASH PIPE
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- 100) WASH PIPE



20TH FLOOR PLAN (PENT HOUSE UPPER FLOOR PLAN) (TOWER-A)

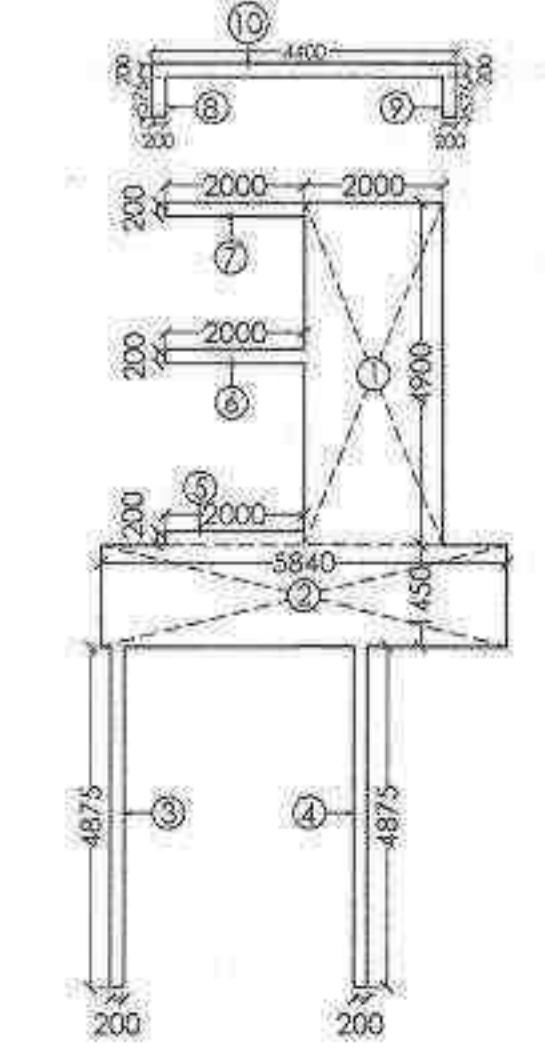


TYPE PENT HOUSE UPPER FLOOR FAR AREA DETAIL

S.NO.	DIMENSION (M)	DEDUCTIONS (SQ.M.)	TOTAL (SQ.M.)
1	3.550 X 1.920	6.816	
2	1.830 X 2.850	5.214	
3	7.730 X 1.920	14.842	
4	0.920 X 6.290	5.787	
5	7.200 X 3.864	27.819	
6	8.470 X 2.540	21.514	
7	5.350 X 3.270	17.485	
TOTAL DEDUCTIONS		102.892	
NET FAR AREA		98.905	

- PLUMBING NOTE:-**
- 1) WASH BASIN TO FLOOR TRAP 40 Ø UPVC WASTE PIPE
 - 2) FLOOR DRAIN TO FLOOR TRAP 85 Ø UPVC WASTE PIPE
 - 3) FLOOR TRAP TO VERTICAL WASTE STACK 110 Ø UPVC WASTE PIPE
 - 4) WC TO VERTICAL SOIL STACK 110 Ø UPVC SOIL PIPE
 - 5) URINAL TO URINAL TRAP 40 Ø UPVC SOIL PIPE
 - 6) BALCONY DRAIN TO VERTICAL RAIN WATER PIPE 75 Ø UPVC RMP PIPE

CIRCULATION AREA AT ONE FLOOR (TOWER-A)



CIRCULATION AREA DETAIL AT TYPICAL FLOORS

S.NO.	DIMENSION (M)	DEDUCTIONS (SQ.M.)	TOTAL (SQ.M.)
1	2.000 X 4.900	9.800	
2	5.840 X 1.450	8.468	
3	0.200 X 2.875	0.575	
4	0.200 X 4.875	0.975	
5	2.000 X 0.200	0.400	
6	2.000 X 0.200	0.400	
7	2.000 X 0.200	0.400	
8	0.200 X 0.575	0.115	
9	0.200 X 0.575	0.115	
10	4.400 X 0.200	0.880	
NET FAR AREA		22.528	

SCHEDULE OF DOOR & WINDOWS

S.NO.	TYPE	SIZE	CILL. LVL.	LTL. LVL.
1	D	1.20 X 2.10	-	2.10 M.
2	D-1	1.0 X 2.10	-	2.10 ..
3	W	2.40 X 1.75	1.05	2.45 ..
4	W-1	1.64 X 1.75	1.05	2.45 ..

SIGNING AUTHORITY

FOR PRIMORIS REALTORS LLP
(Handwritten signature)
 DESIGNATING PARTNER

ARCHITECT'S SIGN

(Handwritten signature)
 KANWAR SAIN JAIN HUF KARTA & OTHERS
 ARCHITECT CA99124958

SUBMISSION DRAWING

PROJECT:-
PROPOSED GROUP HOUSING FOR 2.1234375 ACRES (LICENCE NOB8 OF 2019 DATED 01.08.2019) FALLING IN THE REVENUE ESTATE OF VILLAGE ISLAMPUR, GURUGRAM MANASAR URBAN COMPLEX BEING DEVELOPED BY SH. KANWAR SAIN JAIN HUF KARTA & OTHERS IN COLLABORATION WITH PRIMORIS REALTORS P.L.P.

DRG. TITLE:-
FLOOR PLAN (TOWER A)

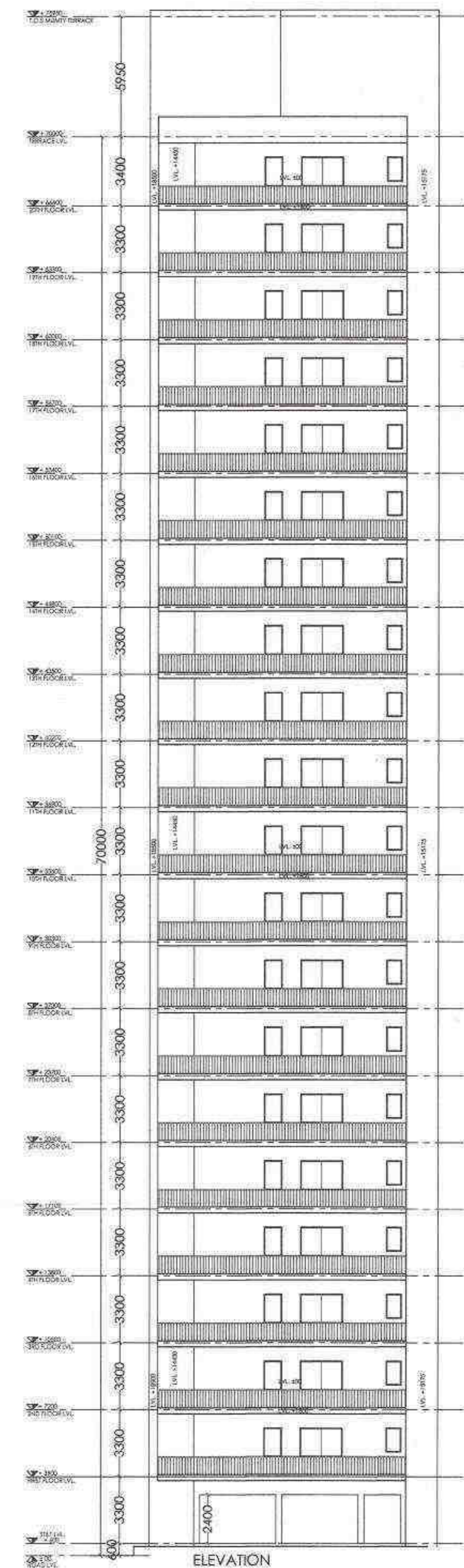
SCALE:-1:100 DRG. NO:-05

DLT.BY:- DATE:-18/12/2019

ARCHITECTS:-

P.N. ANDLEY B.ARCH. A.I.I.A.

ANDLEYS ASSOCIATES PVT. LTD.
 ARCHITECTS ENGINEERS PLANNERS
 32 HOUSING SOCIETY N.D.S.E. NEW DELHI - 110049



(Signature)
 MEMBER SECRETARY Member Chairman
 B.P.C. B.P.C. B.P.C.

(Signature)
DINESH KUMAR
 SD (142)

Chief and In-charge for Public Health
 District Health Officer

(Signature)
 Deputy Director (T)
 O/o Directorate Public Health
 Number B.P.C.

SIGNING AUTHORITY

FOR PRIMORIS REALTORS LLP
(Signature)
 DESIGNATING PARTNER

ARCHITECTS SIGN

PANKAJ NATHANDEE
 B.A.R.C.H.A.I.A.
 ARCHITECT CABRIJAM
(Signature)

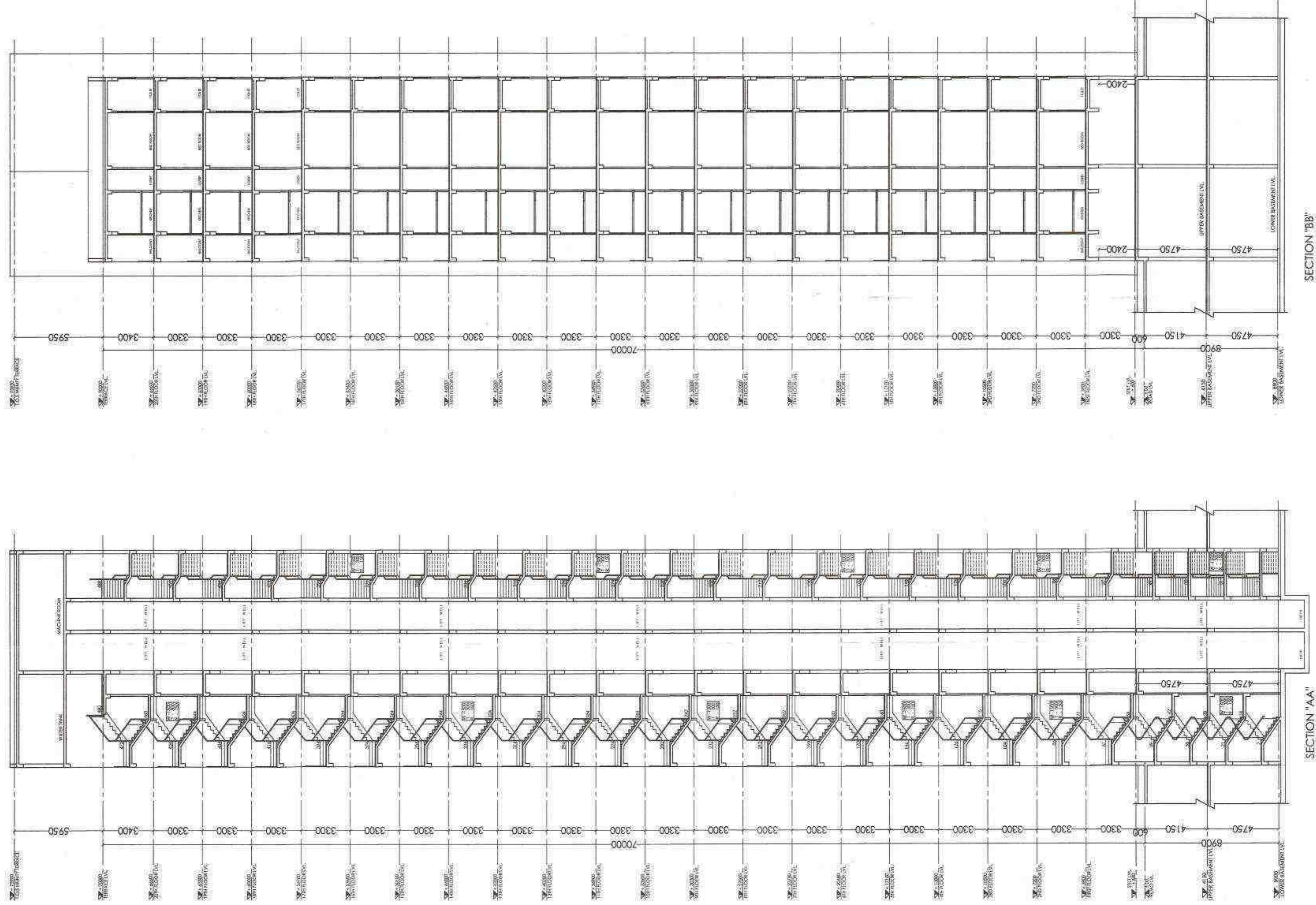
SUBMISSION DRAWING

PROJECT:-
 PROPOSED GROUP HOUSING FOR
 2.1234375 ACRES (LICENCE NO.6 OF 2019
 DATED 01.08.2019) FALLING IN THE REVENUE
 ESTATE OF VILLAGE ISLAMPUR, GURUGRAM
 MANESAR URBAN COMPLEX BEING DEVELOPED BY
 SH. KANWAR SAIN JAIN HUF KARTA & OTHERS
 IN COLABORATION WITH PRIMORIS REALTORS PVT. LTD.

DRG. TITLE:
 ELEVATION (TOWER A)

SCALE: 1:150	DRG. NO. 06
D.T.B.Y.:	DATE: 18/12/2019

ARCHITECTS:
 P. N. ANDLEY B.A.R.C.H.A.I.A.
ANDLEYS ASSOCIATES PVT. LTD.
 ARCHITECTS ENGINEERS PLANNERS
 3F HOUSING SOCIETY R.D.S.E.I. NEW DELHI - 110049

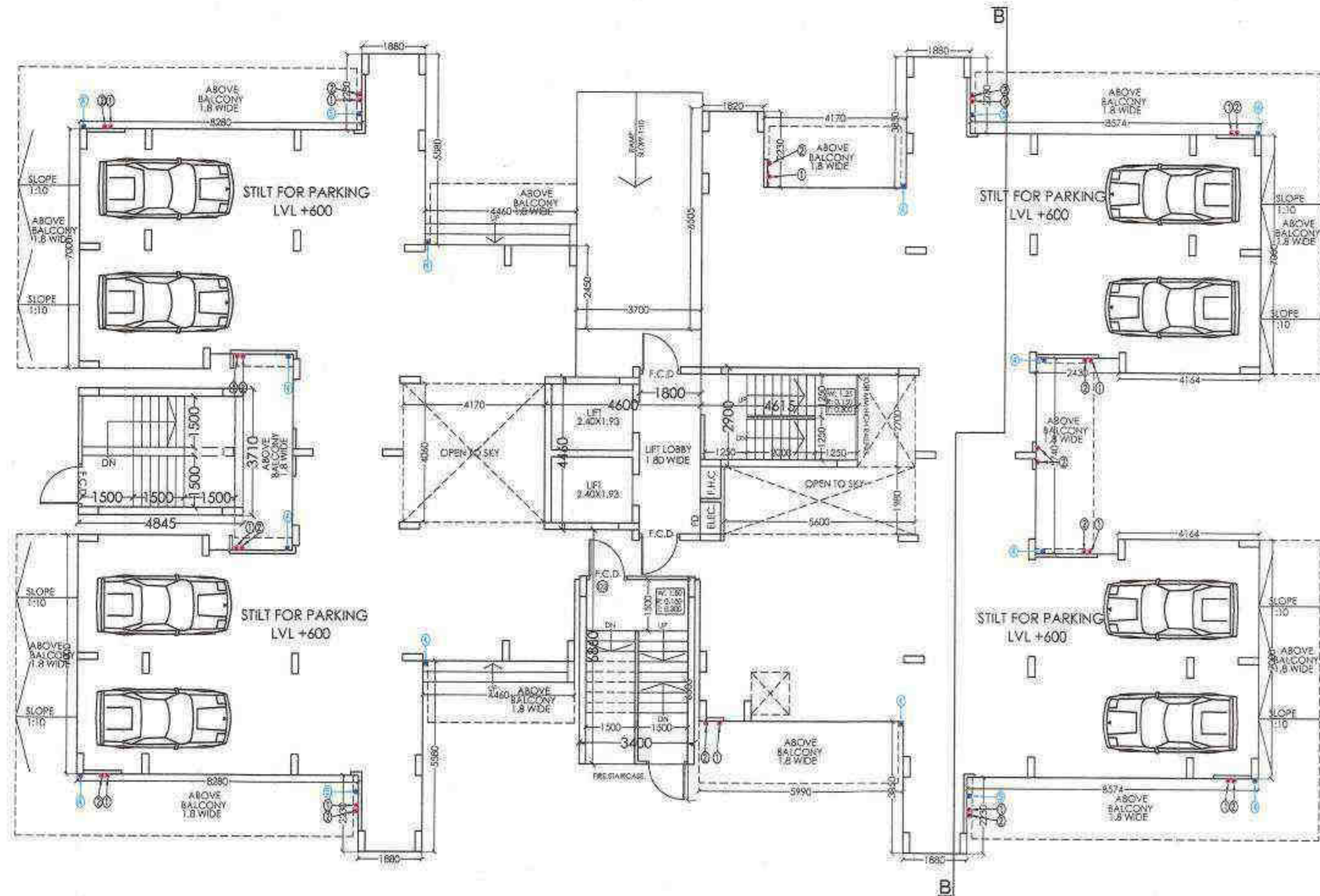


DINESH KUMAR
 SE (RC)
 Deputy Director (T)
 Civil Directorate
 Fire Service
 Member B.P.

6.11.2019 U.T.P. (A)
 Chief Officer
 S.P.C.

6.11.2019 U.T.P. (A)
 Chief Officer
 S.P.C.

SIGNING AUTHORITY
 FOR PRIMORIS REALTORS LLP
 DESIGNATING PARTNER
 ARCHITECT'S SIGN
 PANNANU RATHI AND ANLEY
 ARCHITECTS
 ARCHITECTS
 SUBMISSION DRAWING
 PROJECT:
 PROPOSED GROUP HOUSING FOR
 2.1244375 ACRES (LICENCE NO:66 OF 2019
 DATED 01.08.2019) FALLING IN THE REVENUE
 ESTATE OF VILLAGE ISLAMPUK, GURUGRAM
 MANESAR URBAN COMPLEX BEING DEVELOPED BY
 SH. KANWAR SAIN JAIN HUF KARTA & OTHERS
 IN COLLABORATION WITH PRIMORIS REALTORS LTD.
 DWG. TITLE:
 SECTION (TOWER A)
 SCALE: 1/100
 DATE: 18/02/2019
 ARCHITECTS:
 P. N. ANDLEY & BARCH, ALLIA
 ANDLEYS ASSOCIATES PVT. LTD.
 ARCHITECTS
 ENGINEERS
 SOCIETY
 N.D.S.E.I
 NEW DELHI - 110049



STILT PLAN (TOWER-B)

1	110MM ØØ UPVC SOIL & VENT PIPE
2	110MM ØØ UPVC WASTE & VENT PIPE
3	75 ØØ UPVC ANTI-SIPHONAGE PIPE
4	75 ØØ UPVC RAIN WATER PIPE FOR BALCONY
5	110 ØØ UPVC RAIN WATER PIPE FOR TERRACE
6	DOMESTIC WATER SUPPLY RISER PIPE
7	FLOODING WATER SUPPLY RISER PIPE
8	DOMESTIC WATER SUPPLY DN TAKE PIPE FOR 8th TO 10th FLOOR
9	DOMESTIC WATER SUPPLY DN TAKE PIPE FOR 10th TO 12th FLOOR
10	DOMESTIC WATER SUPPLY DN TAKE PIPE FOR 12th TO 15th FLOOR
11	FLOODING WATER SUPPLY DN TAKE PIPE FOR 10th TO 12th FLOOR
12	FLOODING WATER SUPPLY DN TAKE PIPE FOR 12th TO 15th FLOOR
13	HOT WATER SUPPLY DN TAKE PIPE FOR KITCHEN FOR 10th TO 11th FLOOR
14	HOT WATER SUPPLY DN TAKE PIPE FOR KITCHEN FOR 12th TO 15th FLOOR
FD	FLOOR DRAIN
FT	FLOOR TRAP
BD	BALCONY DRAIN
DWS	DRAIN WASTE STACK
FWS	FRESH WATER SUPPLY
HWS	HOT WATER SUPPLY
SW	SOIL WASTE / BUTTERFLY VALVE

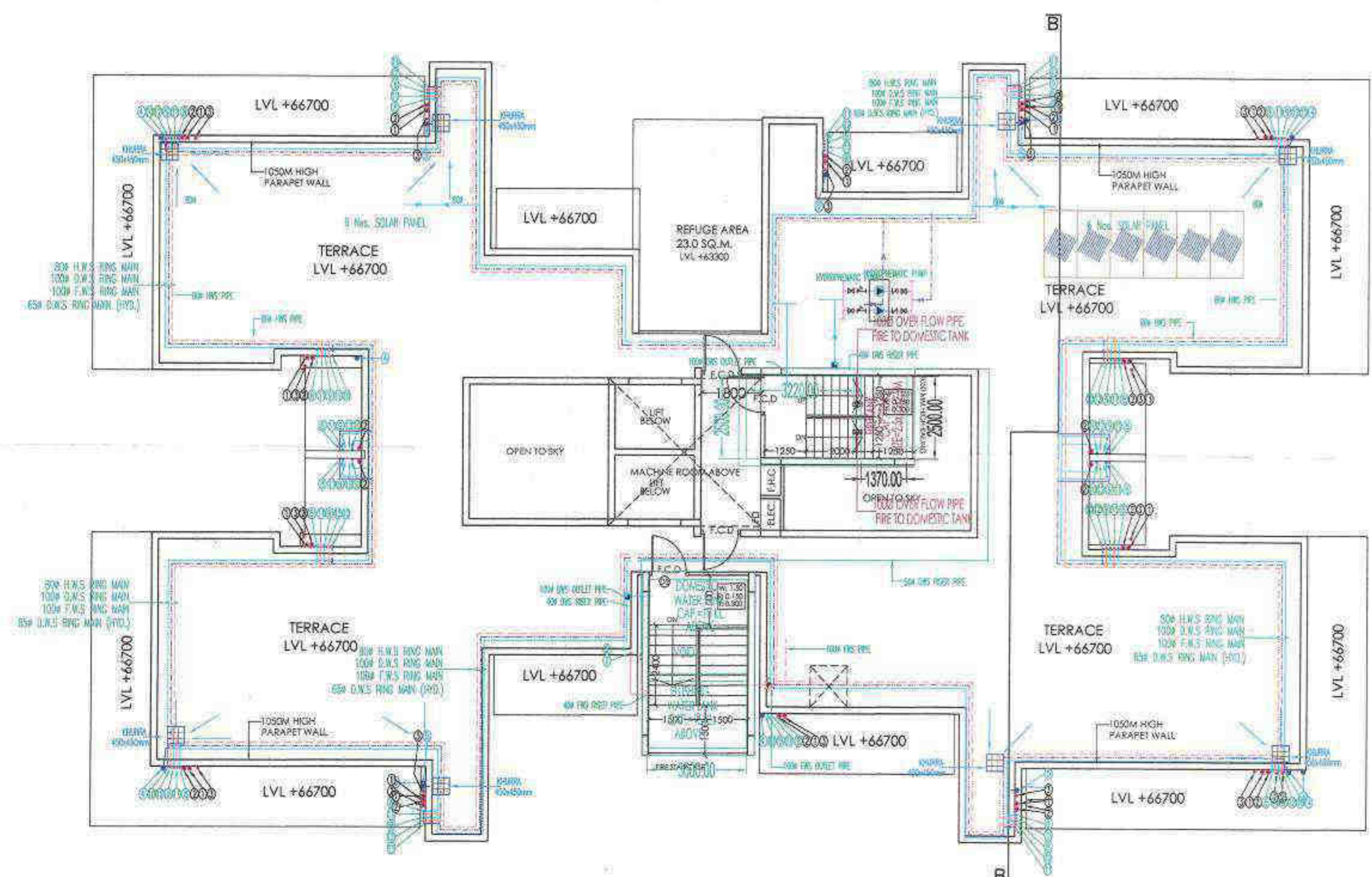
- PLUMBING NOTE:-**
- * WASH BASIN TO FLOOR TRAP 40 ØØ UPVC WASTE PIPE
 - * FLOOR DRAIN TO FLOOR TRAP 63 ØØ UPVC WASTE PIPE
 - * FLOOR TRAP TO VERTICAL WASTE STACK 110 ØØ UPVC WASTE PIPE
 - * WC TO VERTICAL SOIL STACK 110 ØØ UPVC SOIL PIPE
 - * URINAL TO URINAL TRAP 40 ØØ UPVC SOIL PIPE
 - * BALCONY DRAIN TO VERTICAL RAIN WATER PIPE 75 ØØ UPVC RWP PIPE

[Signature]
 Director
 Member Secretary
 Member
 Chairman
 BAC
 BPC
 BPC

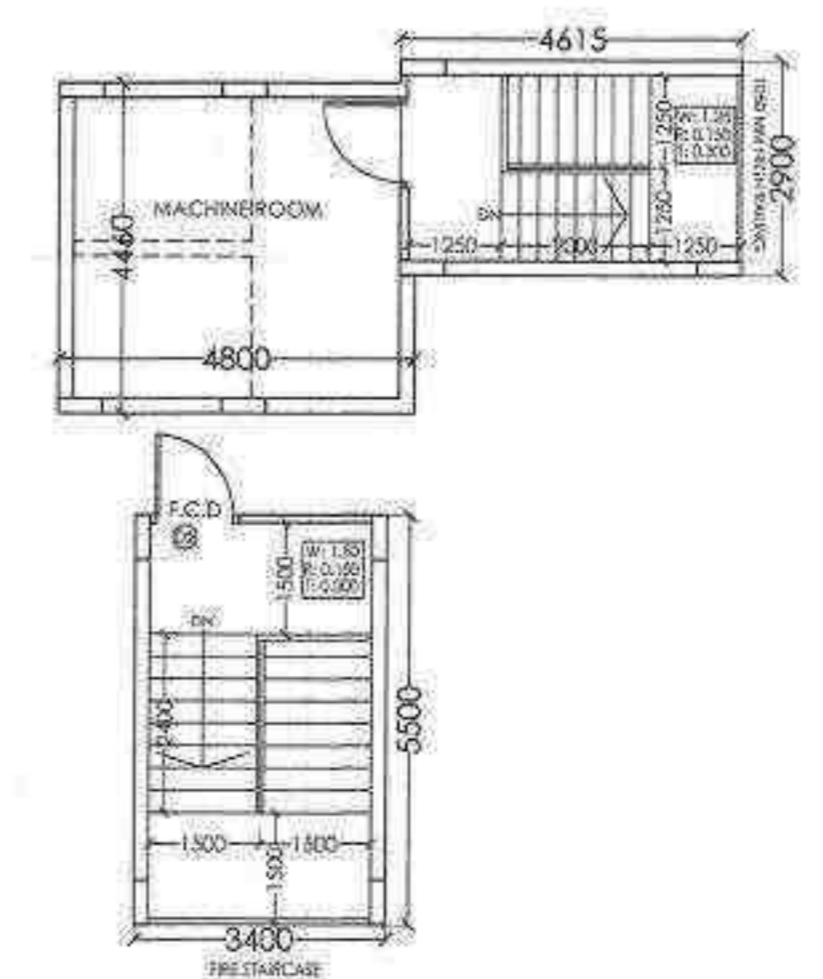
[Signature]
 DINESH KUMAR
 SD (HQ)

Checked and found ok for Public Health
 (Info on Sanitation subject to approval of
 local authority for Sanitation) 08/16/2019

Deputy Director
 Chief Officer
 Member
 B.P.C.



TERRACE PLAN (TOWER-B)



MUMTY & MACHINE ROOM PLAN

- PLUMBING NOTES:-**
1. ALL PIPE DIAMETERS ARE IN MM.
 2. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 3. **SOIL WASTE & VENT PIPE WORK:-** SOIL WASTE & VENT PIPES WORKS SHALL BE CARRIED OUT IN UPVC PIPES CLASS B SOLVENT CEMENT AND FITTINGS CONFORMING TO IS : 13582
 4. ALL HORIZONTAL SOIL AND WASTE PIPES SHALL BE Laid TO A SLOPE NOT FLATTER THAN 1:50 AND NOT STEEPER THAN 1:10 UNLESS SPECIFIED OTHERWISE.
 5. WATER INLETS AND WASTE OUTLETS FROM SWAMPY WARE SHALL BE ARRANGED TO SUIT REQUIREMENTS OF SELECTED WARES & MODELS ALL STONEMARE PIPES SHALL BE ENCASED IN 200MM THICK 1:5:10 CEMENT CONCRETE ALL AROUND.
 6. **FLOOR TRAPS:-** ALL FLOOR TRAPS SHALL BE FORMED OF 100 X100 MM DIA 7" TRAP WITH 110 MM DIA UPVC PIPE EXTENSION PRICE FOR SIDE INLETS.
 7. **FLOOR DRAINS:-** FLOOR DRAINS SHALL BE FORMED OF 63x63 OR 50x50 MM DIA UPVC ELBOW WITH 75mm DIA C.P. SIGHTING WITH FRAME.
 8. **WASTE PIPES:-** ALL WASTE PIPE WORK FROM WASH BASINS SINKS, URINALS AND DRAIN POINTS SHALL BE IN UPVC PIPES AND FITTINGS OF 100MM DIA PRESSURE RATING.
 9. ALL WATER SUPPLY PIPES IN TOILETS SHALL RUN AT CEILING LEVEL UNLESS SPECIFIED OTHERWISE. NO WATER SUPPLY SHALL BE BURIED IN THE TOILET FLOOR.
 10. ALL WATER SUPPLY PIPE PROVISION AND DRAINING (CHLORINATED POLY VINYL CHLORIDE) PIPES WITH PIPE MATERIAL AS PER ASTM D-1784 & PIPE DIMENSION AS PER ASTM F 4410/ASTM D 2848. COMPLETE WITH CPVC FITTINGS.

SIGNING AUTHORITY

FOR PRIMORIS REALTORS LLP
[Signature]
 DESIGNATING PARTNER

ARCHITECT'S SIGN

[Signature]
 P. N. ANDLEY
 B.A.R.C.H., A.I.I.A.
 ARCHITECT CHAIRMAN

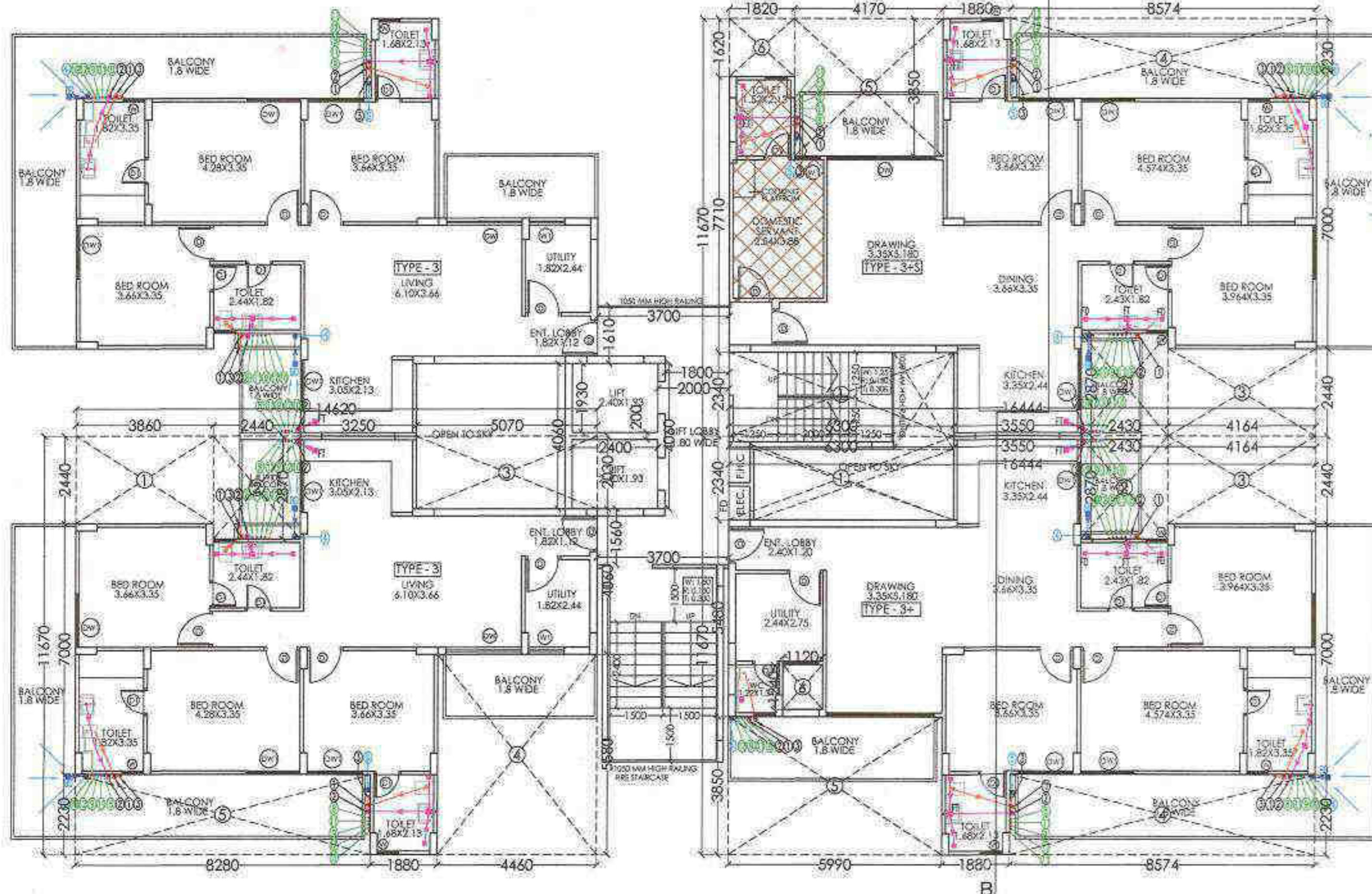
SUBMISSION DRAWING

PROJECT:-
PROPOSED GROUP HOUSING FOR 2.1234375 ACRES (LICENCE NO86 OF 2019 DATED 01.08.2019) FALLING IN THE REVENUE ESTATE OF VILLAGE ISLAMPUR, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY SH. KANWAR SAIN JAIN HUF KARTA & OTHERS IN COLLABORATION WITH PRIMORIS REALTORS P L.L.P.

DRG. TITLE:-
STILT & TERRACE PLAN (TOWER B)

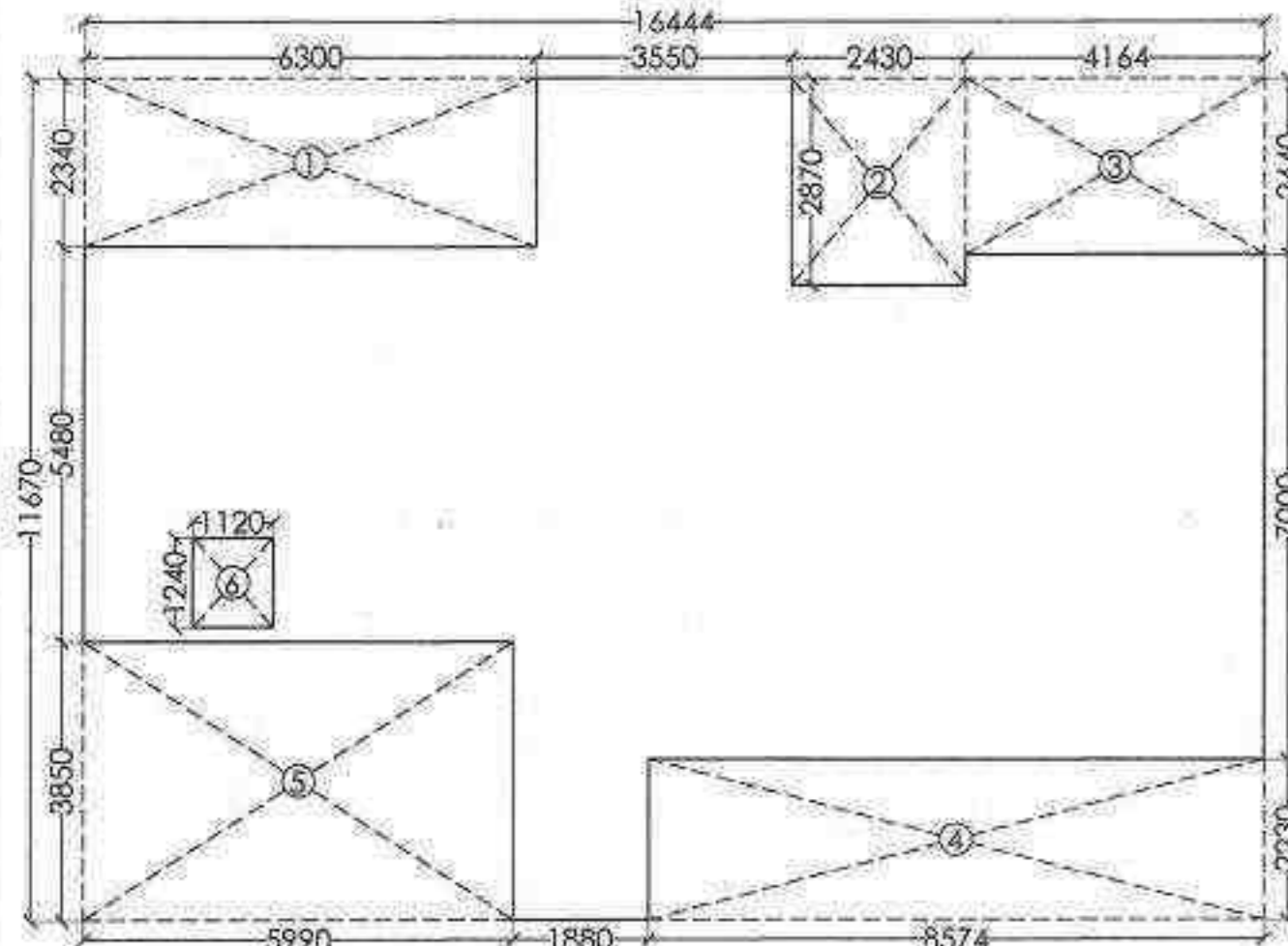
SCALE: 1:100
 DLT.BY:-
 DRG. NO.08
 DATE:-18/12/2019

ARCHITECTS:-
 P. N. ANDLEY B.A.R.C.H., A.I.I.A.
ANDLEYS ASSOCIATES PVT. LTD.
 ARCHITECTS ENGINEERS PLANNERS
 39 HOUSING SOCIETY N.D.S.E.-1 NEW DELHI - 110049



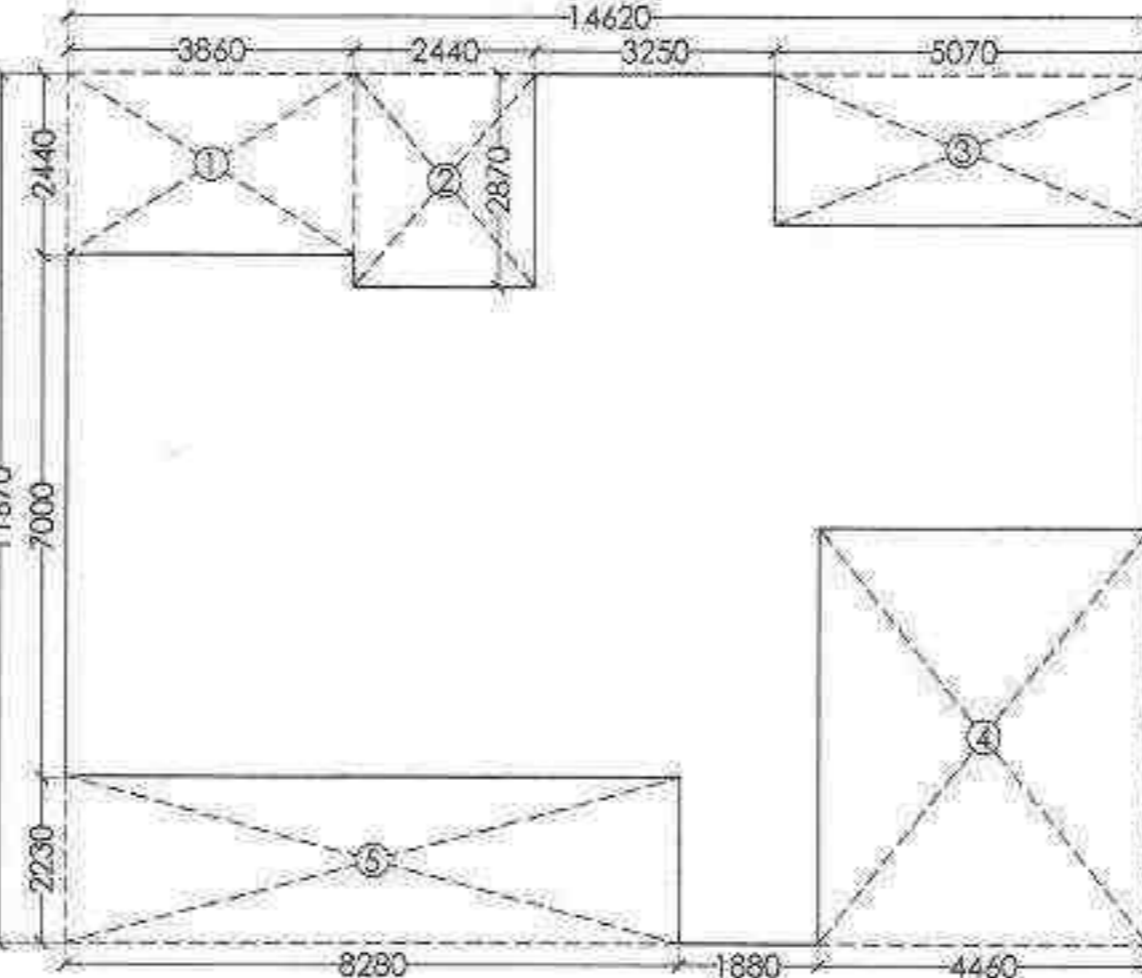
TYPICAL FLOOR PLAN (1st TO 12th FLOOR PLAN) (TOWER-B)

UNIT PLAN TYPE-3+ (SCALE:- 1:100)



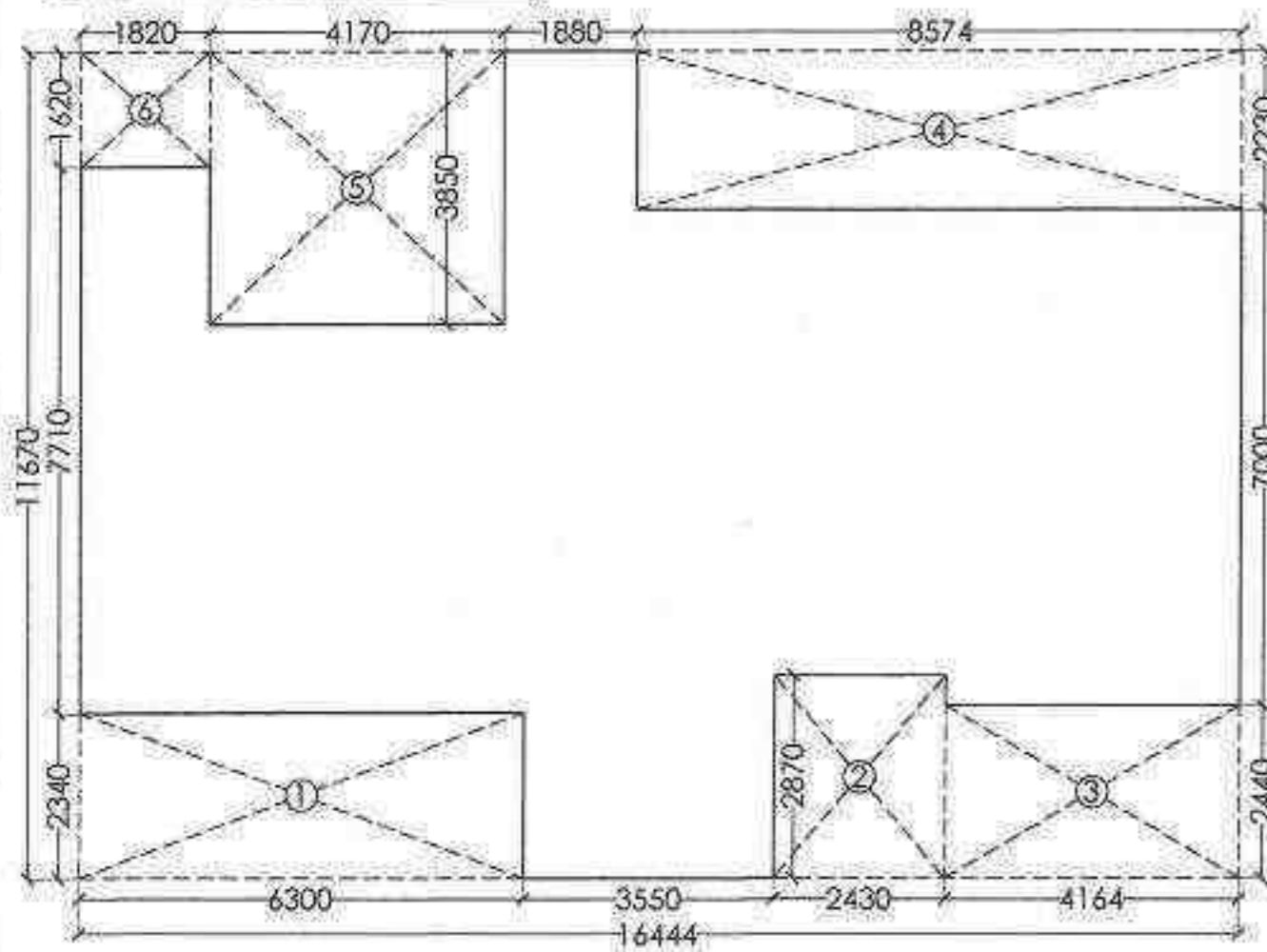
TYPE 3+ FAR AREA DETAIL			
S.NO.	DIMENSION (M)	DEDUCTIONS DIMENSION (M)	TOTAL (SQ.M.)
1	6.300 X 2.340		14.742
2	2.430 X 2.870		6.974
3	4.164 X 2.440		10.160
4	8.574 X 2.230		18.120
5	4.170 X 3.850		16.055
6	1.120 X 1.240		1.388
TOTAL DEDUCTIONS			75.447
NET FAR AREA			116.455

UNIT PLAN TYPE-3 (SCALE:- 1:100)



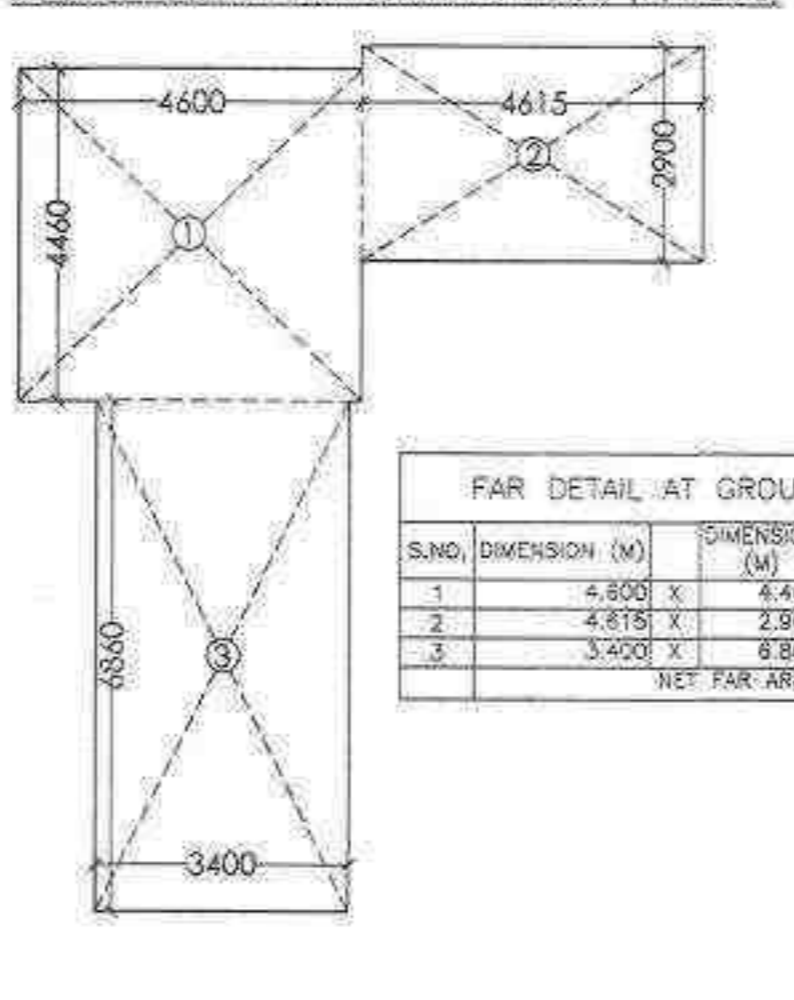
TYPE 3 FAR AREA DETAIL			
S.NO.	DIMENSION (M)	DEDUCTIONS DIMENSION (M)	TOTAL (SQ.M.)
1	3.860 X 2.440		9.418
2	2.440 X 2.870		7.003
3	5.070 X 2.030		10.293
4	4.460 X 5.580		24.887
5	8.280 X 2.230		18.464
TOTAL DEDUCTIONS			70.064
NET FAR AREA			100.551

UNIT PLAN TYPE-3+S (SCALE:- 1:100)



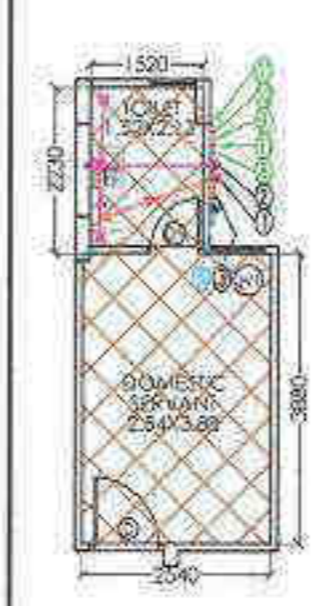
TYPE 3+S FAR AREA DETAIL			
S.NO.	DIMENSION (M)	DEDUCTIONS DIMENSION (M)	TOTAL (SQ.M.)
1	6.300 X 2.340		14.742
2	2.430 X 2.870		6.974
3	4.164 X 2.440		10.160
4	8.574 X 2.230		18.120
5	4.170 X 3.850		16.055
6	1.820 X 1.620		2.948
TOTAL DEDUCTIONS			68.999
NET FAR AREA			121.307

CIRCULATION AREA AT GROUND FLOOR (TOWER-B)



FAR DETAIL AT GROUND FLOORS			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	4.800 X 4.460		20.516
2	4.815 X 2.900		13.384
3	3.400 X 6.880		23.324
NET FAR AREA			57.224

Plumbing Note:
 1. ALL PIPE DIMENSIONS ARE IN MM.
 2. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 3. SOIL AND SEWER PIPES SHALL BE POLYBUTYLENE (PUB) PIPES SHALL BE PROVIDED OUT IN LIPS WITH CLASS B JOINTS AND FITTINGS CONFORMING TO IS-1582.
 4. ALL ROOFING AND WATER PIPES SHALL BE LAYED TO A SLOPE NOT EXCEEDING 1:50 AND NOT LESS THAN 1:100 UNLESS SPECIFIED OTHERWISE.
 5. ALL WATER PIPES SHALL BE FORMED BY 100 MM DIA. 7 TAP WITH 10 MM DIA. PVC PIPE. EXTERIOR PIPES FOR SIZE 100.
 6. FLOOR DRAINAGE: FLOOR DRAIN SHALL BE FORMED BY 100 MM DIA. 7 TAP WITH 10 MM DIA. PVC PIPE. EXTERIOR PIPES FOR SIZE 100.
 7. ALL WATER SUPPLY PIPES SHALL BE FORMED BY 100 MM DIA. 7 TAP WITH 10 MM DIA. PVC PIPE. EXTERIOR PIPES FOR SIZE 100.
 8. ALL WATER SUPPLY PIPES SHALL BE FORMED BY 100 MM DIA. 7 TAP WITH 10 MM DIA. PVC PIPE. EXTERIOR PIPES FOR SIZE 100.
 9. ALL WATER SUPPLY PIPES SHALL BE FORMED BY 100 MM DIA. 7 TAP WITH 10 MM DIA. PVC PIPE. EXTERIOR PIPES FOR SIZE 100.



DOMESTIC SERVANT CARPET AREA DETAIL			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	1.820 X 1.900		3.458
2	2.540 X 3.880		9.855
NET CARPET AREA			13.313

TOTAL NO OF MAIN UNIT PROPOSED = 114 NO OF D.U.
 10% FOR DOMESTIC SERVANTS = 12 D.U.
 PROPOSED NO OF DOMESTIC SERVANTS RESERVED (AT 1st. FLOOR TO 12th. FLOOR ONLY) = 12 UNIT
 10% FOR DOMESTIC SERVANTS PROPOSED 12 D.U. SHOWN AS

FAR AREA DETAIL:-

COVERED AREA DETAIL ON GROUND FLOOR:-
 =(CIRCULATION AREA AT GROUND FLOOR)
 = 57.224 SQ.M.

COVERED AREA DETAIL ON TYPICAL (1ST TO 20TH) FLOOR:-
 =(TYPE-3 X 2)+(TYPE-3+ X 1)+(TYPE-3+S X 1)-(CIRCULATION AREA AT ONE FLOOR)
 =(100.551X2)+(116.455X1)+(121.902X1)+(24.594)
 =(201.102)+(116.455)+(121.902)+(24.594)
 = 464.053 SQ.M.

NON-FAR AREA DETAIL (AT TYPICAL FLOOR):-
 = 30.047 SQ.M.

NON-FAR AREA DETAIL (AT GROUND FLOOR):-
 =(STILT AREA + NON FAR AREA AT GROUND FLOOR)
 = (444.754+1.386)
 = 446.14 SQ.M.

STILT AREA DETAIL:-
 =(GROUND COVERAGE)-(FAR AT GROUND FLOOR)-(NON FAR AREA AT GROUND FLOOR)
 =(503.364)-(57.224)-(1.386)
 =444.754 SQ.M.

GROUND COVG. DETAIL:-
 =(FAR AT TYPICAL FLOOR)+(NON FAR AT TYPICAL FLOOR)+(LIFT WELL)
 =(464.053)+(30.047)+(1.93X2.4X2)
 = 503.364 SQ.M.

REQUIRED REFUGE AREA AT 19TH FLOOR:-
 =(FAR OF 18TH & 19TH FLOOR)/(12.5)X0.3+0.9
 =((464.053X2)/(12.5)X0.3+0.9)
 =23.174 SQ.M.

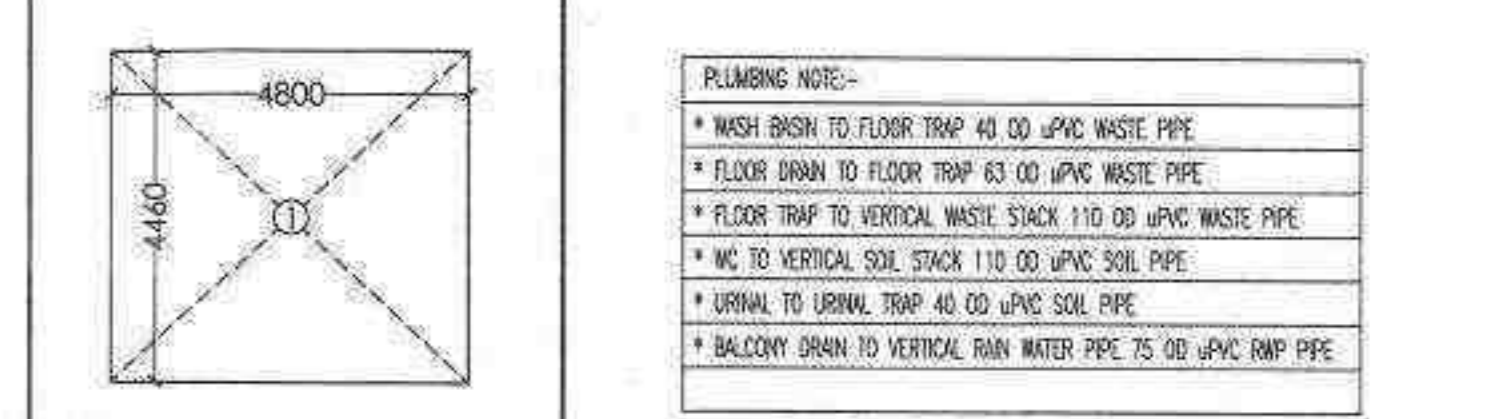
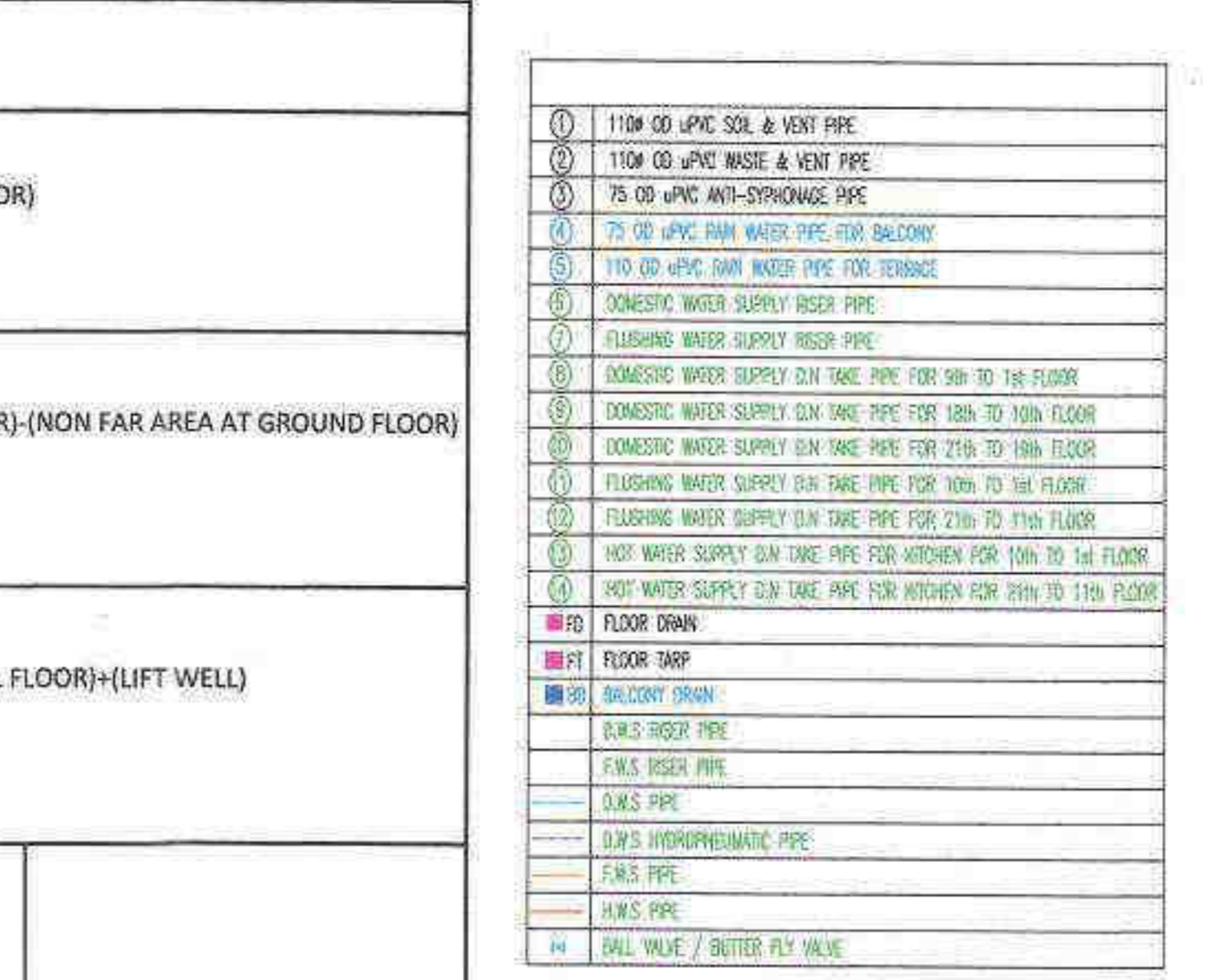
PROPOSED REFUGE AREA AT 19TH FLOOR
 = 23.18 SQ.M.

TOTAL NON FAR AREA AT 19TH FLOOR
 = 30.047 + 23.18
 = 53.227 SQ.M.

NON-FAR AREA DETAIL (AT TERRACE FLOOR):-
 =(MUMTY + MACHINE ROOM+WATER TANK)
 =(32.084+21.408+32.084)
 = 85.576 SQ.M.

SCHEDULE OF DOOR & WINDOWS

S.NO.	TYPE	SIZE	CILL. LVL.	LTL. LVL.
1	D	1.20 X 2.10	-	2.10 M.
2	D-1	1.0 X 2.10	-	2.10 ..
3	W	2.40 X 1.75	1.05	2.45 ..
4	W-1	1.64 X 1.75	1.05	2.45 ..



MACHINE ROOM AREA DETAIL (NON FAR)			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL AREA
1	4.800 X 4.460		21.408
TOTAL AREA			21.408

MUMTY AREA DETAIL (NON FAR)			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL AREA
1	4.815 X 2.900		13.384
2	3.400 X 5.500		18.700
TOTAL AREA			32.084

WATER TANK AREA DETAIL (NON FAR)			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL AREA
1	4.815 X 2.900		13.384
2	3.400 X 5.500		18.700
TOTAL AREA			32.084

SIGNING AUTHORITY

FOR PRIMORIS REALTORS LLP
 MANI
 DESIGNATING PARTNER

ARCHITECT'S SIGN

PANKAJ NATH ANDLEY
 B.A.R.C.H. A.I.I.A.
 ARCHITECT GA/99/24/808

SUBMISSION DRAWING

PROJECT:-
 PROPOSED GROUP HOUSING FOR 2.1234375 ACRES (LICENCE NO86 OF 2019 DATED 01.08.2019) FALLING IN THE REVENUE ESTATE OF VILLAGE ISLAMPUR, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY SH. KANWAR SAIN JAIN HUF KARTA & OTHERS IN COLABORATION WITH PRIMORIS REALTORS P L.L.P.

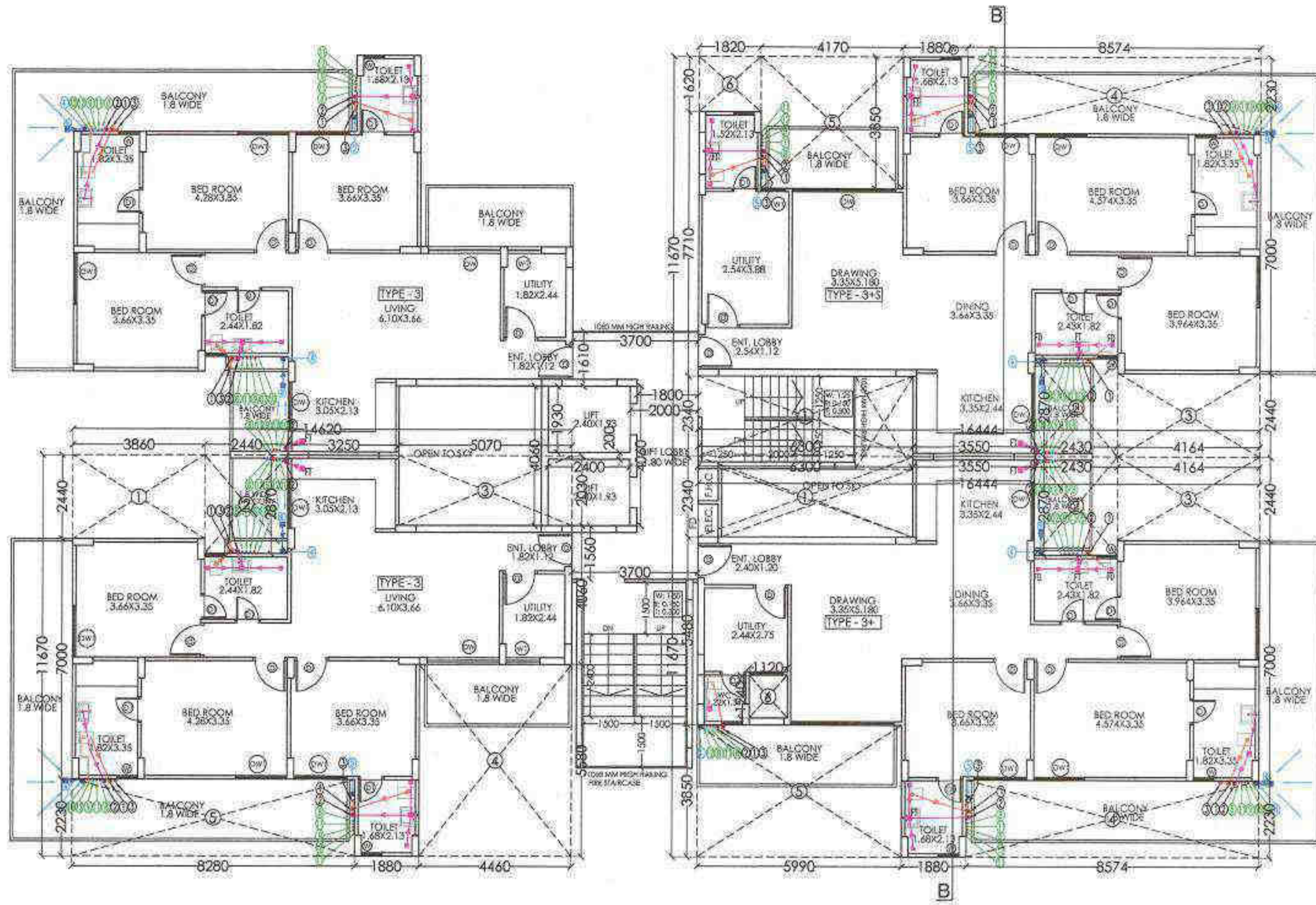
FLOOR PLAN & AREA DETAIL (TOWER B)

SCALE:1:100 DRG. NO.09

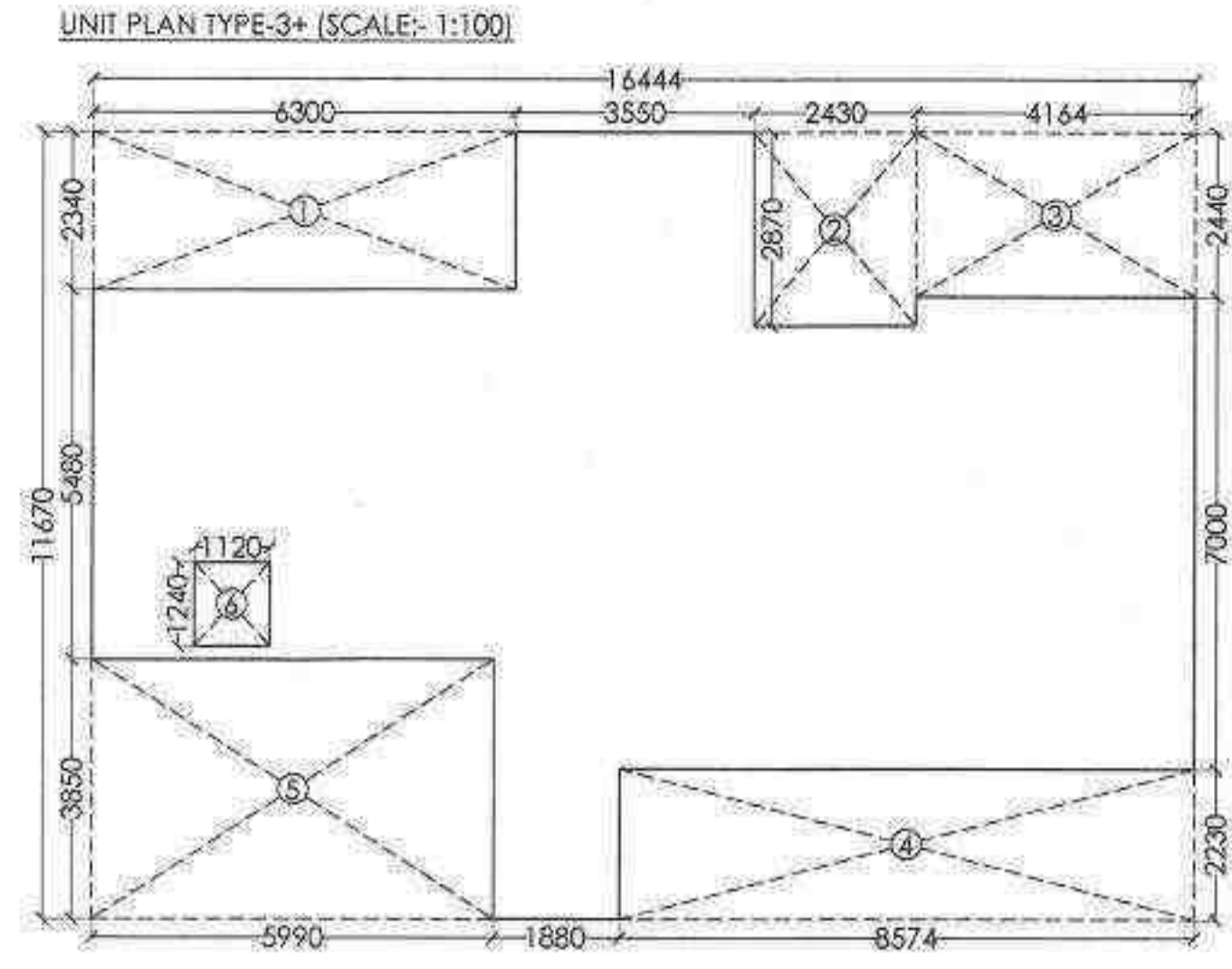
DATE:16/12/2019

ARCHITECTS:- P. N. ANDLEY B.A.R.C.H. A.I.I.A.

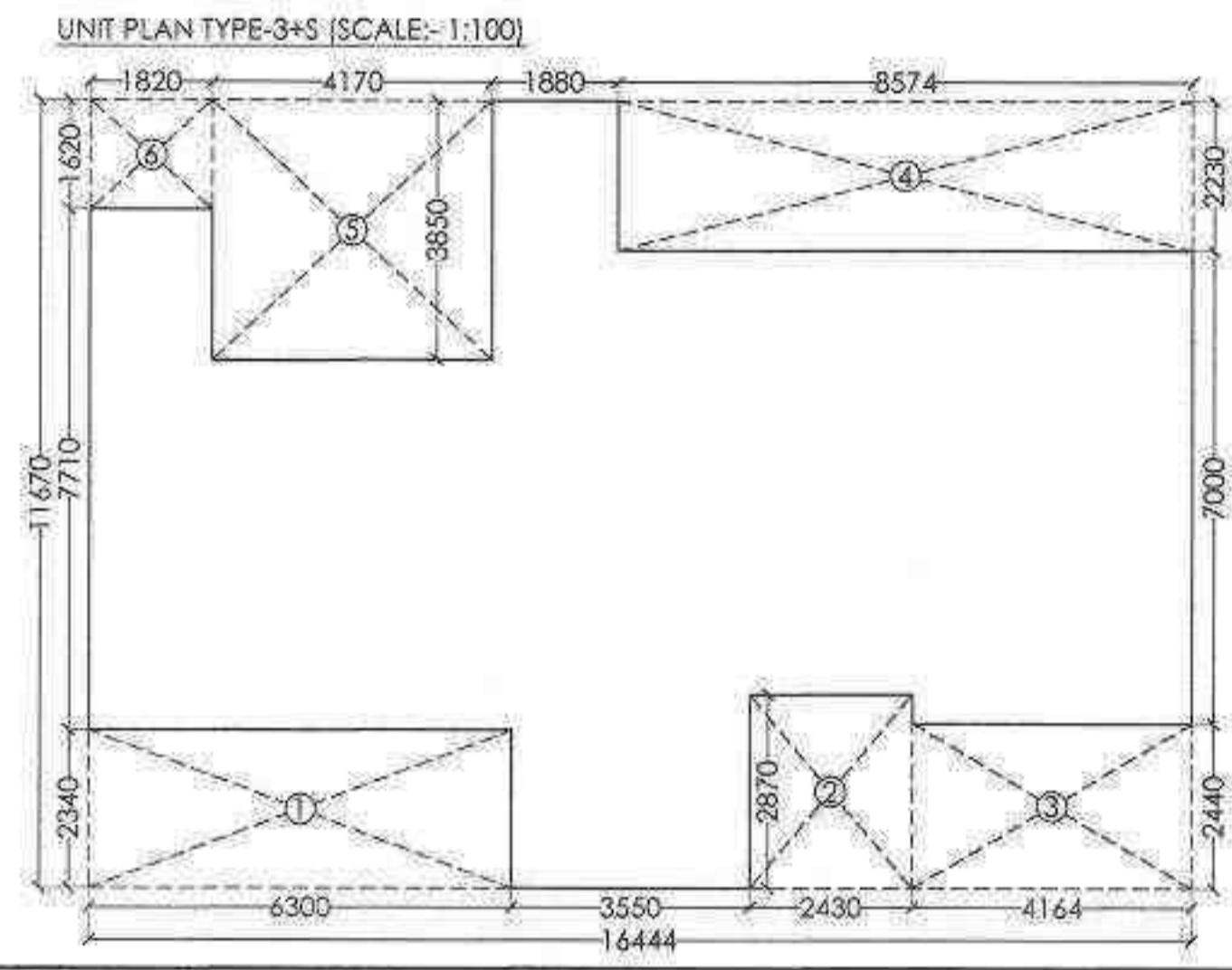
ANDLEYS ASSOCIATES PVT. LTD. ARCHITECTS ENGINEERS PLANNERS 3P HOUSING SOCIETY N.D.S.E-I NEW DELHI - 110049



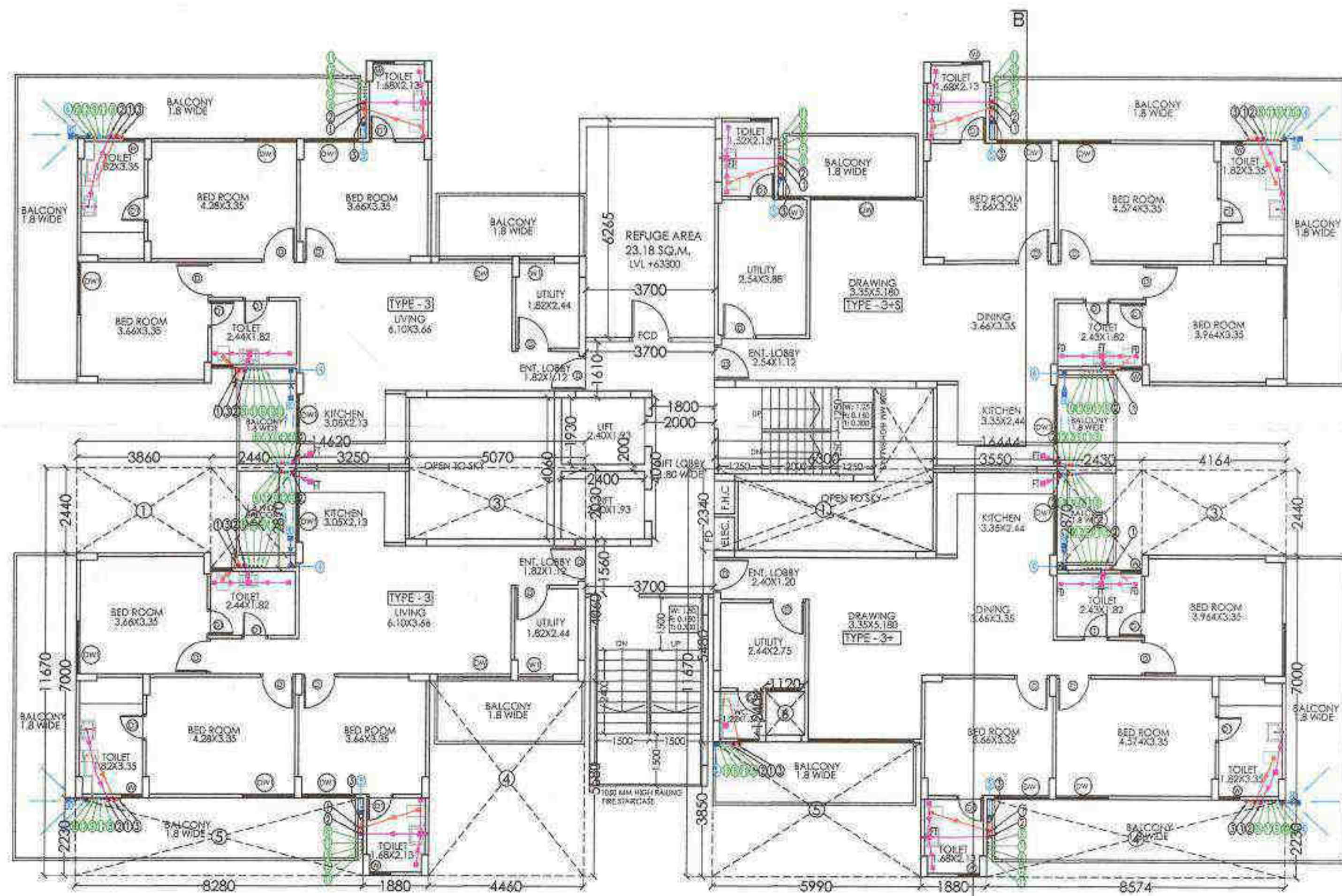
TYPICAL FLOOR PLAN (13th TO 18th FLOOR PLAN) (TOWER-B)



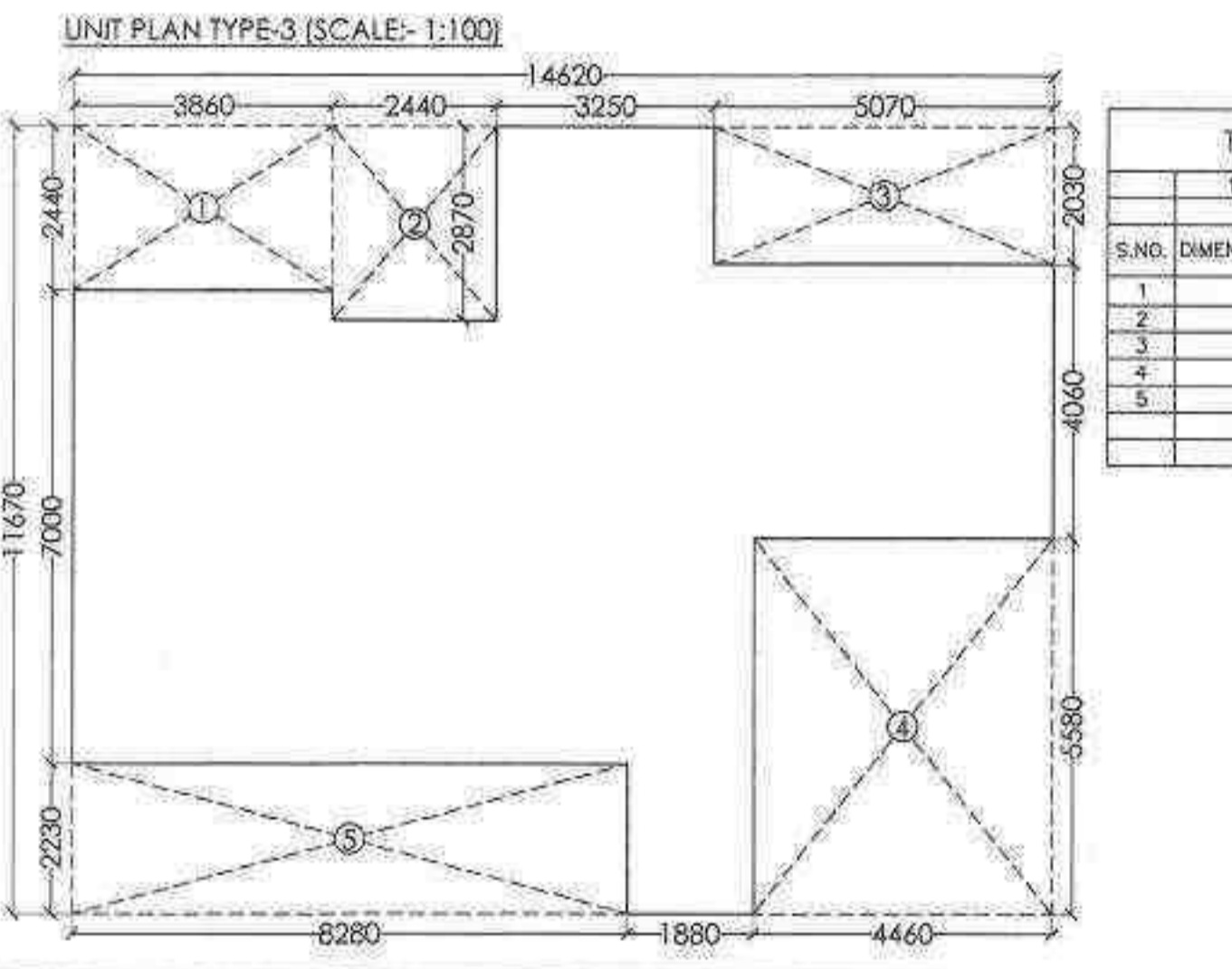
TYPE 3+ FAR AREA DETAIL			
		DEDUCTIONS	
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	6.300 X 2.340	2.340	14.742
2	2.430 X 2.870	2.870	6.974
3	4.184 X 2.440	2.440	10.160
4	8.574 X 2.230	2.230	18.120
5	5.590 X 3.850	3.850	23.082
6	1.120 X 1.240	1.240	1.389
TOTAL DEDUCTIONS			75.447
NET FAR AREA			116.455



TYPE 3+S FAR AREA DETAIL			
		DEDUCTIONS	
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	6.300 X 2.340	2.340	14.742
2	2.430 X 2.870	2.870	6.974
3	4.184 X 2.440	2.440	10.160
4	8.574 X 2.230	2.230	18.120
5	4.170 X 3.850	3.850	16.055
6	1.820 X 1.620	1.620	2.948
TOTAL DEDUCTIONS			69.999
NET FAR AREA			121.902

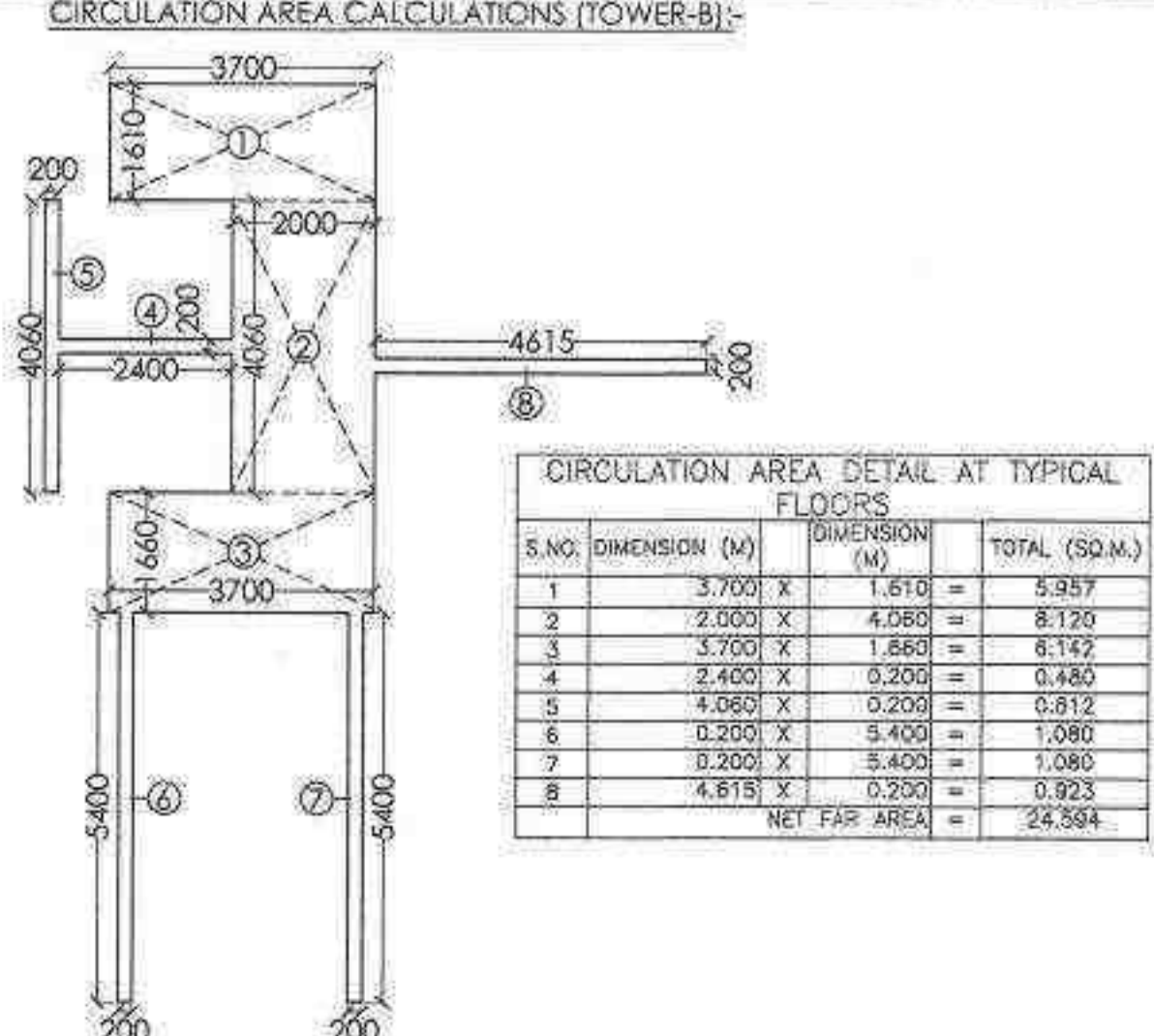


19TH FLOOR PLAN (TOWER-B)



TYPE 3 FAR AREA DETAIL			
		DEDUCTIONS	
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	3.860 X 2.440	2.440	9.418
2	2.440 X 2.870	2.870	7.003
3	5.070 X 2.030	2.030	10.282
4	4.460 X 3.580	3.580	15.957
5	8.280 X 2.230	2.230	18.464
TOTAL DEDUCTIONS			70.064
NET FAR AREA			100.851

REQUIRED REFUGE AREA AT 19TH FLOOR:-
 $= ((\text{FAR OF 18TH \& 19TH FLOOR}) / 12.5) \times 0.3 + 0.9$
 $= ((464.053 \times 2) / 12.5) \times 0.3 + 0.9$
 $= 23.174 \text{ SQ.M.}$
PROPOSED REFUGE AREA AT 19TH FLOOR
 $= 23.18 \text{ SQ.M.}$
TOTAL NON FAR AREA AT 19TH FLOOR
 $= 30.047 + 23.18$
 $= 53.227 \text{ SQ.M.}$



CIRCULATION AREA DETAIL AT TYPICAL FLOORS			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	3.700 X 1.510	1.510	5.587
2	2.000 X 4.080	4.080	8.120
3	3.700 X 1.860	1.860	6.142
4	2.400 X 0.200	0.200	0.480
5	4.060 X 0.200	0.200	0.812
6	0.200 X 5.400	5.400	1.080
7	0.200 X 5.400	5.400	1.080
8	4.810 X 0.200	0.200	0.923
NET FAR AREA			24.594

Checked and found ok for Public Health
 (Signature)
 Deputy Director
 City Development & Services
 Member
 2016.04.11/151

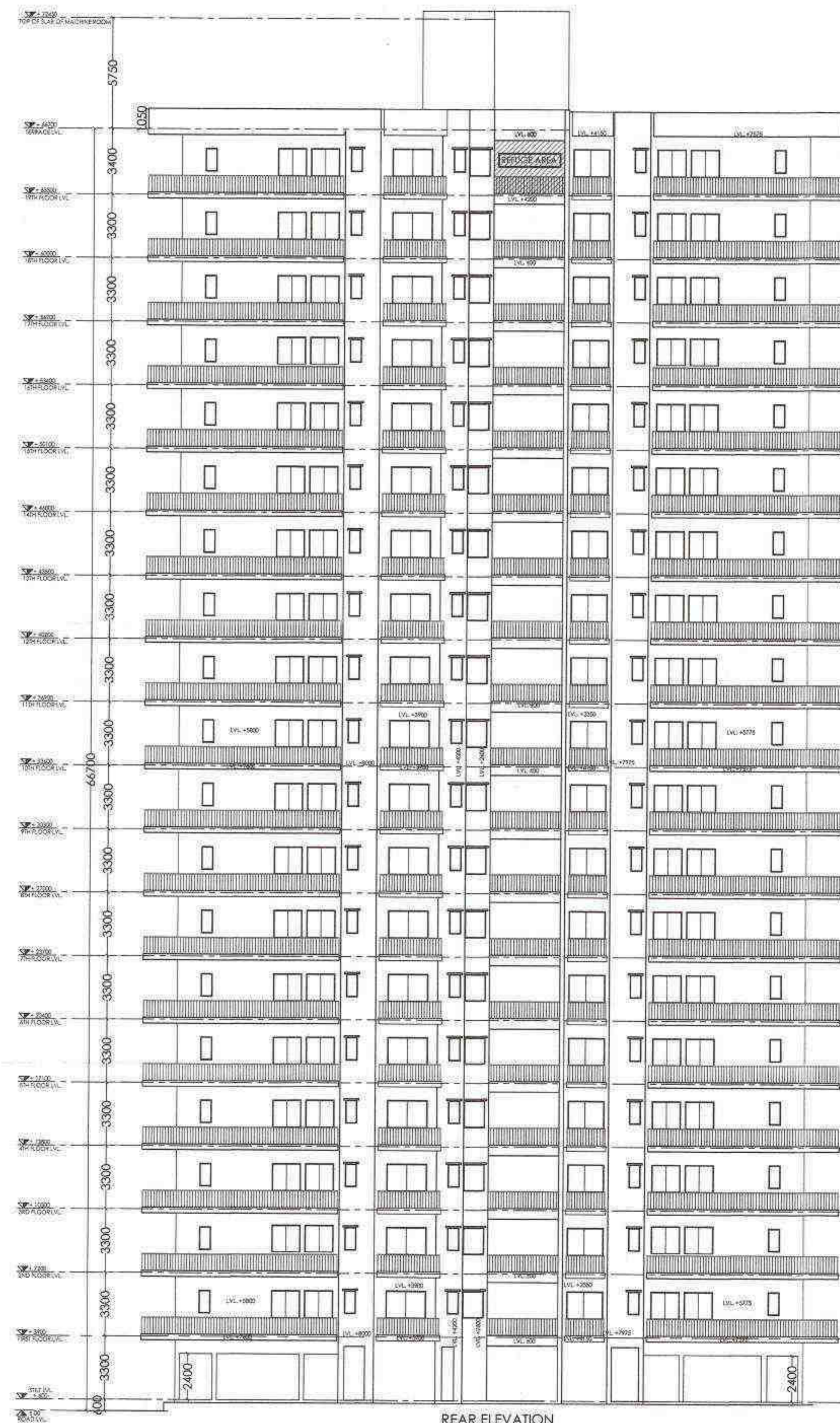
(Signature)
 Deputy Director
 City Development & Services
 Member
 2016.04.11/151

SIGNING AUTHORITY:
 FOR PRIMORIS REALTORS LLP
 DESIGNATING PARTNER
 ARCHITECT'S SIGN
 PANKAJ NATHANLEY
 B.A.R.C.H. A.I.A.A.
 ARCHITECT 04/95724003

SUBMISSION DRAWING
 PROJECT:
 PROPOSED GROUP HOUSING FOR
 2.1234375 ACRES (LICENCE NO86 OF 2019
 DATED 01.08.2019) FALLING IN THE REVENUE
 ESTATE OF VILLAGE ISLAMPUR, GURUGRAM
 MANESAR URBAN COMPLEX BEING DEVELOPED BY
 SH. KANWAR SAIN JAIN HUF KARTA & OTHERS
 IN COLLABORATION WITH PRIMORIS REALTORS P L.L.P.
 DRG. TITLE:
FLOOR PLAN (13th TO 18th & 19th) (TOWER B)
 SCALE: 1:100
 DRG. NO.: 10
 D.T.B.Y.:
 DATE: 18/12/2019
 ARCHITECTS:-
 P. N. ANDLEY B.A.R.C.H. A.I.A.A.
ANDLEYS ASSOCIATES PVT. LTD.
 ARCHITECTS ENGINEERS PLANNERS
 39 HOUSING SOCIETY N.D.S.E.J. NEW DELHI - 110049



FRONT ELEVATION



REAR ELEVATION

[Signature]
 MEMBER SOCIETY
 B.P.C. - B.P.C.

[Signature]
DINESH KUMAR
 SD (HQ)

Deputy Director (T)
 Fire Department
 Member B.P.C.

SIGNING AUTHORITY

FOR PRIMORIS REALTORS LLP
[Signature]
 DESIGNATING PARTNER

ARCHITECT'S SIGN

[Signature]
PANKAJ NATH ANDLEY
 B.A.R.C.H., A.I.I.A.
 ARCHITECT CA/8924865

SUBMISSION DRAWING

PROJECT:-
 PROPOSED GROUP HOUSING FOR
 2.1234375 ACRES (LICENCE NOB6 OF 2019
 DATED 01.08.2019) FALLING IN THE REVENUE
 ESTATE OF VILLAGE ISLAMPUR, GURUGRAM
 MANESAR URBAN COMPLEX BEING DEVELOPED BY
 SH. KANWAR SAIN JAIN HUF KARTA & OTHERS
 IN COLLABORATION WITH PRIMORIS REALTORS P.L.P.

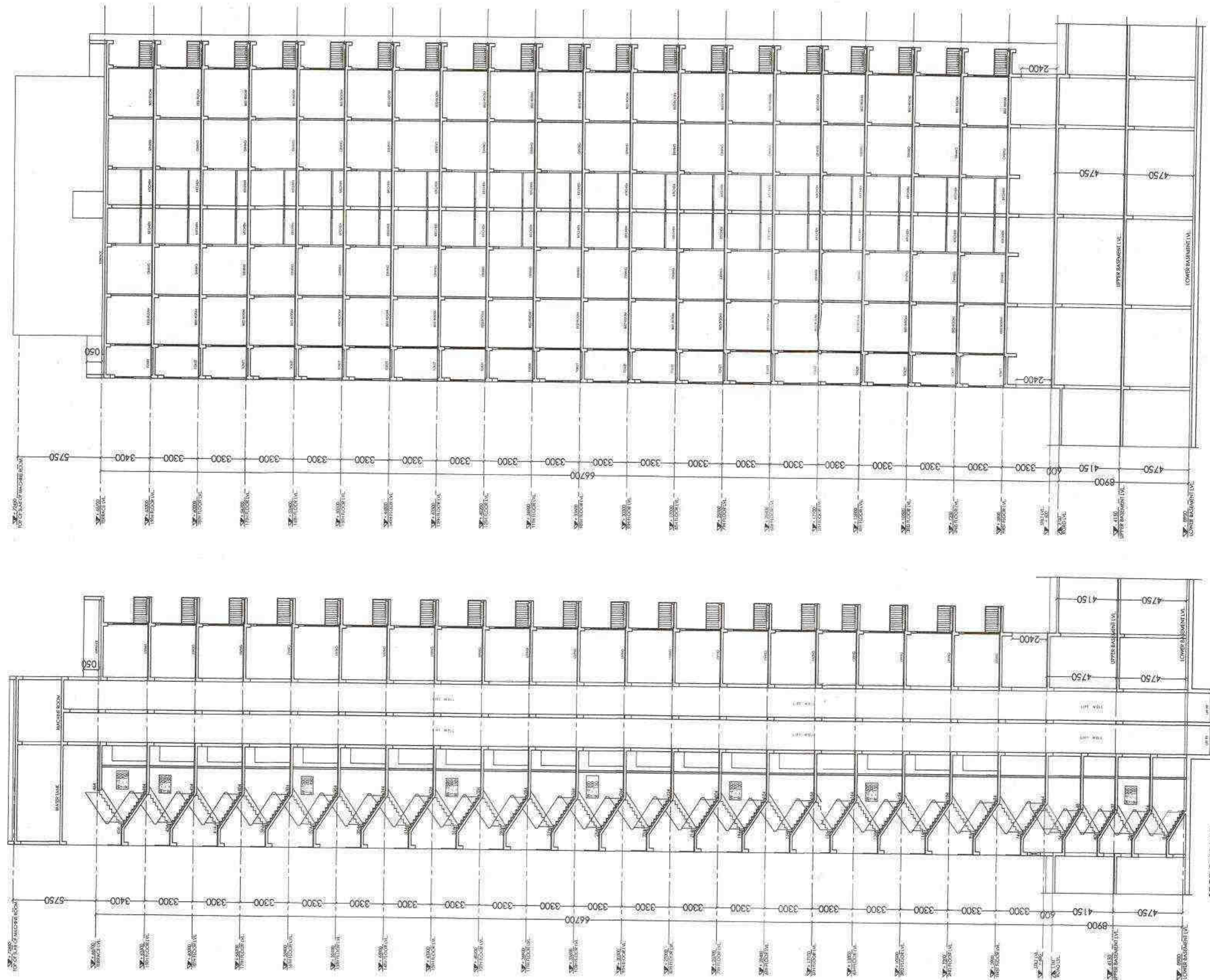
DRG. TITLE:-
 ELEVATION (TOWER B)

SCALE: 1:100

DATE: 16/12/2019

ARCHITECTS:-
P. N. ANDLEY & ASSOCIATES PVT. LTD.
 ARCHITECTS ENGINEERS PLANNERS

SP. HOUSING SOCIETY N.D.S.E. NEW DELHI - 110049



DINESH KUMAR
SD (HQ)

Deputy Director (T)
O/o Directorate Fire Service
Member S.P.C.

Signature of P. N. Andley
P. N. ANDLEY
ARCHITECT

SIGNING AUTHORITY:

FOR PRIMORIS REALTORS LLP

MSAJI
DESIGNATING PARTNER

ARCHITECT'S SIGN

PANJAJ NATH ANDLEY
P. N. ANDLEY
ARCHITECT

SUBMISSION DRAWING

PROJECT:
PROPOSED GROUP HOUSING FOR
2.1234375 ACRES (LICENCE NO.66 OF 2019
DATED 01.08.2019) FALLING IN THE REVENUE
ESTATE OF VILLAGE ISLAMPUR, GURUGRAM
MANESAR URBAN COMPLEX BEING DEVELOPED BY
SH. KANWAR SAIN JAIN HUF KARTA & OTHERS
IN COLLABORATION WITH PRIMORIS REALTORS P. L. P.

DRG. TITLE:
SECTIONS (TOWER B)

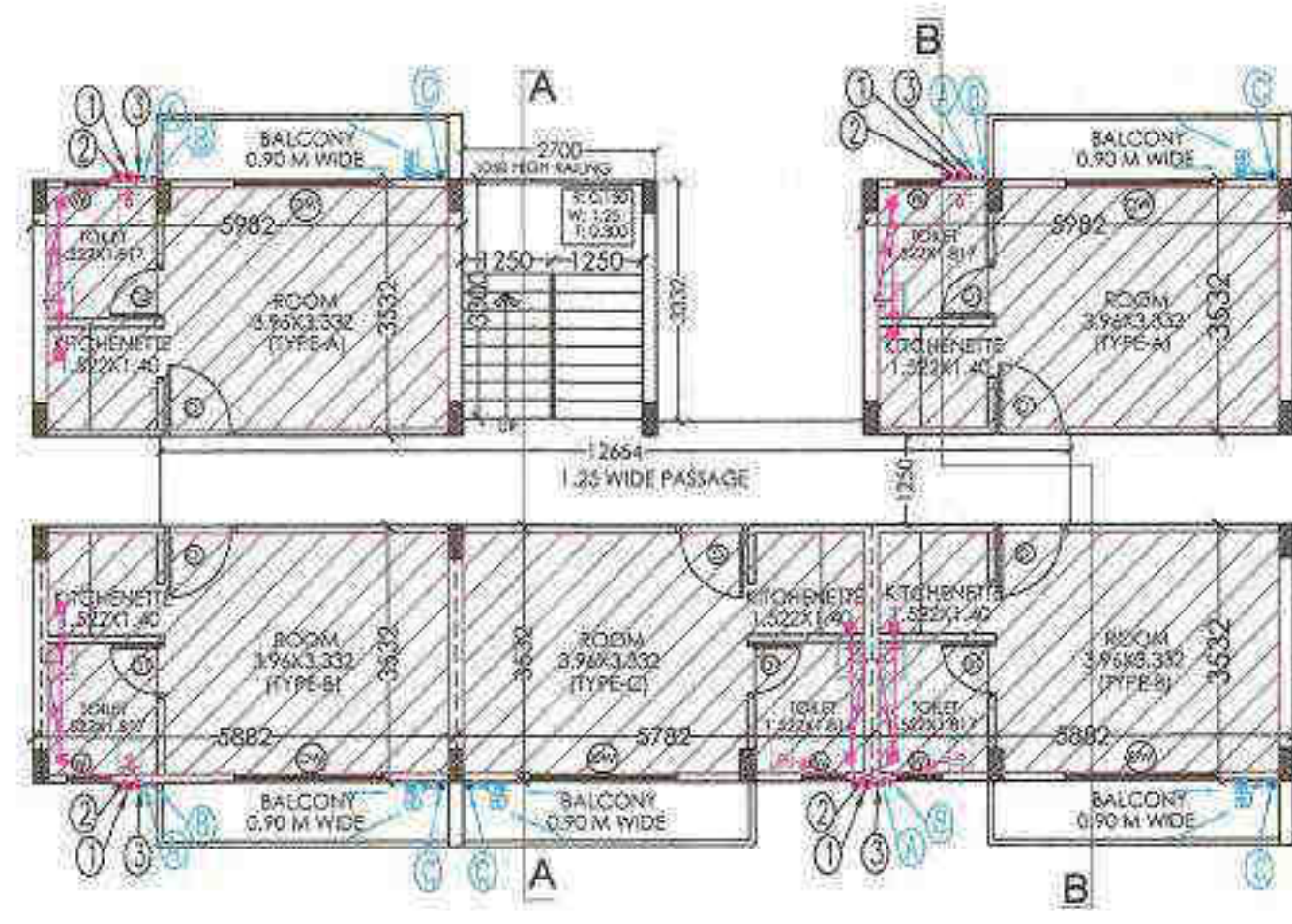
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DRG. NO: 12

DATE: 18/12/2019

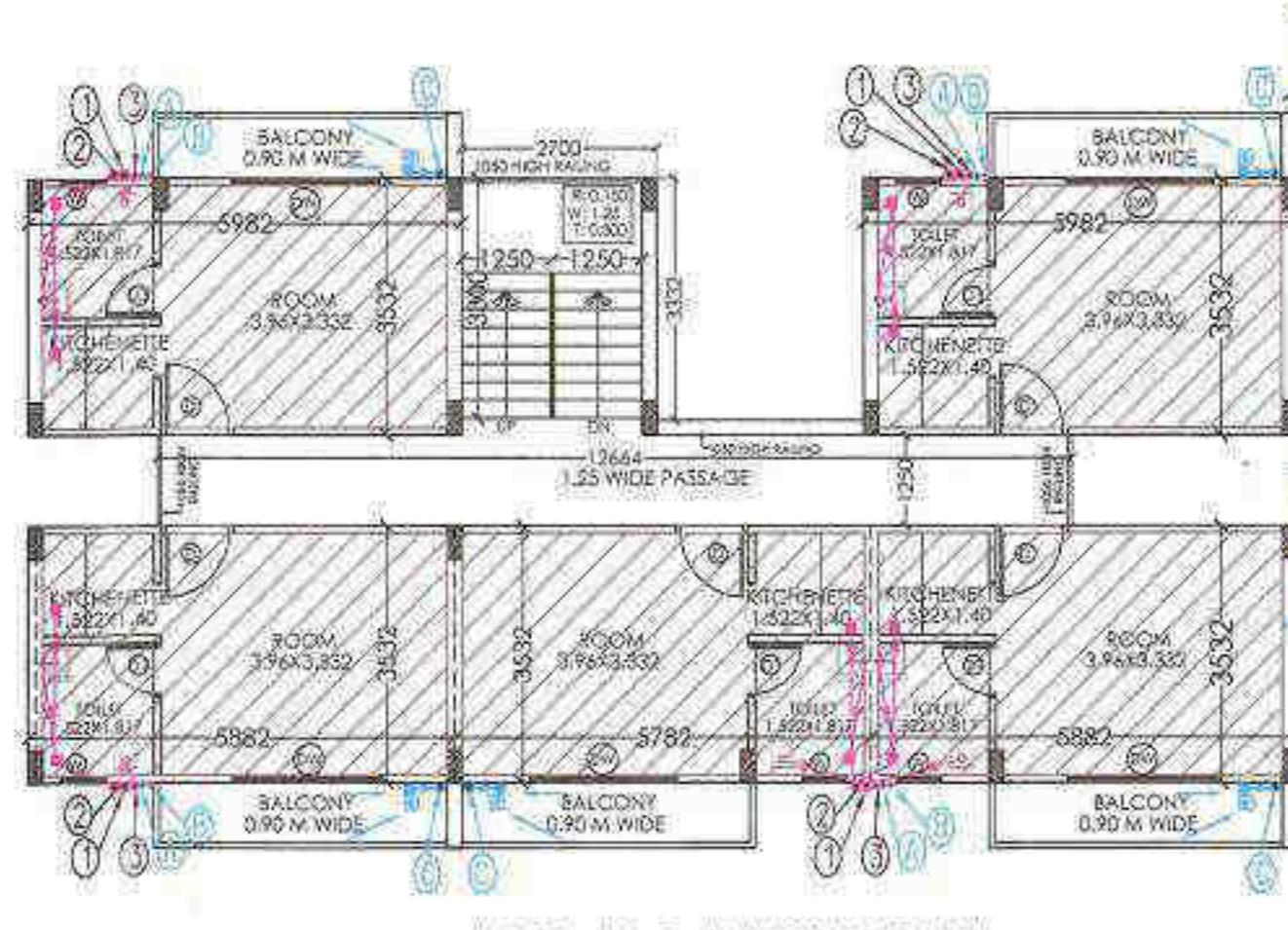
ARCHITECTS:
P. N. ANDLEY BARCH, AJIA,
ANDLEYS ASSOCIATES PVT. LTD.

PLANNERS
SOCIETY
INDIA

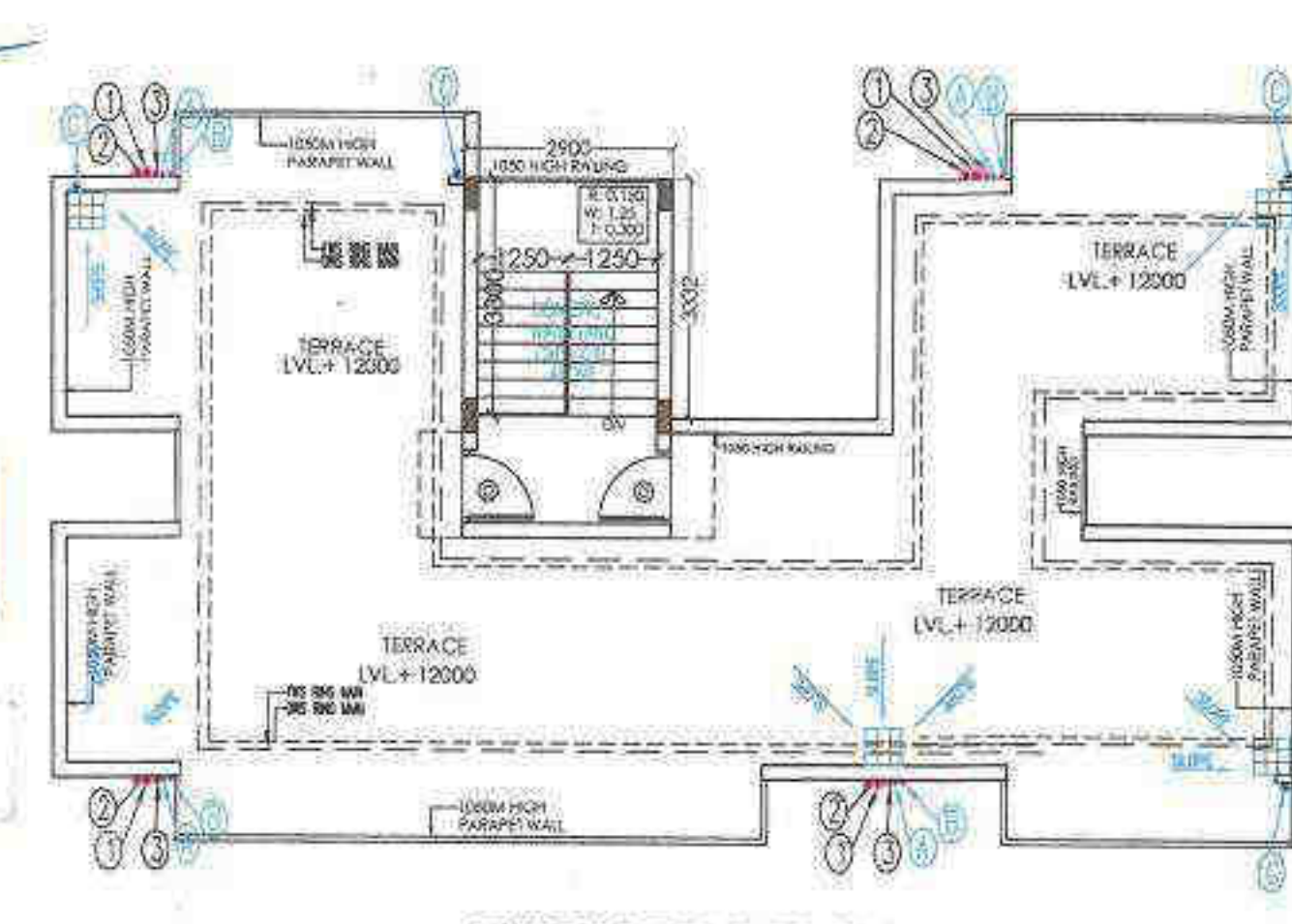
NEW DELHI - 110049



GROUND FLOOR PLAN



1st, 2nd & 3rd FLOOR PLAN



TERRACE FLOOR PLAN

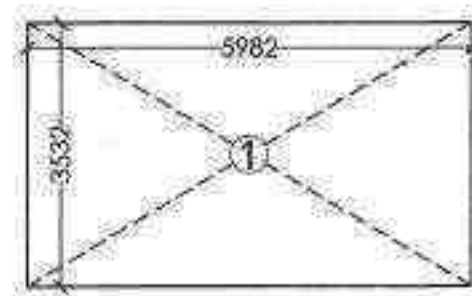
1	110M OD UPVC SOIL & VENT PIPE
2	110M OD UPVC WASTE & VENT PIPE
3	75 OD UPVC ANTI-SIPHONAGE PIPE
4	DOMESTIC WATER SUPPLY PIPE
5	FLOORING WATER SUPPLY PIPE
6	110 OD UPVC RAIN WATER PIPE FOR TERRACE/BALCONY
7	DOMESTIC WATER REAR PIPE
8	FLOORING WATER REAR PIPE
9	FLOOR DRAIN
10	FLOOR DARP
11	BALL VALVE / BUTTER FLY WAVE

SCHEDULE OF DOOR & WINDOWS

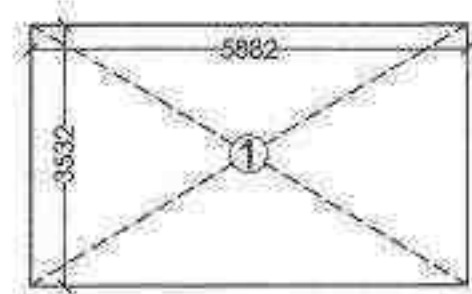
S.NO.	TYPE	SIZE	CILL. LVL.	LTL. LVL.
1	D	1.0 X 2.10	-	2.10 M.
2	D-1	0.75 X 2.10	-	2.10 ..
3	DW	2.0 X 2.1	-	2.10 ..
4	W	0.60 X 0.90	1.20	2.10 ..

ADEQUATE ACCOMMODATION SHALL BE PROVIDED FOR DOMESTIC SERVANTS AND OTHER SERVICES POPULATION OF E.W.S. THE NUMBER OF SUCH DWELLING UNITS FOR DOMESTIC SERVANTS SHALL NOT BE LESS THAN 10% OF THE NUMBER OF THE DWELLING UNITS AND THE CARPET AREA OF SUCH A IF ATTACHED TO THE MAIN UNITS SHALL NOT BE LESS THAN 140 SQ.FT. IN ADDITION 15% OF THE TOTAL NUMBER OF DWELLING UNITS HAVING A MINIMUM AREA OF 200 SQ.FT. SHALL BE EARMARKED FOR E.W.S. CATEGORY.

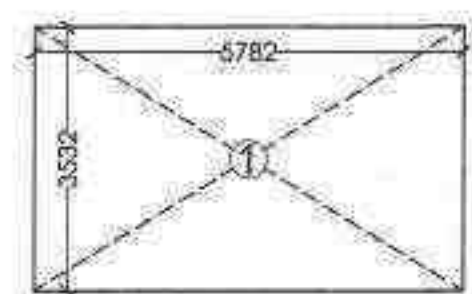
15% E.W.S PROPOSED 20 D.U.



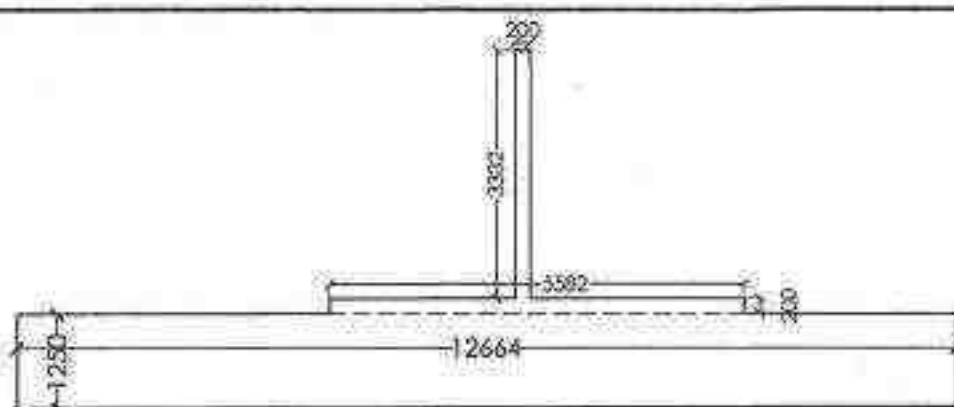
EWS UNIT FAR AREA DETAIL (TYPE-A)			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	5.982	3.532	21.128



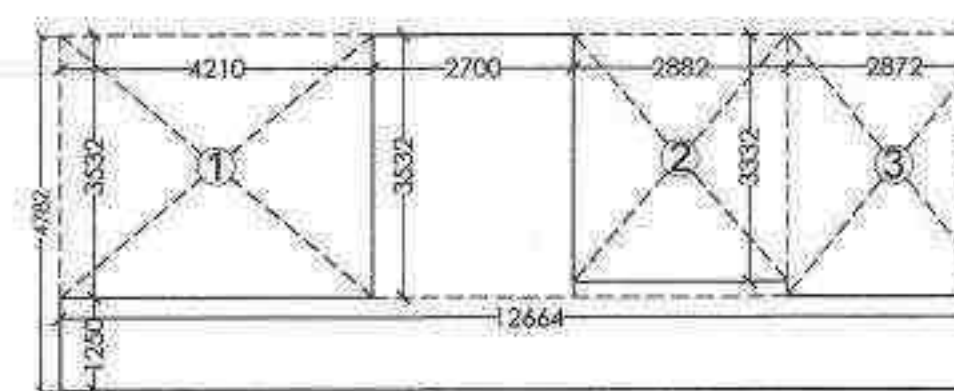
EWS UNIT FAR AREA DETAIL (TYPE-B)			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	5.882	3.532	20.775



EWS UNIT FAR AREA DETAIL (TYPE-C)			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	5.782	3.532	20.740



EWS TOWER CIRCULATION AREA DETAIL AT TYPICAL (1ST-3RD) FLOOR			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	12.664	1.25	15.830
2	5.582	0.20	1.116
3	0.20	3.532	0.706
TOTAL DEDUCTIONS			17.613
NET AREA			17.613

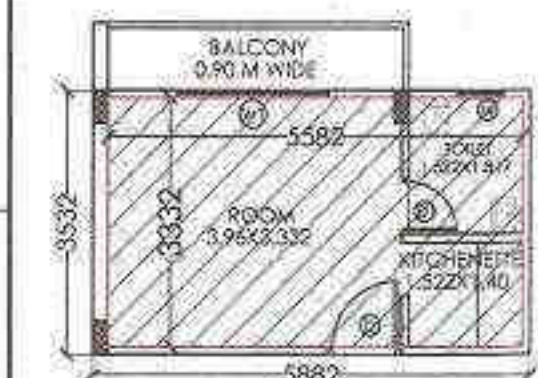


EWS TOWER CIRCULATION AREA DETAIL AT GROUND FLOOR			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	12.664	4.782	60.559
2	4.210	3.532	14.876
3	2.862	3.532	9.863
4	2.872	3.532	10.144
TOTAL DEDUCTIONS			34.816
NET AREA			25.943

TOTAL COVERED AREA AT ONE FLOOR (1ST TO 3RD):
 = (TYPE A X 2) + (TYPE B X 2) + (TYPE C X 1)
 + (CIRCULATION AREA AT TYPICAL FLOOR)
 = (21.128X2) + (20.775X2) + (20.740X1) + (17.613)
 = (42.256) + (41.55) + (20.74) + (17.613)
 = 122.159 SQ.M.

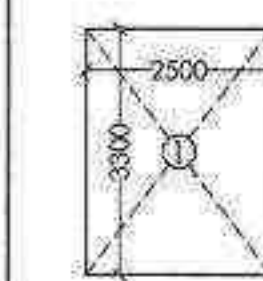
TOTAL COVERED AREA AT GROUND FLOOR:
 = (TYPE A X 2) + (TYPE B X 2) + (TYPE C X 1)
 + (CIRCULATION AREA AT TYPICAL FLOOR)
 = (21.128X2) + (20.775X2) + (20.740X1) + (25.943)
 = (42.256) + (41.55) + (20.74) + (25.943)
 = 130.489 SQ.M.

TOTAL NO OF MAIN UNIT PROPOSED = 114 NO OF D.U.
 15% FOR E.W.S. = (114X15/85) = 20 D.U. SAY 20 D.U.
 PROPOSED NO OF D.U FOR SAME = 20 NOS. OF D.U.
 CARPET AREA = 20.775 SQ.M. OR 200.198 SQ.FT.

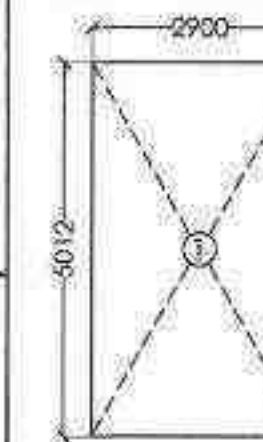


EWS CARPET AREA DETAIL			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	5.882	3.532	20.775
TOTAL			200.198

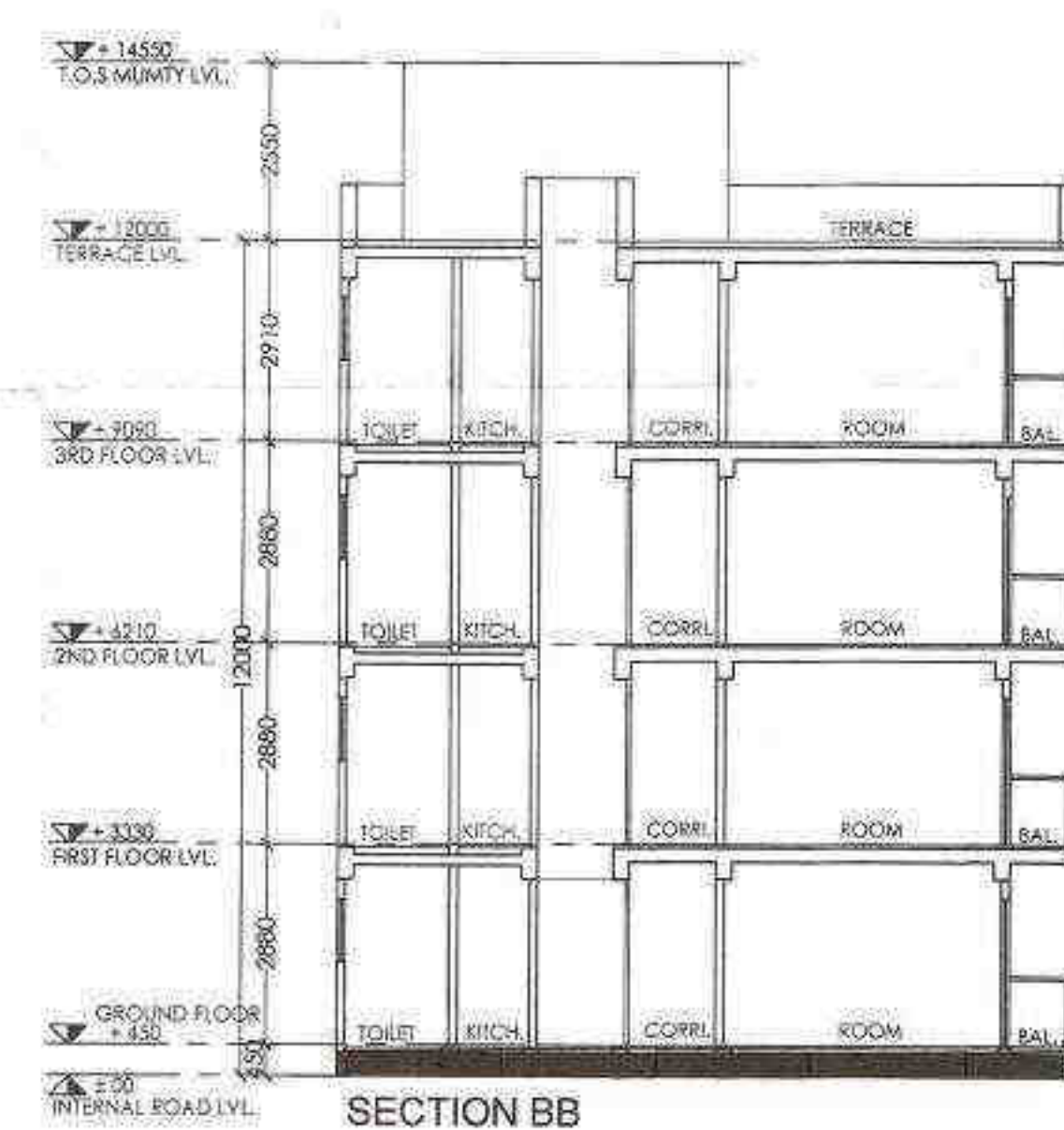
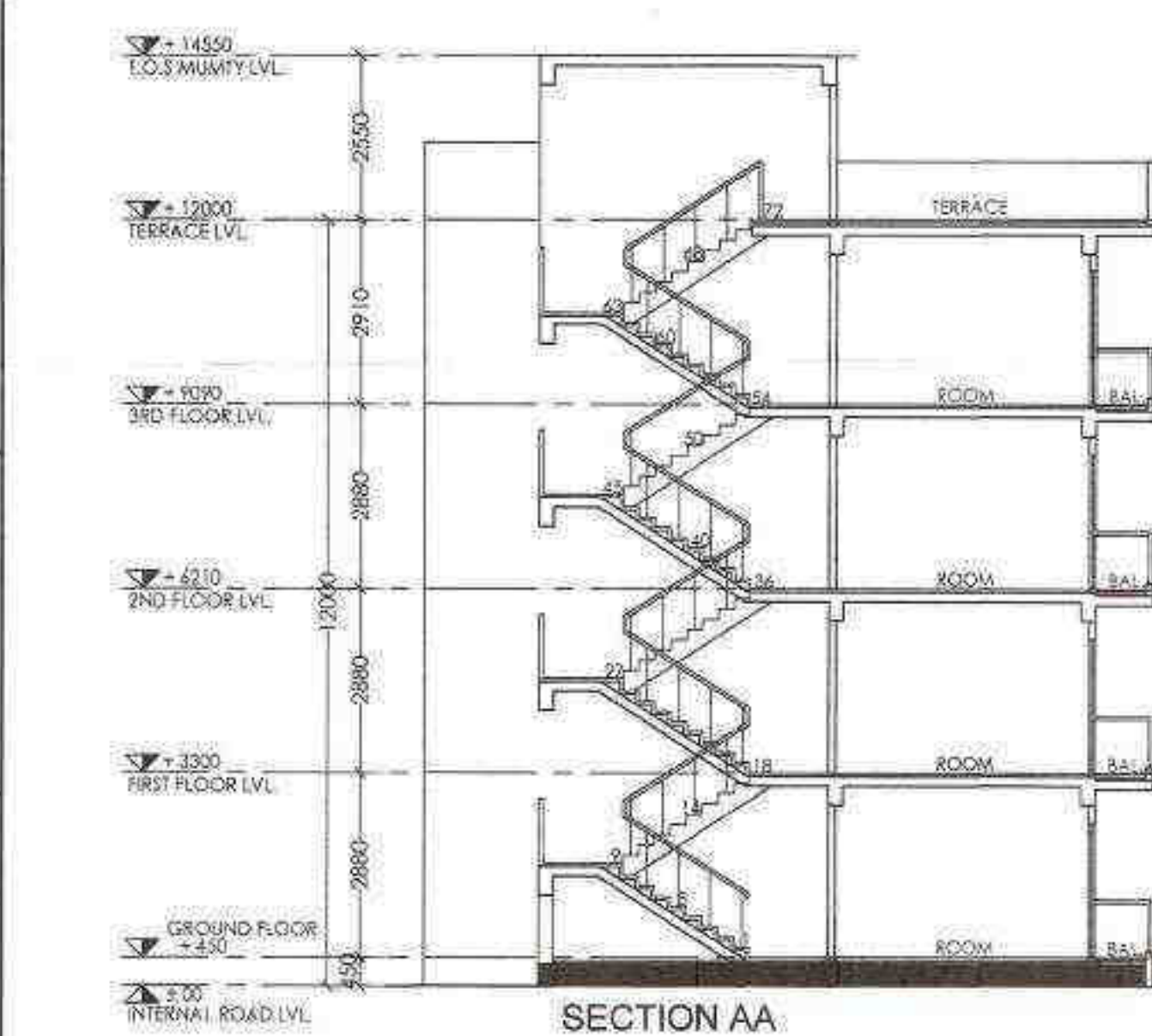
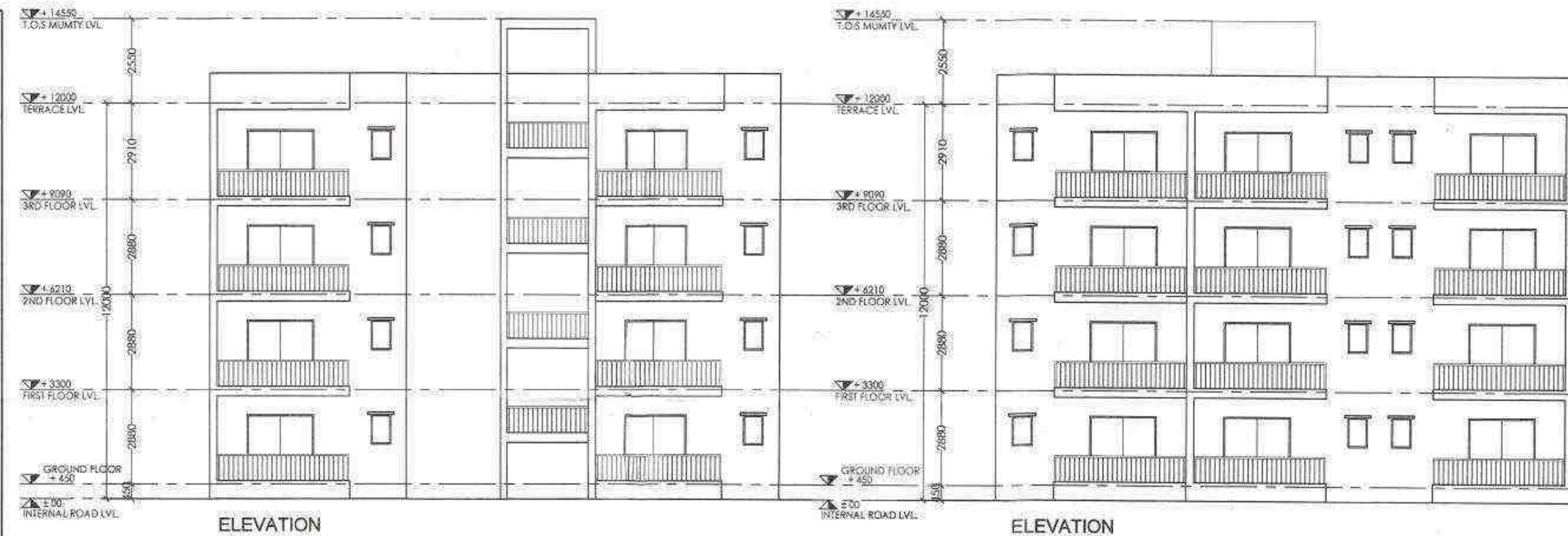
TOTAL NO OF MAIN UNIT PROPOSED = 114 NO OF D.U.
 10% FOR DOMESTIC SERVANTS = 12 D.U.
 PROPOSED NO OF D.U FOR SAME = 12 NOS. OF D.U.
 CARPET AREA = 20.775 SQ.M. OR 200.198 SQ.FT.



TYPICAL FLOOR NON FAR DETAIL			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	2.500	3.300	8.250
NET AREA			8.250



NON FAR DETAIL AT TERRACE			
S.NO.	DIMENSION (M)	DIMENSION (M)	TOTAL (SQ.M.)
1	2.900	4.980	14.442
NET AREA			28.977



SIGNING AUTHORITY

FOR PRIMORIS REALTORS PVT. LTD.
 DESIGNATING PARTNER

ARCHITECT'S SIGN

FARHAD NATHANDEY
 B.ARC. A.I.I.A.
 ARCHITECT DA/9824901

SUBMISSION DRAWING

PROJECT:-
 PROPOSED GROUP HOUSING FOR
 2.1234375 ACRES (LICENCE NO86 OF 2019
 DATED 01.08.2019) FALLING IN THE REVENUE
 ESTATE OF VILLAGE ISLAMPUR, GURUGRAM
 MANASAR URBAN COMPLEX BEING DEVELOPED BY
 SH. KANWAR SAIN JAIN HUF KARTA & OTHERS
 IN COLABORATION WITH PRIMORIS REALTORSP L.L.P.

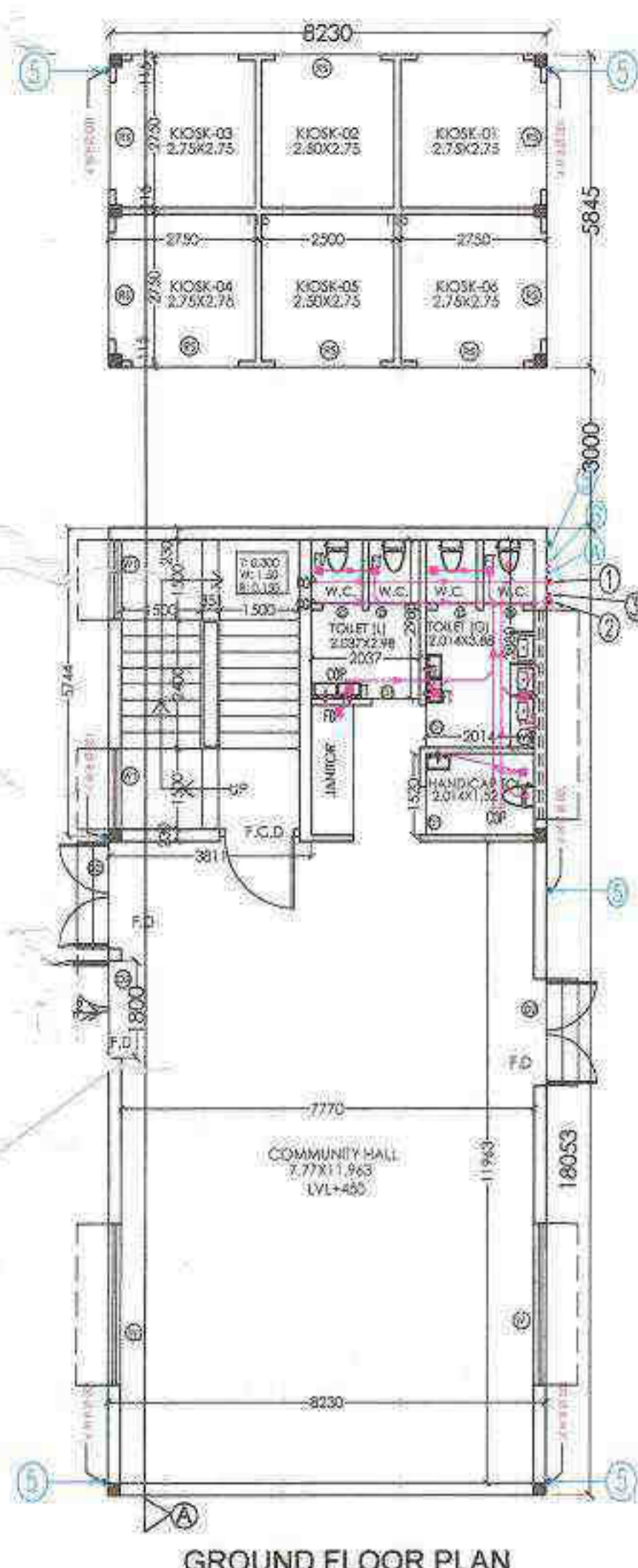
DRG. TITLE:-
 FLOOR PLAN, ELEVATION SECTION (E.W.S)

SCALE: 1:100 DRG. NO: 13

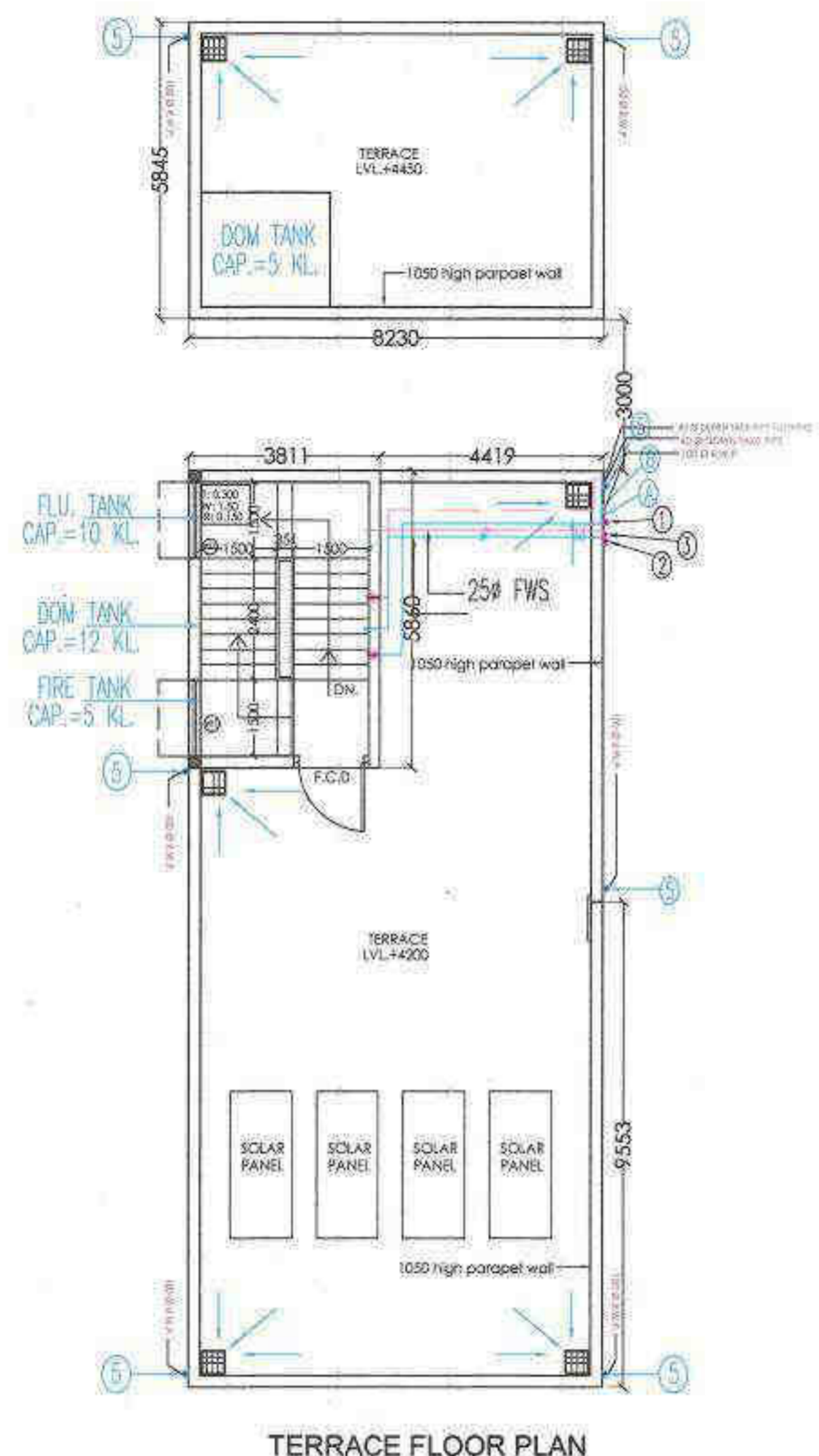
DATE: 18/12/2019

ARCHITECTS:-
 P. N. ANDLEY B.ARC. A.I.I.A.

ANDLEYS ASSOCIATES PVT. LTD.
 ARCHITECTS ENGINEERS PLANNERS
 89 HOUSING SOCIETY N.D.S.E.I. NEW DELHI - 110049



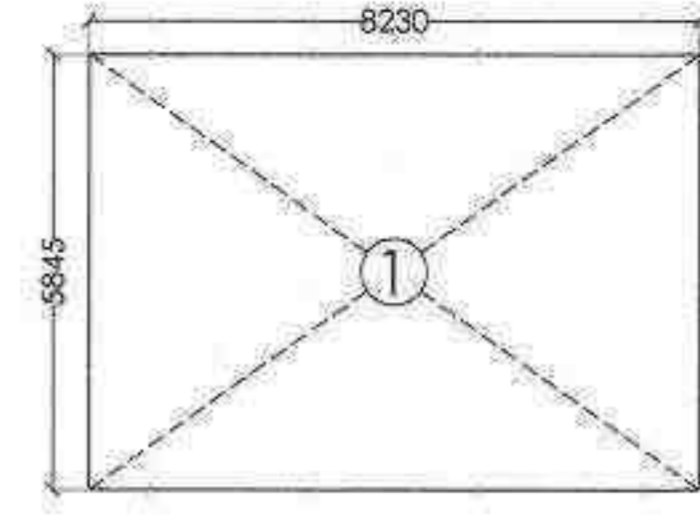
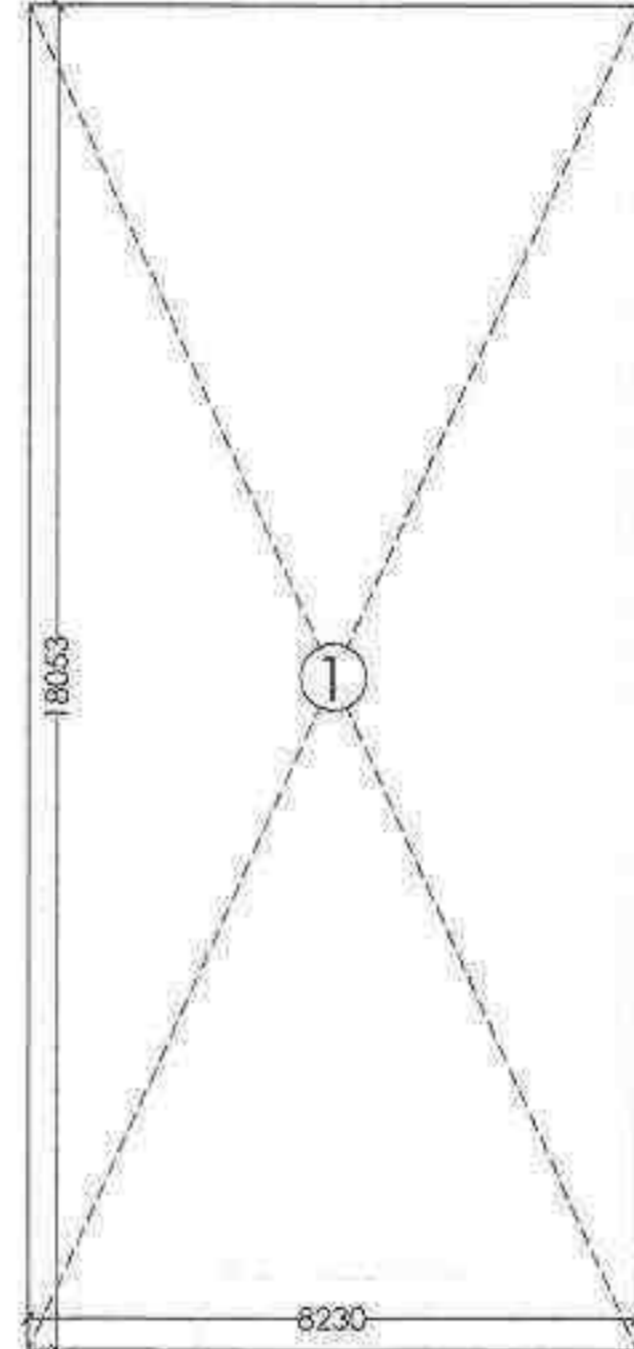
GROUND FLOOR PLAN



TERRACE FLOOR PLAN

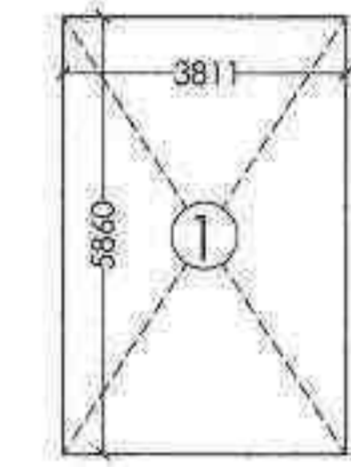
COMMUNITY AREA DETAIL AT GROUND FLOOR

1	8.230	X	18.053	=	148.576
TOTAL					148.576



COMMERCIAL AREA DETAIL AT GROUND FLOOR

1	8.230	X	5.845	=	48.104
TOTAL					48.104



MUMTY AREA DETAIL (NON FAR)

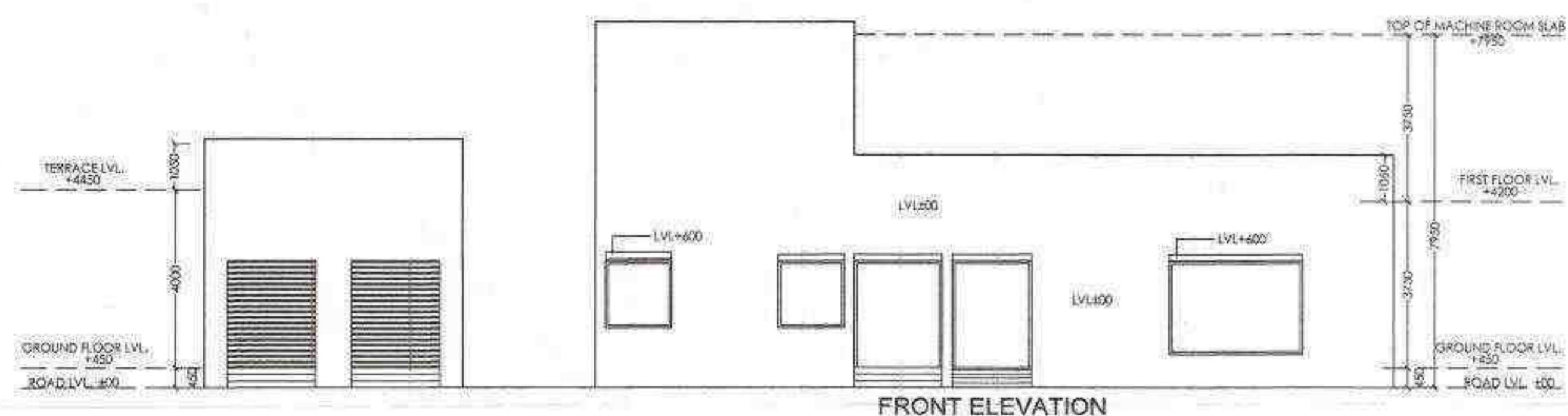
1	3.811	X	5.860	=	22.332
TOTAL AREA					22.332

SCHEDULE OF DOOR

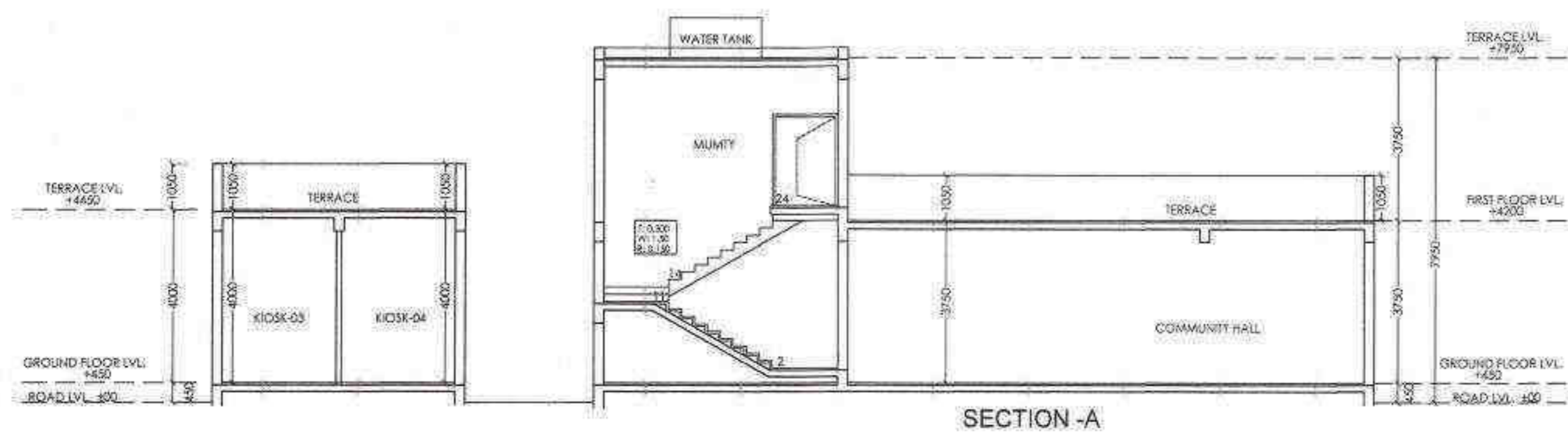
S.NO.	TYPE	SIZE	CILL. LVL.	LTL. LVL.
1	D	750 X 2100	-	2100
2	D1	900 X 2400	-	2400
3	D2	2000 X 2400	-	2400
4	D3	1800 X 2400	-	2400
5	W	3000 X 2100	300	2400
6	W1	1500 X 1200	1200	2400
7	W2	3900 X 600	1800	2400

FOR PRIMORIS REALTORS LLP
DESIGNATING PARTNER

ARCHITECT'S SIGN
FANJAU NATH ANDLEY
B.ARC, A.I.I.A.
ARCHITECT GAN/24608



FRONT ELEVATION



SECTION - A

- PLUMBING NOTES:-
- ALL PIPE DIAMETERS ARE IN MM.
 - THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 - SOIL WASTE & VENT PIPE WORK:- SOIL WASTE & VENT PIPES WORKS SHALL BE CARRIED OUT IN UPVC PIPES CLASS B SOLVENT CEMENT AND FITTINGS CONFORMING TO IS : 13392.
 - ALL HORIZONTAL SOIL AND WASTE PIPES SHALL BE LAD TO A SLOPE NOT FLATTER THAN 1:50 AND NOT STEEPER THAN 1:10 UNLESS SPECIFIED OTHERWISE.
 - WATER INLETS AND WASTE OUTLETS FROM SANITARY WARE SHALL BE ARRANGED TO SUIT REQUIREMENTS OF SELECTED MAKES & MODELS ALL STONWARE PIPES SHALL BE ENCASED IN 200MM THICK 1:5:10 CEMENT CONCRETE ALL AROUND.
 - FLOOR TRAPS:- ALL FLOOR TRAPS SHALL BE FORMED OF 100 X100 MM DIA 75 TRAP WITH 110 MM DIA UPVC PIPE EXTENSION PIECE FOR SIDE INLETS.
 - FLOOR DRAINS:- FLOOR DRAINS SHALL BE FORMED DIA 60 GRATING WITH FRAME.
 - WASTE PIPES:- ALL WASTE PIPE WORK FROM WASH BASINS, SINKS, URINALS AND URINAL POTS SHALL BE IN UPVC PIPES AND FITTING OF 80/CM.
 - ALL WATER SUPPLY PIPES IN TOILETS SHALL RUN AT CEILING LEVEL UNLESS SPECIFIED OTHERWISE. NO WATER SUPPLY SHALL BE BURIED IN THE TOILET FLOOR.
 - ALL WATER SUPPLY PIPE PROMISING AND TRUNG UPVC (CHLORINATED POLY VINYL CHLORIDE) PIPES WITH PPE MATERIAL AS PER ASTM D-1784 & PIPE DIMENSION AS PER ASTM F 4410/ASTM D 2846 COMPLETE WITH CPVC FITTINGS.

①	110mm OD UPVC SOIL & VENT PIPE
②	110mm OD UPVC WASTE & VENT PIPE
③	75 OD UPVC ANTI-SIPHONAGE PIPE
④	110 OD UPVC RAIN WATER PIPE FOR TERRACE
⑤	DOMESTIC WATER SUPPLY PIPE
⑥	FLUSHING WATER SUPPLY PIPE
⑦	FLOOR DRAIN
⑧	FLOOR TRAP
⑨	BALL VALVE / WATER FIT VALVE

- PLUMBING NOTE:-
- * WASH BASIN TO FLOOR TRAP 40 OD UPVC WASTE PIPE
 - * FLOOR DRAIN TO FLOOR TRAP 63 OD UPVC WASTE PIPE
 - * FLOOR TRAP TO VERTICAL WASTE STACK 110 OD UPVC WASTE PIPE
 - * WC TO VERTICAL SOIL STACK 110 OD UPVC SOIL PIPE
 - * URINAL TO URINAL TRAP 40 OD UPVC SOIL PIPE
 - * BALCONY DRAIN TO VERTICAL RAIN WATER PIPE 75 OD UPVC RWP PIPE

SIGNING AUTHORITY

FOR PRIMORIS REALTORS LLP
DESIGNATING PARTNER

ARCHITECT'S SIGN
FANJAU NATH ANDLEY
B.ARC, A.I.I.A.
ARCHITECT GAN/24608

SUBMISSION DRAWING

PROJECT:-
PROPOSED GROUP HOUSING FOR
2.1234375 ACRES (LICENCE NO86 OF 2019
DATED 01.08.2019) FALLING IN THE REVENUE
ESTATE OF VILLAGE ISLAMPUR, GURUGRAM
MANESAR URBAN COMPLEX BEING DEVELOPED BY
SH. KANWAR SAIN JAIN HUF KARTA & OTHERS
IN COLLABORATION WITH PRIMORIS REALTORS P.L.L.P.

DRG. TITLE:-
FLOOR PLAN (COMMERCIAL & COMMUNITY)

SCALE:-1:100

DRG. NO.:14

DATE:-18/12/2019

ARCHITECTS:-
P. N. ANDLEY B.ARC, A.I.I.A.

ANDLEYS ASSOCIATES PVT. LTD.
ARCHITECTS ENGINEERS PLANNERS
39 HOUSING SOCIETY N.D.S.E.-I NEW DELHI - 110049

FORM BR-III
(See Code 4.2 (4))
Form of Sanction

From:

Chief Town Planner, Haryana-cum-Chairman,
Building Plan Approval Committee,
O/o Director, Town & Country Planning Department, Haryana,
Nagar Yojana Bhavan, Plot No. 3, Block-A,
Sector-18-A, Madhya Marg, Chandigarh.
Tele-Fax: 0172-2548475; Tel.: 0172-2549851,
E-mail: tcpharyana7@gmail.com
Website www.tcpharyana.gov.in

To:

Sh. Kanwar Sain Jain HUF Karta & others
in collaboration with Primoris Realtors LLP,
379, Hanuman Mandir Market,
Munirka, New Delhi-110067.

Memo No. ZP-1383/SD(OA)/2020/ 14303 Dated:- 17-08-2020

Subject:

Approval of building plans of Group Housing Colony over an area measuring 2.1234375 acres (Licence No. 86 of 2019 dated 01.08.2019), Sector-33, Gurugram being developed by Sh. Kanwar Sain Jain HUF Karta and Others in collaboration with Primoris Realtors LLP.

Reference your letter dated 23.12.2019 for permission to erect the buildings in Group Housing Colony over an area measuring 2.1234375 acres (Licence No. 86 of 2019 dated 01.08.2019), Sector-33, Gurugram in accordance with the plans submitted with it.

Permission is hereby granted for the aforesaid construction subject to the provisions of the Punjab Scheduled Roads & Controlled Areas Restriction of Unregulated Development Act, 1963 and Haryana Building Code-2017 subject to the following amendments, terms and conditions:-

1. The plans are valid for a period of 2 years of the buildings less than 15.00 meters in height and 5 years for the multistoried buildings from the date of issuance of sanction, subject to validity of licenses granted for this scheme.
2. The structural responsibility of the construction shall be entirely of the Owner/ supervising Architect/ Engineer of the scheme.

Further that: -

- a) The building shall be constructed in accordance to the Structure Design submitted by you and as prepared by Structure Engineer and certified by Proof Consultant on prescribed FORM BR-V (AZ), as per the provisions of NBC and relevant IS- Code for all seismic load, all dead and live loads wind pressure and structural safety from earthquake of the intensity expected under Zone-IV.
- b) All material to be used for erection of building shall conform to I.S.I. and N.B.C. standards.

- c) No walls/ceiling shall be constructed of easily inflammable material and staircases shall be built of the fire resisting material as per standard specification.
- d) The roof slab of the basement external to the buildings if any shall be designed/ constructed to take the load of fire tender up to 45 tones.

3. FIRE SAFETY:

- (i) The colonizer and the Supervising Architect of the project shall be entirely responsible for making provisions of fire safety and fire-fighting measures and shall abide by all fire safety bye laws.
 - (ii) That you shall get approved the fire-fighting scheme in accordance with the section 15 of The Haryana Fire Safety Act, 2009 and directions issued by the Director, Haryana Fire Services, before starting the construction work at site.
4. No addition and alteration in the building plans/ layout plan shall be made without the prior approval of DTCP. Further only figured dimensions shall be followed and in case of any variation in the plans, prior approval of DTCP shall be pre-requisite.
 5. That you shall furnish the service plan/estimate of this scheme in accordance with approved building plans.
 6. Based on the actual estimated cost of internal development of the Group Housing Colony you shall furnish additional bank guarantee, if required, before approval of service plan estimates.
 7. The revenue Rasta if any passing through the site shall be kept unobstructed.
 8. If any infringement of byelaws remains unnoticed, the Department reserves the right to amend the plan as and when any such infringement comes to its notice after giving an opportunity of being heard and the Department shall stand indemnified against any claim on this account.
 9. The layout showing the electric installation shall have to be got approved from the Chief Electrical Inspector before execution of work at site.
 10. No person shall occupy or allow any other person to occupy any new building or part thereof for any purpose whatsoever until such building or part thereof has been certified by the Director or any person authorized by him in this behalf as having been completed in accordance with the permission granted and an occupation certificate in prescribed form has been duly issued in your favour.
 11. You shall apply for occupation certificate as per the provisions of Code 4.10 of the Haryana Building Code-2017 which shall be accompanied by certificates regarding completion of works described in the plans and it shall be accompanied by:
 - (i) Structural stability certificate duly signed by the recognized Architect & Structural Engineer.
 - (ii) A clearance from Fire Safety point of view from the competent authority.

12. The basement shall be used for parking and services as prescribed in the approved zoning plan and building plans. The parking lots shall form part of common areas along with other common uses or as provided, in the declaration to be filed under Apartment Ownership Act, 1983.
13. That you shall comply with the conditions laid down in the Memo No. 8416 dated 14.01.2020 of Superintending Engineer (HQ), HSVP, Panchkula (Copy enclosed).
14. That you shall comply with the conditions laid down in the Memo No. 2935 dated 15.01.2020 of Assistant Divisional Fire Officer (HQ), O/o Directorate of Fire Services ULB, Haryana, Panchkula (Copy enclosed).
15. GENERAL: -
 - (i) That the colonizer/owner shall obtain the clearance/NOC as per the provisions of the Notification No. S.O. 1533 (E) dated 14.9.2006 issued by Ministry of Environment and Forests, Government of India before starting the construction/execution of development works at site.
 - (ii) That the rain water harvesting system shall be provided as per Central Ground Water Authority norms/Haryana Govt. notification as applicable.
 - (iii) That the colonizer/owner shall use only Light-Emitting Diode lamps (LED) fitting for internal lighting as well as Campus lighting.
 - (iv) That the coloniser/owner shall ensure the installation of Solar Photovoltaic Power Plant as per the provisions of order No. 22/52/2005-5Power dated 21.03.2016 issued by Haryana Government Renewable Energy Department.
 - (v) That the coloniser/owner shall strictly comply with the directions issued vide Notification No. 19/6/2016-5P dated 31.03.2016 issued by Haryana Government Renewable Energy Department.
 - (vi) That you shall deposit the labour cess in future, time to time as per construction of work done at site.
 - (vii) That if any, site for Electric Sub Station is required, same will be provided by you in the colony.
 - (viii) That provision of parking shall be made within the area earmarked /designated for parking in the colony and no vehicle shall be allowed to park outside the premises.
 - (ix) You shall abide the terms and conditions of the undertaking/affidavit submitted in the office of Administrator, HSVP, Gurugram in compliance of order dated 16.07.2012 of the Hon'ble High Court and shall not extract groundwater for construction purposes.
 - (x) The responsibility of laying and maintaining (including quality and design etc.) of internal public health services shall be entirely of the owner/supervising architect/engineer of the scheme.

- (xi) That you shall follow provisions of section 46 of 'The Persons with Disabilities (Equal Opportunities, protection of Rights and full Participation) Act, 1995' which includes construction of Ramps in public buildings, adaption of toilets for wheel chair users; Braille symbols and auditory signals in elevators or lifts and other relevant measures for Hospitals, Primary Health Centre and other medical care and rehabilitation units.
 - (xii) That you shall submit electric service plan estimate for approval to concerned power utility under intimation to this office within 30 days from the issuance of this letter & get the electrical service plan estimates/power load requirement approved from the concerned power utility.
 - (xiii) That you shall not construct the building more than height of 30 mtr. without obtaining the NOC from AAI and shall submit the same to this office.
 - (xiv) That you shall not raise any construction under the influence zone of 66 KV HT line till the shifting of the same from the site.
 - (xv) That you shall demolish the temporary structure before starting of construction at site.
 - (xvi) That you shall obtained the NOC from Administrator, HSVP, Gurugram regarding carrying out the construction at site and submit the same to this office before starting of construction at site.
16. Environment: That you shall strictly comply with the directions of MOEF Guidelines, 2010 while raising construction. In addition, you shall comply with the instructions of Director, Town & Country Planning, Haryana, Chandigarh issued vide order dated 14.05.2015, available on the Departmental Website www.tcpharyana.gov.in at URL :https://tcpharyana.gov.in/Policy/Misc392%20OA%20No.%2021%20of%202014%20Vardhaman%20Kaushik%20Vs.%20UOI_ors.pdf in compliance of the orders dated 10.04.2015 passed by Hon'ble National Green Tribunal in OA No. 21 of 2014, which are as under:
- (i) You shall put tarpaulin on scaffolding around the area of construction and the building. You are also directed that you shall not store any construction material particularly sand on any part of the street/roads.
 - (ii) The construction material of any kind that is stored in the site will be fully covered in all respects so that it does not disperse in the Air in any form.
 - (iii) All the construction material and debris shall be carried in the trucks or other vehicles which are fully covered and protected so as to ensure that the construction debris or the construction material does not get dispersed into the air or atmosphere, in any form whatsoever.
 - (iv) The dust emissions from the construction site should be completely controlled and all precautions taken in that behalf.

- (v) The vehicles carrying construction material and construction debris of any kind should be cleaned before it is permitted to ply on the road after unloading of such material.
- (vi) Every worker working on the construction site and involved in loading, unloading and carriage of construction material and construction debris shall be provided with mask to prevent inhalation of dust particles.
- (vii) Every owner and or builder shall be under obligation to provide all medical help, investigation and treatment to the workers involved in the construction of building and carry of construction material and debris relatable to dust emission.
- (viii) It shall be the responsibility of every owner/builder to transport construction material and debris waste to construction site, dumping site or any other place in accordance with rules and in terms of Hon'ble NGT order dated 10.04.2015 referred above.
- (ix) All to take appropriate measures and to ensure that the terms and conditions of the Hon'ble NGT order dated 10.04.2015 referred above in OA No. 21 of 2014 and the earlier orders passed in said case should strictly comply with by fixing sprinklers, creations of green air barriers.
- (x) Compulsory use of wet jet in grinding and stone cutting.
- (xi) Wind breaking walls around construction site.
- (xii) That you shall ensure that least dust has emitted into air/atmosphere and all steps are taken to prevent the same.
- (xiii) That all the builders, who are building commercial, residential complexes which are covered under the EIA Notification of 2006, shall provide green belt around the building that they construct and compliance of the same shall be ensured prior to issuance of occupancy certificate. The width of green belt will be kept 1.5 meter along boundary wall within site, along periphery.
- (xiv) If any person, owner and or builder is found to be violating any of the conditions stated in this order and or for their non-compliance such person, owner, builder shall be liable to pay compensation of ₹ 50,000/- per default in relation to construction activity at its site and ₹ 5,000/- for each violation during carriage and transportation of construction material, debris through trucks or other vehicles, in terms of Section 15 of the NGT Act on the principle of Polluter Pay. Such action would be in addition not in derogation to the other action that the Authority made take against such builder, owner, person and transporter under the laws in force.
- (xv) All the owners/builders shall ensure that C & D waste is transported in terms of this order to the site in question only and due record in that behalf shall be maintained by the builders, transporters and NCR of Delhi.

(xvi) It is made clear that even if constructions have been started after seeking Environmental Clearance under the EIA notification 2006 and after taking other travel but is being carried out without taking the preventive and protective environmental steps as stated in above said order dated 10.04.2015 passed by NGT and MOEF guidelines, 2010, the State Government, SPCB and any officer of any Department as afore-stated shall be entitled to direct stoppage of work.

- 17. That you shall convey the ultimate power load requirement to the HVPN Department within a month from the issuance of this letter.
- 18. That you shall abide by the policies issued by the Department regarding allotment of EWS flats time to time.
- 19. That you will submit the soft copy of the approved building plans of this scheme within one week to this office from the issuance of this letter.

This sanction will be void abinitio, if any of the conditions mentioned above are not complied with.

DA/As above & One set of Building Plans



(Hitender Singh)
Architect(HQ)

For: Chief Town Planner, Haryana-cum-Chairman,
Building Plan Approval Committee,
Town & Country Planning Department,
Haryana, Chandigarh.

Endst. No. ZP-1383/SD(DK)/2020/_____ Dated:-_____

A copy is forwarded to the following for information:-

- 1. Haryana State Pollution Control Board, Panchkula with the request that the compliance of the instructions issued by NGT shall be monitored and strict compliance to be ensured.
- 2. MD, HVNL, Planning Directorate, Shakti Bhawan, Sector-6, Panchkula with request to assess the power utility site requirement as per ultimate power load requirement.
- 3. Administrator, HSVP, Gurugram.
- 4. Senior Town Planner, Gurugram.
- 5. Superintending Engineer (HQ) HSVP, Panchkula.
- 6. District Town Planner, Gurugram alongwith one set of approved building plan.
- 7. District Town Planner (Enf.), Gurugram.
- 8. Nodal Officer, Website Updation.
- 9. Fire Officer O/o Director, Urban Local Bodies, Haryana, Panchkula

Encl: as above



(Hitender Singh)
Architect(HQ)

For: Chief Town Planner, Haryana-cum-Chairman,
Building Plan Approval Committee,
Town & Country Planning Department,
Haryana, Chandigarh.