

308

Form LC-V
(See Rule 12)
Haryana Government
Town & Country Planning Department.

Licence No. 3 of 1987.

This licence has been granted under the Haryana Development and Regulation of Urban Areas Act, 1975, and the rules made thereunder to M/s Vee Dee Investment & Agencies Pvt. Ltd. resident of 21-22, Narindra Place, Parliament Street, New Delhi for setting up of a residential colony at village Natampur Tehsil and Distt. Gurgaon.

2. The particulars of land wherein the aforesaid colony is to be set up are given in the Schedule annexed hereto and duly signed by the Director, Town & Country Planning, Haryana.

3. The licence granted is subject to the conditions :-

- a) that the colony is laid out to conform to the approved layout plan and development works are executed according to the designs and specifications already approved for this area by this Department and in case there is any enhancement in the service plan estimates, the proportionat bank guarantee shall be deposited by the coloniser.
- b) that the conditions of the agreement already executed are duly fulfilled and the provisions of the Haryana Development and Regulation of Urban Areas, Act, 1975 and Rules made thereunder are duly complied with.
- c) that the demarcation plan of the colony area is submitted before starting the development works in the colony for approval of the zoning plan.
- d) The coloniser shall pay the scrutiny fee for the revision of layout plan as & when determined by the Director, Town and Country Planning, Haryana.
- e) The coloniser shall meet with the stipulated condition of EWS/LIG and No Profit No Loss category of plots within the licenced area, incase the coloniser fails to obtain the licence for the additional area within this colony.

4. The licence is valid upto 17.3.1989.

Dated 18.3.1987.

(R.N. PRASHER)
Director,
Town and Country Planning, Haryana,
Sector Chandigarh.

Endst.No.

SDP-87/3878-S/ Dated 18-3-87

A copy is forwarded to the following for information and necessary action:-

1. M/s Vee Dee Investment & Agencies Pvt. Ltd.
21-22, Narindra Place, Parliament Street, New Delhi.
2. The Chief Administrator, HUDA, Panchkula.
3. The Chief Engineer, HUDA, Panchkula.
4. The Distt. Town Planner, Gurgaon.

Attached

14/3/2001
District Town Planner (HQ)
Directorate of Town and Country Planning
Haryana, Chandigarh

Director,
Town & Country Planning Deptt.,
Sector Haryana, Chandigarh.

Vee Dee Investment & Agencies Private Limited 306

To be read with Licence No. 3 of 1987
dated 18.3.1987.

21-22, NARINDRA PLACE,
PARLIAMENT STREET,
NEW DELHI-110001

f. No.....

Dated.....19

Details of Land Phase III

Land at village	Khasra Nos.	Area B-B-B Pukhta	Area B-B-B Kham
Nathupur	375	1-10	
	430	3-9	
	436	1-6	
	427/1	0-6	
	149 min	<u>8-15</u>	
		15-6	
	1/15 share	1-08	3-1-4
-do-	353 min.	2-1	
	3/4 share	1-10 $\frac{1}{2}$	4-11-10
-do-	436	1-6	
	14/15 share	1-4	3-12
-do-	387	1-3	3-9
-do-	167	0-13	
	903/168	<u>1-7</u>	
		2-0	
	1/6 share	0-7	1-1
-do-	463	1-3	3-9
		<u> </u>	<u> </u>
	Total:	6-7-18	19-3-14

or say : 4 Acres

for Vee Dee Investment & Agencies (P) Ltd.,

[Signature]

(DIRECTOR)

[Signature]
(R. Anand)

Attested
[Signature]
14.3.2001.

District Town Planner (HQ)
District Office of Town and Country Planning
Haridwar, Chandigarh.

Vee Dee Investment & Agencies Private Limited 306

To be read with Licence No. 3 of 1987
dated 18.3.1987.

21-22, HARINDRA PLACE,
PARLIAMENT STREET,
NEW DELHI-110001

No.....

Dated.....19

Detail of Land.

Land at village	Khasra No.	Area in	Area in
		Pukhta	Kham
		B - B	B - B
Nathupur	354 min	4 - 16	
Dist. Gurgaon	355	0 - 2	
	360	0 - 6	
	349	0 - 3	
	348	0 - 9	
	352/1	0 - 12	
		<u>6 - 8</u>	19 - 4

or say 4 Acres.

[Signature]

Director.

Town and Country Planning
New Haryana, Chandigarh.

For Vee Dee Investment & Agencies (P) Ltd.

[Signature]
DIRECTOR
Mrs. (R. Anand)
Attorney

Attest to
[Signature]
14.3.2001
District Town and Country Planning
Chandigarh

305-

M/S VEE DEE INVESTMENT & AGENCIES PRIVATE LIMITED
21-22, NARINDRA PLACE,
PARLIAMENT STREET,
NEW DELHI.

To be read with Licence No.3 of 1987
dated 18.3.1987

Land at Village	Khasra No.	Area		Area	
		B	B (Pukhta)	B	B (Kham)
Nathupur	52	2	- 10		
Lyali Gungam	413	0	- 8		
		2	- 18	8	- 14
-do-	149 min	8	- 15		
	14/15 share	8	- $3\frac{1}{3}$	24	- 10
Total:-		11	- $1\frac{1}{3}$	33	- 4

or say to 6.91 acres

Total area 6.91 acres

[Handwritten signature]

Director, Town & Country Planning
Law Haryana, Chandigarh

for VEE DEE INVESTMENT AND AGENCIES
PRIVATE LIMITED

[Handwritten signature]
(DIRECTOR)
(R. K. Jindal)
Attorney

Attested
[Handwritten signature]
14.3.2001
District Town Planner (SO)
Directorate of Town & Country Planning
Haryana, Chandigarh

Revised Schedule of land for license no. 3 of 1987 issued to M/s Vee Dee Investment & Agencies Limited at Village Nathupur, Teh. & Distt. Gurgaon.

<u>Village</u>	<u>Khasra No.</u>	<u>Total Area B-B-B</u>	<u>Share</u>	<u>Area Taken B-B-B</u>
Nathupur	375	1-10		
	430	3-9		
	427/1	0-6		
		4-5	1/15	0-5
	353/1	2-1	3/4	1-10 1/2
	436	1-6		1-6
	149/1	8-15		8-15
	463	1-3		1-3
	✓52	✓2-10		2-10
	✓413/2	✓0-8		0-8
	354/1	4-16		4-16
	355	0-2		0-2
	360	0-6		0-6
	349	0-3		0-3
	348	0-9		0-9
	352/1	0-12		0-12
			Total	22-5 1/2 Pukhta or 13.92 ac.


 Director
 Town and Country Planning,
 Haryana, Chandigarh


1-12-89 (11)

Form LC-V
(See rule 12)
Haryana Government
Town and Country Planning Department.

Licence No. 20 of 1989

This licence has been granted under the Haryana Development and Regulation of Urban Areas Act, 1975 and the Rules made thereunder to M/s *Delli Land and Finance Ltd.* resident of 1-E, Jhandawalan Extension, New Delhi for setting up of residential colony at Village Chakarpur, Sikanderpur Ghosi Sarhaul, Sahapur, Dundahera, Nathupur, Tehsil and District Gurgaon.

2. The particulars of land wherein the aforesaid colony is to be set up are given in the Schedule annexed hereto and duly signed by the Director, Town and Country Planning, Haryana, Chandigarh.

3. The licence granted is subject to the conditions:-
- a) that the colony is laid out to conform to the approved layout plan and development works are executed according to the designs and specifications shown in the approved plan accompanying this licence.
 - b) that the conditions of the agreement already executed are duly fulfilled and the provisions of the Haryana Development and Regulation of Urban Areas Act, 1975 and Rules made thereunder are duly complied with.
 - c) that the demarcation plan of the colony area is submitted before starting the development works in the colony for approval of the zoning plan.

4. The licence is valid upto 1-12-1991

Dated: Chandigarh
the 2-12-89

(R.K. Singh)
Director,
Town and Country Planning,
Haryana, Chandigarh.

Endst.No. 5IP-89/ 18489 - 92 Dated 6/12/89

A copy is forwarded to the following for information and necessary action:-

- 1. M/s *Delli Land and Finance Ltd*
1-E Jhandawalan Extension, New Delhi.
- 2. The Chief Administrator, HUDA, Bahimajra, U.T. Chandigarh.
- 3. The Chief Engineer, HUDA, Panchkula.
- 4. The District Town Planner, Gurgaon.

Director,
Town and Country Planning,
Haryana, Chandigarh.

Form LC-V
(See rule 12)

Haryana Government
Town and Country Planning Department.

Licence No. 22 of 1989

This licence has been granted under the Haryana Development and Regulation of Urban Areas Act, 1975 and the Rules made thereunder to M/s *Kevicon Agro Farming Co. Ltd* resident of 1-E, Jhandawalan Extension, New Delhi for setting up of residential colony at Village Chakarpur, Sikanderpur Ghosi Sarhaul, Sahapur, Dundhahera, Nathupur, Tehsil and District Gurgaon.

2. The particulars of land wherein the aforesaid colony is to be set up are given in the Schedule annexed hereto and duly signed by the Director, Town and Country Planning, Haryana, Chandigarh.

3. The licence granted is subject to the conditions:-
- a) that the colony is laid out to conform to the approved layout plan and development works are executed according to the designs and specifications shown in the approved plan accompanying this licence.
 - b) that the conditions of the agreement already executed are duly fulfilled and the provisions of the Haryana Development and Regulation of Urban Areas Act, 1975 and Rules made thereunder are duly complied with.
 - c) that the demarcation plan of the colony area is submitted before starting the development works in the colony for approval of the zoning plan.

4. The licence is valid upto 1-12-1991

Dated: Chandigarh
the 2-12-89

(R.K. Singh)
Director,
Town and Country Planning,
Haryana, Chandigarh.

Endst.No. SIP-89/18505-508

Dated 6-12-89

A copy is forwarded to the following for information and necessary action:-

- 1. ✓ M/s *Kevicon Agro Farming Co. Ltd*
1-E Jhandawalan Extension, New Delhi.
- 2. The Chief Administrator, HUDA, Manimajra, U.T. Chandigarh.
- 3. The Chief Engineer, HUDA, Panchkula.
- 4. The District Town Planner, Gurgaon.

Am
Director,
Town and Country Planning,
Haryana, Chandigarh.

22/89

III

To be read with Licence No. 22 of 1989

Details of land of M/s. Kavicon Agro Farming Company Pvt. Ltd.

<u>Land at village</u>	<u>Khasra Nos.</u>	<u>Area</u> <u>B-B-B</u>
Nathupur	126	5-0-0
	127/1	1-16-11
	127/2	4-16-15
	127/3	3-12-13
	732	2-7-0
	733	7-4-0
	109 min	0-15-10
		<u>25-12-9</u>

or say : 16.01 Acres

for
for
for

FORM LC-V
(See Rule 12)
HARYANA GOVERNMENT
TOWN AND COUNTRY PLANNING DEPARTMENT

Licence No. 36 of 2004

1. This licence has been granted under the Haryana Development & Regulation of Urban Areas Act, 1975 & the Rules, 1976 made thereunder to M/s DLF Universal Limited, DLF Centre, Sansad Marg, New Delhi, for setting up of a Residential colony at village Nathupur & Shahpur, District Gurgaon.
2. The particulars of land wherein the aforesaid colony is to be set up are given in the Schedule annexed hereto and duly signed by the Director, Town & Country Planning, Haryana.
3. The licence is granted subject to the following conditions: -
 - a) That the residential colony is laid out to conform to the approved layout plan and development works are executed according to the designs and specifications shown in the approved plan.
 - b) That the conditions of the agreement already executed are duly fulfilled and the provisions of Haryana Development & Regulation of Urban Areas Act, 1975 & the Rules, 1976 made thereunder are duly complied with.
 - c) That the demarcation plan of the colony is submitted before starting the development works in the colony and for approval of the zoning plan.
 - d) The EDC rates are under review and are likely to be finalized soon; in the event of increase in EDC rates the licensee shall pay the enhanced rate of EDC and the interest on installments, if any from the date of grant of licence. The proportionate additional bank Guarantee on additional EDC amount shall also be furnished by the licensee.
4. That the portion of Sector/Master Plan road which shall form part of the licenced area, shall be transferred free of cost to the Government in accordance with Section 3(3)(a)(iii) of the Haryana Development & Regulation of Urban Areas Act, 1975.
5. This licence is valid upto 30-3-2006.

Dated Chandigarh
the 31-3-2004.

bcw
(N C WADHWA)
Director, Town & Country Planning,
Haryana, Chandigarh.

Endst. No. 5DP(III)-2004/ 4700

Dated: 2-4-2004

A copy alongwith a copy of schedule of land is forwarded to the following for information and necessary action: -

- ✓ 1. M/s DLF Universal Limited, DLF Centre, Sansad Marg, New Delhi-110001, alongwith copy of agreement.
2. Chief Administrator, HUDA, Panchkula, alongwith copy of agreement.
3. Addl. Director, Urban Estate, Haryana, Panchkula;
4. Chief Engineer, HUDA, Panchkula;
5. Superintending Engineer, HUDA, Gurgaon, alongwith copy of agreement.
6. Land Acquisition Officer, Gurgaon.
7. Senior Town Planner, Gurgaon, alongwith copy of agreement.
8. Senior Town Planner (Enforcement), Chandigarh;
9. District Town Planner, Gurgaon, alongwith copy of agreement and
10. Accounts Officer, O/O DTCP, Haryana, Chandigarh alongwith copy of agreement.

DA/As above

JS
District Town Planner (HQ) JS,
For Director, Town & Country Planning,
Haryana, Chandigarh.

36/043-1303

TO BE READ WITH LICENCE NO. 36 OF 2004

**DETAILS OF LAND OF M/S DLF UNIVERSAL LIMITED
AT VILLAGE NATHUPUR & SHAHPUR, TEH. & DISTT. GURGAON.**

Village	Khasra No.	Area B-B-B
Nathupur	19	0-11-0
	20	0-7-0
	465	0-10-0
	738	0-13-0
	739/2	0-5-10
	814/3	0-16-0
	739/1	0-5-10
Total :		3-8-0
		Or Say 2.125 Acres

Village	Rect. No.	Killa No.	Area K-M
Shahpur	11	25/2/2	2-0
	12	11/2	0-15
		Total	2-15
			or Say 0.344 Acres
		G.T.	2.469 Acres

Director
Town and Country Planning
Gurgaon
CHANDAN

(FORM LC V)
(SEE RULE 12)

HARYANA GOVERNMENT
TOWN AND COUNTRY PLANNING DEPARTMENT

LICENCE NO. 37. OF 1983

This licence has been granted under the Haryana Development and Regulation of Urban Areas Act, 1975, and the Rules made thereunder to ~~Sh. Kamal Neel Jain~~ ^{Sh. Kamal Neel Jain} of ~~Sh. Mohinder Kumar~~ ^{Sh. Mohinder Kumar} resident of ~~21-22 Mohinder Place~~ ^{D-2, D Green Park}, New Delhi for setting up of residential colony at Village Nathupur teh. Gurgaon and District Gurgaon.

2. The particulars of land wherein the aforesaid colony is to be set up are given in the Schedule annexed hereto and duly signed by the Joint Director, Town and Country Planning Department, Haryana, Chandigarh.

3. The licence is granted subject to the following conditions:-

- a) that the colony is laid out to conform to the approved layout plan and development works are executed according to the designs and specifications shown in the approval plan accompanying this licence
- b) that the conditions of the agreement already executed are duly fulfilled and the provisions of the Haryana Development and Regulation of Urban Areas Act, 1975 and the rules made thereunder are duly complied with.
- c) that the demarcation plan of the colony area is submitted before starting the development works in the colony for approval of the zoning plan.

4. The licence is valid up to 6th October, 1985.

Dated Chandigarh.

7-10-83

Encls. No.

DA-37/15038

Rajinder Singh,
Director,
Town and Country Planning Department.

Dated 7/10/83

A copy is forwarded to the following for information and necessary action:-

1. Kamal Neel Jain of Sh. Mohinder Kumar D-2 Green Park, N. Delhi.
2. The Chief Engineer, HUDA, Panchkula
1. The Senior Town Planner, Gurgaon.

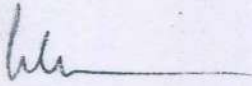
Joint Director,
for Director, Town and Country Planning
Department, Haryana, Chandigarh.

DETAILS OF LAND KUMARI NEERU JAIN D/O. SHRI MOHENDER KUMAR, R/O. D-14 GREEN PARK, NEW DELHI.

<u>Land at village</u>	<u>Khasra Nos.</u>	<u>Area</u> <u>Bigha-Biswa</u>	<u>Total Area</u>
Nathu Pur	701	1 - 1	22 - 17
	710	0 - 09	
	730	1 - 06	
	731	0 - 07	
	688	2 - 04	
	707	8 - 06	
	734	1 - 01	
	694 Part	2 - 01	
	703	0 - 12	
	705	1 - 02	
	706	1 - 05	
	695 Part	2 - 10	
	704	0 - 13	
		<u>22 - 17</u> Pukhta	

or say 68 - 11 Kham

or say 14.28 Acres.


 Joint Director,
 Town & Country Planning
 Harrow, Chandigarh.

Neeru Jain
 Neeru
 (KUMARI NEERU JAIN)

FORM LC V
(See Rule 12)

HARYANA GOVERNMENT
Town and Country Planning Department

Licence No. 43 of 1983

This licence has been granted under the Haryana Development and Regulation of Urban Areas Act, 1975, and the Rules made thereunder to ~~Shri~~/Messers Belhi Land and Finance Ltd. resident of 21-22 Narinder Place New Delhi for setting up of residential colony at Village Nathupur Teh. Gurgaon and District Gurgaon.

2. The particulars of land wherein the aforesaid colony is to be set up are given in the schedule annexed hereto and duly signed by the Joint Director, Town and Country Planning Department Haryana, Chandigarh.

3. The licence granted is subject to the following conditions:-

- a) that the colony is laid out to conform to the approved layout plans and development works are executed according to the designs and specifications shown in in the approved plan accompanying this licence;
- b) that the conditions of the agreement already executed are duly fulfilled and the provisions of the Haryana Development and Regulations of Urban Areas Act, 1975 and the rules made thereunder are duly complied with.
- c) that the demarcation plan of the colony area is submitted before starting the Development works in the colony for approval of the zoning plan.

4. The licence is valid upto 6th October, 1985

Dated Chandigarh,
7-10-83.

Rajinder Singh
Director,
Town and Country Planning Department

Endst. No.

SDP-83/15056

Dated 7/10/83

8 A copy is forwarded to the following for information and necessary action:

1. M/s. Belhi Land and Finance Ltd. 21-22, Narinder, Place N. Delh.
along with approved estimate.
2. The Chief Engineer, HUDA, Panchkula
3. The Senior Town Planner, Gurgaon.

P.A. as above

Wu
Joint Director,
for Director, Town and Country
Planning Department, Haryana.

Delhi Land and Finance Limited

Regd. Office : 21-22, Narindra Place, Parliament Street,
New Delhi-110 001.

REF. NO.....

DATED.....

DETAILS OF LAND OF M/S. DELHI LAND AND FINANCE LIMITED.

Land at village	Khasra Nos.	Area Bigha-Biswa	
Nathu Pur	✓ 716	1 - 04	
	✓ 717	1 - 03	
	✓ 724	1 - 03	
	✓ 700	1 - 04	
	✓ 715	1 - 15	
	✓ 723	1 - 18	
	✓ 795	1 - 12	
		9 - 19	Pukhta
	✓ 714	5 - 19	
	✓ 725	3 - 01	
	✓ 817	1 - 09	
	✓ 818	7 - 09	
		17 - 18	Pukhta
	✓ 737	1 - 05	
	✓ 742	0 - 13	
	1 - 18	Pukhta	
✓ 806/1	0 - 05		
✓ 806/3	4 - 19		
	5 - 04	Pukhta	
Grand Total :		34 - 19 Pukhta	
		or : 104 - 17 Kham	
		or say : 21.73 Acres.	

[Signature]
 Joint Director,
 For Delhi Land & Finance Limited
 New Delhi

For DELHI LAND & FINANCE LIMITED.

[Signature]
 (DIRECTOR)

Delhi Land and Finance Limited

Regd. Office : 21-22, Narindra Place, Parliament Street,
New Delhi-110 001.

REF. NO.....

DATED.....

DETAILS OF LAND OF M/S. DELHI LAND AND FINANCE LIMITED.

Name of village	Khacra Nos.	Area
Natha pur	702 702	1 - 03 1 - 03 Puhita
Natha pur	703	1 - 13 Puhita
Natha pur	709	2 - 08 Puhita
Natha pur	711	1 - 12 Puhita
		6 - 16 Puhita or 20 - 8 Bhan

Grand Total : 9 - 05 Puhita
or 27 - 15 Bhan
or say 4.63 acres.

[Handwritten signature]

For Delhi Land and Finance Limited.

[Handwritten signature]
(DIRECTOR)

प्रेषक

निदेशक
नगर तथा ग्राम आयोजना विभाग,
हरियाणा, चण्डीगढ़ ।

सेवा में

✓ मै० डी० ए०
दिल्ली लेण्ड रीण्ड फाईनान्स,
21-22 नरेन्द्रा प्लेस, नई दिल्ली ।

यादी क्रमांक 12231-5 डीपी-83/155-81
दिनांक 20-10-83

विषय: ग्राम नत्थार में विकसित की जा रही रिहायशी कालोनी के सम्बन्ध में ।

===

उपरोक्त विषय पर आपके पत्र क्रमांक कुतूब/एन/83 दिनांक 8.10.83 के संदर्भ में ।

2- इस कार्यालय द्वारा आपको जारी किए गए लाइसेन्स नम्बर 43 के साथ भेजे गए श्रौडयूल के खतरा नम्बर का अध्ययन करने से पाया गया है कि खतरा नम्बर 718, 719, 726, 796, 721, 722, 799, 800, 820 इस विभाग द्वारा अनुमोदित के-आउट प्लेन से बाहर पड़ते हैं इसलिए उल्लेखित लाइसेन्स नम्बर 43 के साथ भेजे गए भूमि के श्रौडयूल को सलरन श्रौडयूल के साथ रि-प्लेस कर दिया जाए ।

kh

सलरन/उपरोक्त

संयुक्त निदेशक
कृते: निदेशक, नगर तथा ग्राम आयोजना विभाग
हरियाणा, चण्डीगढ़ ।

पू० क्रमांक 12231-5 डीपी-83/

दिनांक :

एक प्रति मुख्य अभियन्ता, हरियाणा शहरी विकास प्राधिकरण, पंचकुला तथा वरिष्ठ नगर योजनाकार, गुडगांव को इस कार्यालय के पू० क्रमांक 5 डीपी-83/15056-83 दिनांक 7.10.83 के संदर्भ में सूचना/आवश्यक कार्यवाही हेतु प्रेषित की जाती है ।

संयुक्त निदेशक
कृते: निदेशक, नगर तथा ग्राम आयोजना विभाग
हरियाणा, चण्डीगढ़ ।

95/84

FORM LC -V

(See rule 12)
Haryana Government

Town and Country Planning Department

Licence No. 95 9 1984

This licence has been granted under the Haryana Development and Regulation of Urban Areas Act, 1975, and the rules made thereunder M/s Apollo Land and Housing Co. Pvt. Ltd. resident of 21-22 Narindra Place, Parliament Street, New Delhi for setting up a residential colony at Nathpalli Tehsil Gurgaon and District Gurgaon.

2. The particulars of land wherein the aforesaid colony is to be set up are given in the Schedule annexed hereto and duly signed by the Director, Town and Country Planning, Haryana.

3. The licence granted is subject to the conditions:-

- a) that the colony is laid out to conform to the approved layout plans and development works are executed according to the designs and specifications shown in the approved plan accompanying this licence
- b) that the conditions of the agreement already executed are duly fulfilled and the provisions of the Haryana Development and Regulation of Urban areas Act, 1975 and Rules made thereunder are duly complied with.
- c) that the demarcation plan of the colony area is submitted before starting the development works in the colony for approval of the zoning plan.

4. The licence is valid upto 15-5-86

Dated

(G. Madhavan)
Director,
Town and Country Planning
Haryana, Chandigarh.

Enst. No. SDP-84/ 8136

Dated 17/5/84

A copy is forwarded to the following for information and necessary action:-

- 1. M/s Apollo Land and Housing Co. Pvt. Ltd., 21-22 N. Place, New Delhi
- 2. Chief Engineer, Haryana Urban Development Authority, Panchkula.
- 3. Senior Town Planner, Gurgaon.

[Signature]
Director,
Town and Country Planning, Hr.
[Signature]

Apollo Land & Housing Company Pvt. Ltd.

22, NARINDRA PLACE,
PARLIAMENT STREET,
NEW DELHI - 110001.

Please Quote

Dated

DETAILS OF LAND OF M/S APOLLO LAND & HOUSING COMPANY PRIVATE LIMITED.

<u>Land at Village</u>	<u>Khasra Nos.</u>	<u>Area</u> <u>B. E. pulhita</u>	<u>Area</u> <u>B. L. kham</u>
Kathupur	728	0 - 2	
	729	<u>1 - 8</u>	
		1 - 10	4 - 10
-do-	793	1 - 5	3 - 15
-do-	698	0 - 16	2 - 8
-do-	800/1	0 - 07	
	801	0 - 04	
	802	<u>4 - 04</u>	
		4 - 15	14 - 5
-do-	35min	2 - 4	
	1/3 share	0 - 15	2 - 5
-do-	34 min	6 - 9	19 - 7
-do-	32 min	2 - 0	6 - 0
-do-	33 min	2 - 13	7 - 19
-do-	491	2 - 5	13 - 4
	913/495	<u>2 - 7</u>	
		5 - 12	
	11/14 share	4 - 8	

S. S. S.
Director,
Town and Country Planning Haryana
Chandigarh. *SS*

[Signature]

95/94

Apollo Land & Housing Company, Pvt. Ltd.

22, NARINDRA PLACE,
PARLIAMENT STREET,
NEW DELHI - 110001.

Please Quote

Dated

: 2 :

<u>Land at Village</u>	<u>Khasra Nos.</u>	<u>Area</u> B. B. pukka	<u>Area</u> B. B. kham
Nathupur	36	4 - 18	14 - 14
-do-	660	0 - 10	
	663	<u>2 - 06</u>	8 - 8
Total:		32 - 05	96 - 15

or say: 20.18 acres

[Signature]
Director,
Town and Country Planning Haryana
Chandigarh.

for Apollo Land & Housing Company Pvt. Ltd.,

[Signature]

DIRECTOR.

FORM LC-IV

(See rule 12)

Haryana Government

Town and Country Planning Department

Licence No. 109 of 1984

This licence has been granted under the Haryana Development and Regulation of Urban Areas Act, 1975, and the rules made thereunder by M/s. O.P. Universal Ltd.

resident of 21-22 Narindra Place, Parliament Street, New Delhi for setting up a residential colony at Naraina

Tehsil 7 and District Gurgaon.

2. The particulars of land wherein the aforesaid colony is to be set up are given in the Schedule annexed hereto and duly signed by the Director, Town and Country Planning, Haryana.

3. The licence granted is subject to the conditions:-

a) that the colony is laid out to conform to the approved layout plans and development works are executed according to the designs and specifications shown in the approved plan accompanying this licence

b) that the conditions of the agreement already executed are duly fulfilled and the provisions of the Haryana Development and Regulation of Urban areas Act, 1975 and Rules made thereunder are duly complied with.

c) that the demarcation plan of the colony area is submitted before starting the development works in the colony for approval of the zoning plan.

4. The Licence is valid upto 12.9.86.

Dated

(G. Madhavan)

Director,

Town and Country Planning
Haryana, Chandigarh

Exst. No. SLP-84/13937

Dated 18/9/84

A copy is forwarded to the following for information and necessary action:-

1. M/s. O.P. Universal Ltd., 21-22 Narindra Place, New Delhi

2. Chief Engineer, Haryana Urban Development Authority, Panipat.

3. Senior Town Planner, Gurgaon.

Director,

Town and Country Planning, Haryana

Shiv

109/1984

DLF UNIVERSAL LIMITED

21-22 NARINDRA PLACE,
 PARLIAMENT STREET, NEW DELHI 110
 PHONES : 322583, 322682, 322835, 322
 TLX : ND : 031-3826, CABLE : HOMELY

DETAILS OF LAND OF M/S. DLF UNIVERSAL LTD.

Land at village	Khasra Nos.	Area (Pukhta) Bigha-Biswa	Area (Kham) Bigha-Biswa
Nathupur	823 Part	1 - 0	3 - 0
- do -	676	0 - 09	
	677	0 - 19	
	678	1 - 03	
	679 Part	1 - 0	
	673	1 - 08	
	674	1 - 05	
	654	0 - 01	
	662	1 - 04	
	661	0 - 09	
		7 - 16	23 - 08
- do -	694 Part	1 - 0	
	695 Part	0 - 09	
		1 - 09	4 - 07
- do -	517 Part	0 - 06	
	639	0 - 19	
		1 - 15	3 - 05
- do -	627	1 - 0	3 - 0
- do -	627 Min	0 - 04	
	628	0 - 11	
	629	1 - 17	
		2 - 12	7 - 10
- do -	626	1 - 05	
	625	1 - 03	
		2 - 08	
	1884/2016 share	2 - 05	0 - 15

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 Director,
 Town and Country Planning Haryana Ltd., Chandigarh.



109/84
109/1984

DLF UNIVERSAL LIMITED

21-22 NARINDRA PLACE,
PARLIAMENT STREET, NEW DELHI - 110001
PHONES : 322563, 322682, 322835, 322930
TLX : ND : 031-3826, CABLE : HOMELY

: 2 :

Details of land of M/s. DLF Universal Ltd.

Land at Village	Khasra Nos.	Area (Pukhta)	
		Bi ha-Biswa	Bi ha - Biswa
Mathupur	681	4 - 07	
	14/15 share	4 - 01	12 - 03
- do -	506	0 - 12	
	507	0 - 14	
		1 - 06	
	14/15 share	1 - 0	- 0
- do -	880	2-12	7 - 15
	TOTAL :	25 - 10	7 - 11

Sud
Director,
Town and Country Planning Haryana
Chandigarh. *Sud*

or by 10/04/84

FOR DLF UNIVERSAL LIMITED

10/04/84
(Signature)
10

FORM LC V
(See rule 12)
HARYANA GOVERNMENT
TOWN AND COUNTRY PLANNING DEPARTMENT.

LICENCE NO. 1189/1984

This licence has been granted under the Haryana Development and Regulation of Urban Areas Act, 1975 and the Rules made thereunder to M/s D.L.F. Universal Limited, 21-22, Narindra Place, Parliament street, New Delhi for setting up of residential Colony at Village Nathupur Teh. and District Gurgaon.

2. The particulars of land wherein the aforesaid colony is to be set up are given in the Schedule annexed hereto and duly signed by the Director, Town and Country Planning, Haryana.

3. The licence granted is subject to the conditions:-

- a) that the colony is laid out to conform to the approved layout plan and development works are executed according to the designs and specifications shown in the approved plan accompanying this licence;
- b) that the conditions of the agreement already executed are duly fulfilled and the provisions of the Haryana Development and Regulation of Urban Areas Act, 1975 and the rules made thereunder are duly complied with;
- c) that the demarcation plan of the colony area is submitted before starting the development works in the colony for approval of the zoning plan.

4. The licence is valid upto 2.12.86

Dated 3.12.84.

(G. Madhavan,
Director,
Town and Country Pl
Haryana, Chandig.

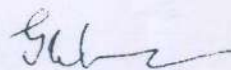
Endst.No.

5DP-84/17278

Dated 5/12/84

A copy is forwarded to the following for information and necessary action:-

1. M/s D.L.F. Universal Ltd., 21-22 Narindra Place, Parliament Street, New Delhi.
2. The Chief Administrator, HUDA, Chandigarh.
3. The Chief Engineer, HUDA, Panchkula.
4. The Senior Town Planner, Gurgaon.


Director,
Town and Country Planning,
Haryana, Chandigarh.

DLF UNIVERSAL LIMITED

118/1984

21-22, NARINDRA PLACE,
PARLIAMENT STREET, NEW DELHI-110001
PHONE: 322683
TELEX: ND 031-3826 CABLE: HOMELY

DETAILS OF LAND OF M/S DLF UNIVERSAL LIMITED

Land at Village	Khasra Nos.	Area (Pukhta)		Area (Kham)	
		Bigha	Biswa	Bigha	Biswa
Nathupur	659	0	11		
	620	1	04		
	657 Min	0	16		
		2	11	7	13
Nathupur	640/2	2	11	7	13
-do-	658	0	05	0	15
-do-	506	0	12		
	507	0	14		
		1	06		
	3/14 Share	0	5 1/2	0	16 1/2
	Total:	6	2 1/2	18	7 1/2
	or say:	3.82 Acres.			

For DLF UNIVERSAL LIMITED,


DIRECTOR,

Urban and Country Planning Haryana (MANAGING DIRECTOR)
Chandigarh.



Regd. Office : Model Town, Faridabad Haryana 121002