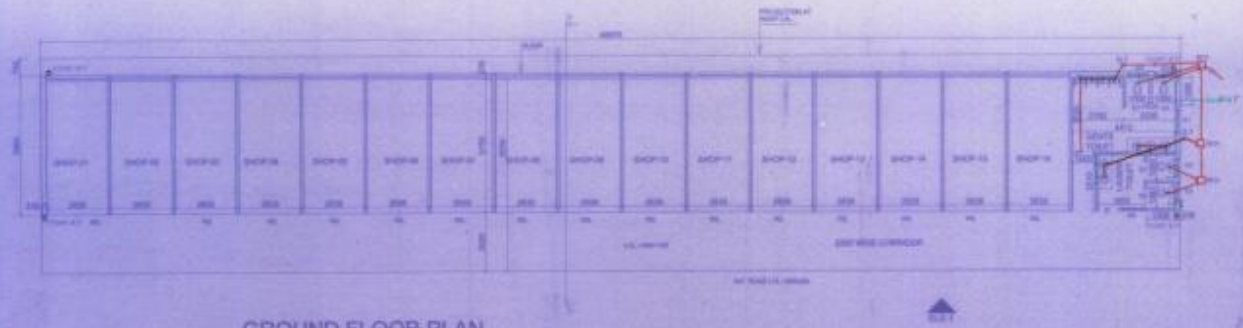
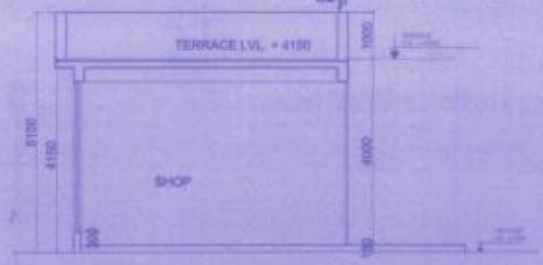
SANCTIONED



GROUND FLOOR PLAN



SECTION = A-A

TERRACE PLAN

AREA DETAILS

F.A.R = 48870 X 5960 = 291.27 SQMT

GROUND COVERAGE = 291.27 SQMT

ELEVATION-1

LEGEND

S. No.	SIZE	#
1	WP	100 #
2	IP	75 #
3	W	100 #
4	PWP	100 #

DOOR / WINDOW SCHEDULE

S.NO.	TYPE	WIDTH	HEIGHT
1	D	900	2100
2	D1	750	2100
3	V1	1500	2300
4	V2	900	2300
5	V3	750	2300

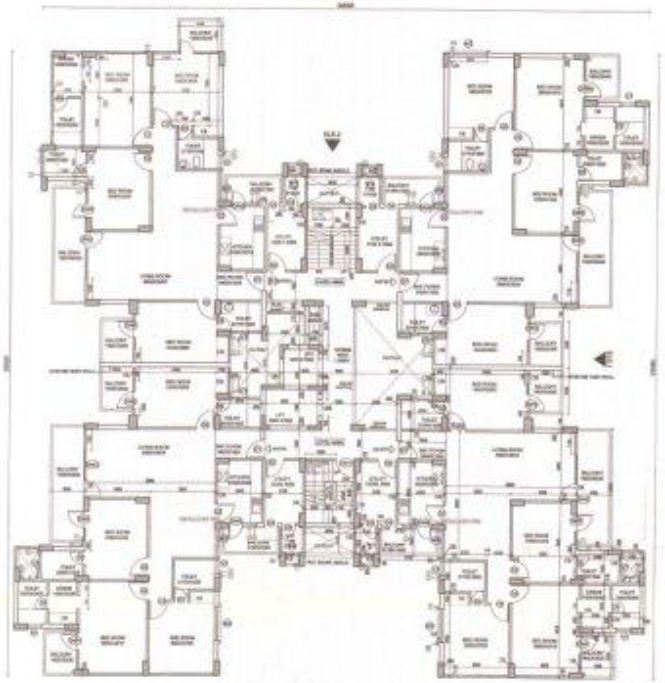
NOTE:
TO ALL WALLS ARE TO EXCEPT WITTEN OTHERWISE
TO ALL SHAFT AREA TO BE

PROJECT TITLE	DRAWING TITLE	SCALE	NTS		DRG. NO.	ARCHITECT
PROPOSED GROUP HOUSING FOR TULIP INFRATECH PVT. LTD. AT SECTOR-69, GURGAON	SUBIMISSION DRAWING PLAN, ELEVATION, & SECTION SHOPPING	DATE	NOV. 2009		S-04	GOEL ASSOCIATES ARCHITECTS ENGINEERS AND PLANNERS
		DEALT		CHECKED VG		

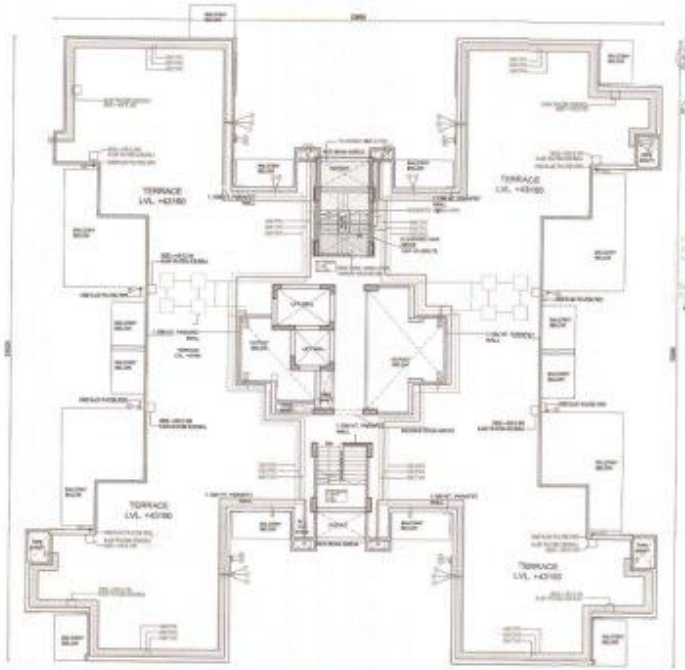
SANCTIONED

To be read in conjunction with
Memo No. 21930 Dt. 22.02.2012

S- 13



TYPICAL
2nd TO 11th FLOOR PLAN

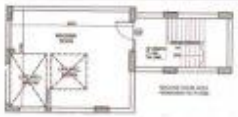


TERRACE PLAN

DOOR/WINDOW SCHEDULE (SUPER FLOOR)						
SL.	TYPE	SIZE				REMARKS
1	D1	1200X2100			2100	MAIN ENTRY
2	D2	1000X2100			2100	WC DOOR
3	D3	1000X2100			2100	TOILET
4	D4	1000X2100			2100	LOBBY
5	D5	1000X2100			2100	STAIRCASE
6	D6	1000X2100			2100	ENTRANCE
7	D7	1000X2100			2100	LIFTS/ENTRANCE
8	D8	1000X2100			2100	WC DOOR
9	D9	1000X2100			2100	WC DOOR
10	D10	1000X2100			2100	LOBBY
11	D11	1000X2100			2100	LIFTS/WC
12	D12	1000X2100	1000		2100	WC DOOR
13	D13	1000X2100	1000		2100	WC DOOR
14	D14	1000X2100	1000		2100	LOBBY
15	D15	1000X2100	1000		2100	LIFTS/WC
16	D16	1000X2100	1000		2100	WC DOOR
17	D17	1000X2100	1000		2100	WC DOOR

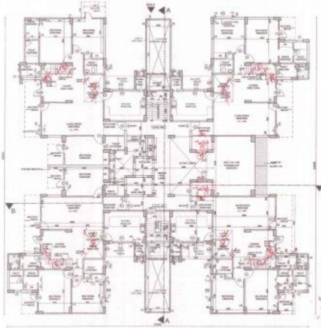
1	WC FIX, & TAPS DETAIL
2	WC TAPS & FLOW WAR
3	WC SUP FLOW + TAPS WAR
4	FOUNTAIN WAR FOUNTAIN
5	WC FIX & TAPS DETAIL
6	FOUNTAIN WAR FOUNTAIN
7	WC FIX & TAPS DETAIL
8	WC FIX & TAPS DETAIL
9	WC FIX & TAPS DETAIL
10	WC FIX & TAPS DETAIL
11	WC FIX & TAPS DETAIL
12	FLUSH TANK
13	FLUSH TANK
14	SINK
15	HOSE CONN.

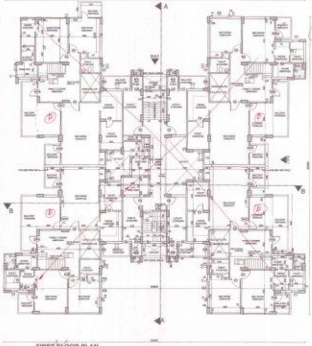
WATER TANK CAP.
NO. OF UNITS = 48
CAP. = 48X172.5X5
2
= 20,700 LTS
SAY . 21,000 LTS
DOMESTIC - 13,500 LTS
FLUSHING - 7500 LTS
FIRE - 10,000 LTS



PROJECT TITLE	DRAWING TITLE	SCALE	1:200		DRG. NO.	ARCHITECTS SIGN.	OWNER'S SIGN.	ARCHITECT
REVISED BUILDING PLANS GROUP HOUSING COLONY MEASURING 17.8906 ACERS LICENCE NO. 41/ 2008 DATED 1.06.2008 IN SECTOR- 69 & 70 GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY SH. ROSHAN LAL & OTHERS IN COLLOBORATION WITH M/S TULIP INFRATECH PVT.LTD.	SUBMISSION DRAWING 2ND & 11TH FLOOR PLAN TYPE -B (BLOCK-H)	DATE	JUNE 2012		S-13	Design Axis	For TULIP INFRATECH PVT. LTD. DIRECTOR	Design Axis
		DEALT	DK	CHECKED VG				

S-12





SANCTIONED

To be read in conjunction with Memo No. [illegible] dated [illegible]

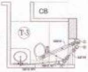
Stilt/ **GROUND FLOOR PLAN**

LOWER P.H.

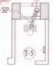
FIRST FLOOR PLAN

UPPER P.H.

Without floor sanction area on Ground floor.
C = 18x2.55 x2 = 9.[illegible] sqmt.
Without floor sanction area on 1st floor = A+B+B+D
= A = [illegible] = [illegible] sqmt.
B = [illegible] = [illegible] sqmt.
B = [illegible] = [illegible] sqmt.
D = [illegible] = [illegible] sqmt.
Total = [illegible] sqmt.



100Ø SP



DOOR&WINDOW SCHEDULE (DUPLEX FLOORS)

S.NO.	TYPE	SIZE	SILL	LINTEL	REMARKS
[illegible]	[illegible]	[illegible]	[illegible]	[illegible]	[illegible]

Legend	
[illegible]	[illegible]

PROJECT TITLE	DRAWING TITLE	SCALE	1:200		DRG. NO.
REVISED BUILDING PLANS GROUP HOUSING COLONY MEASURING 17.xxxx ACRES LICENCE NO. [illegible] SECTOR -68 & 70 GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY SH. ROSHAN LAL & OTHERS IN COLLABORATION WITH M/S TULIP INFRATECH PVT.LTD.	SUBMISSION DRAWING GROUND & FIRST FLOOR PLAN TYPE -E (BLOCK-E)	DATE	JUNE 2012		S-12
		DEALT	DK	CHECKED VG	

ARCHITECT'S SIGN. Design Axis

OWNER'S SIGN. For TULIP INFRATECH PVT. LTD. DIRECTOR

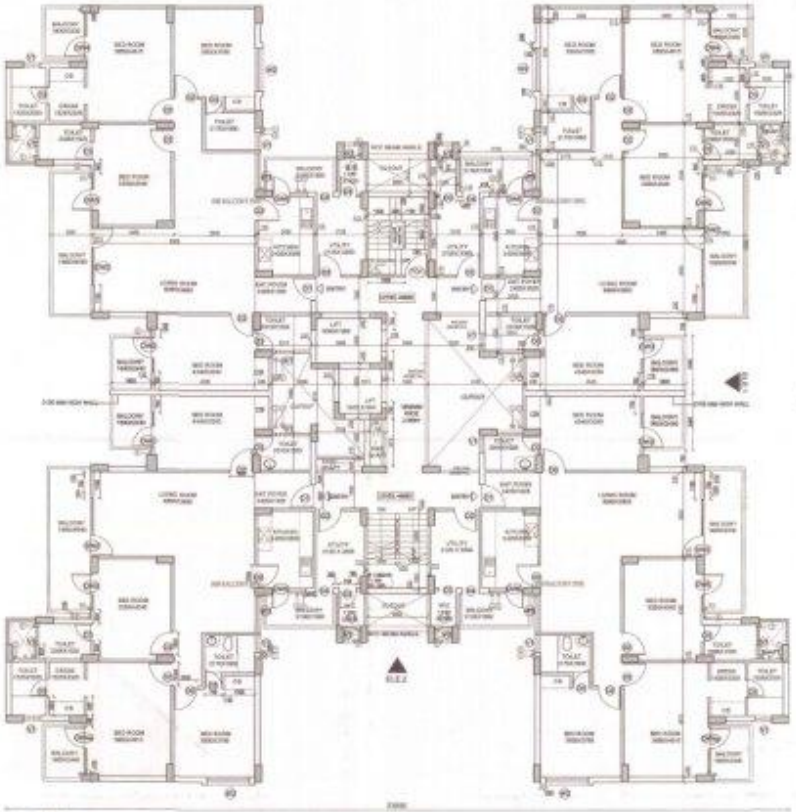
ARCHITECT Design Axis

DTP   ATP

SANCTIONED

To be read in conjunction with Memo No. 33150 dt 22-07-2013

S-17



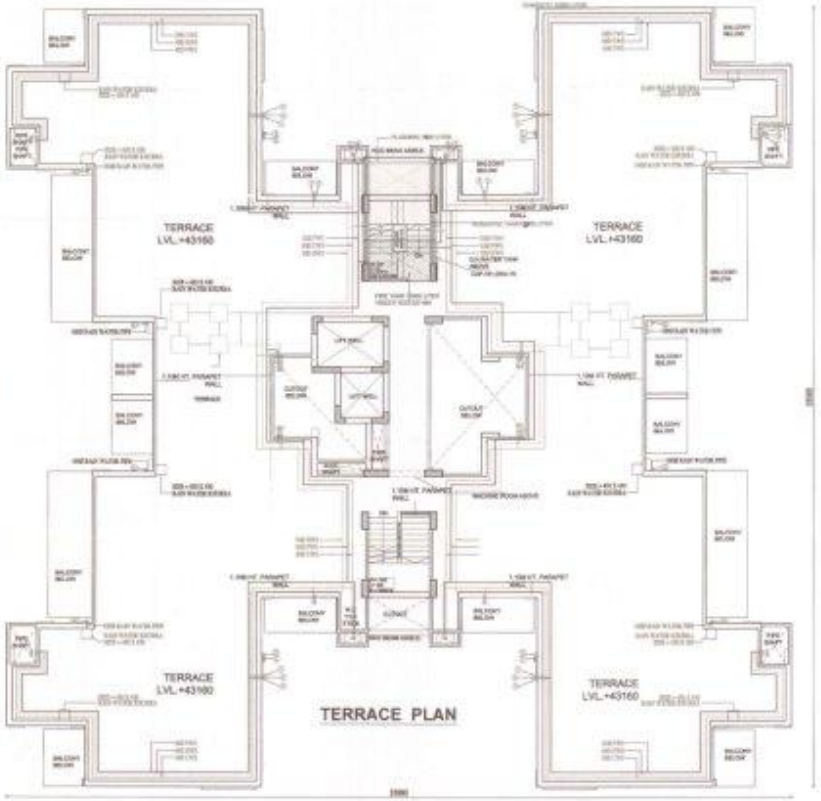
TYPICAL
2nd TO 11th FLOOR PLAN
4th TO 11th Floor Plan

SYMBOL	DESCRIPTION
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]
[illegible]	[illegible]

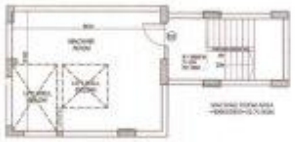
DOOR/WINDOW SCHEDULE (TYPICAL FLOOR)

S.NO.	TYPE	SIZE	NO.	UNITS	REMARKS
1.	D1	1000X2100	[illegible]	2100	MAIN ENTRY
2.	D2	1000X2100	[illegible]	2100	BED ROOM
3.	D3	750X2100	[illegible]	2100	TOILET
4.	D4	750X2100	[illegible]	2000	UTILITY
5.	D5	1000X2100	[illegible]	2100	STAIRCASE
6.	SW1	4750X2000	[illegible]	2000	KARTAGAR
7.	DW2	4750X2000	[illegible]	2000	LIVING ROOM
8.	DW3	3000X2000	[illegible]	2000	BED ROOM
9.	DW4	1500X2000	[illegible]	2000	BED ROOM
10.	DW5	1800X2000	[illegible]	2000	LOUNGE
11.	W1	2100X2000	1000	2000	KITCHEN
12.	W2	1800X2000	750	2000	BED ROOM
13.	W3	1500X2000	750	2000	DINING ROOM
14.	V1	750X1200	1200	2000	TOILET
15.	V2	1400X1200	1200	2000	PVC

WATER TANK CAP.
NO. OF UNITS = 48
CAP. = 48X172.5X5
2
= 20,700 LTS.
SAY . 21,000 LTS.
DOMESTIC - 13,500 LTS.
FLUSHING - 7500 LTS.
FIRE - 10,000 LTS.



TERRACE PLAN

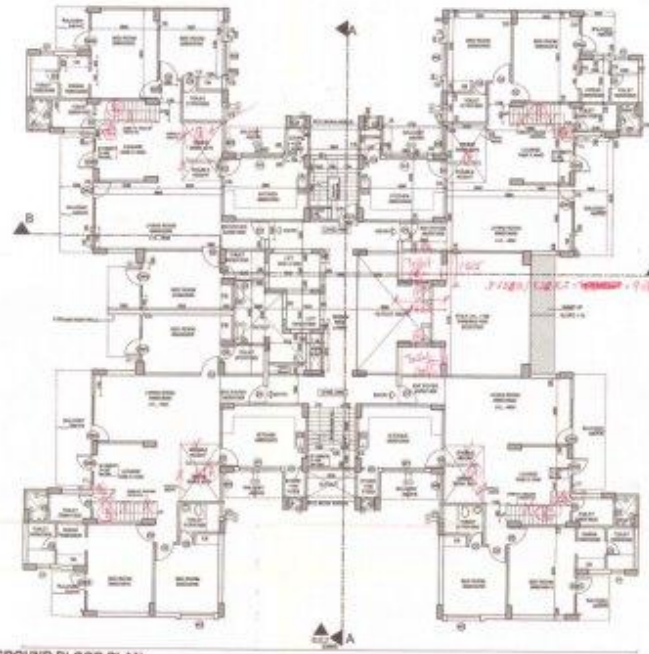


MACHINE ROOM & WATER TANK PLAN PLAN

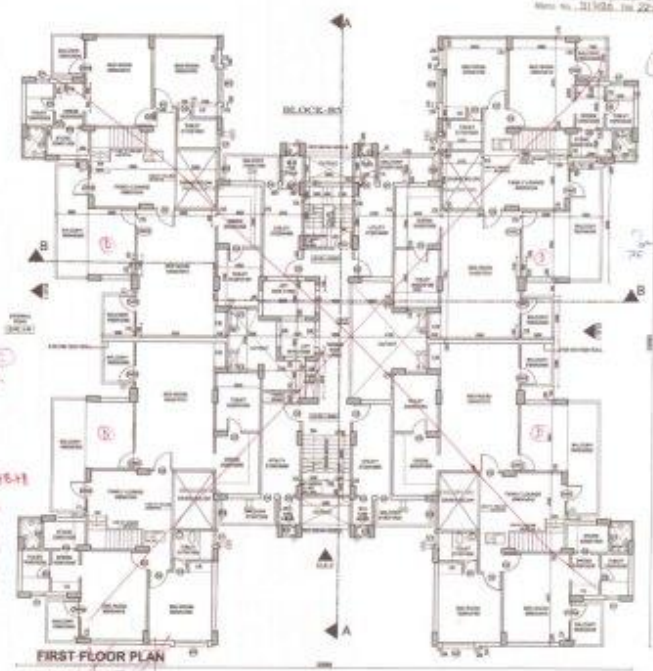
PROJECT TITLE	DRAWING TITLE	SCALE	1:200	DRG. NO.	ARCHITECT'S SIGN.	OWNER'S SIGN.	ARCHITECT
REVISED BUILDING PLANS GROUP HOUSING COLONY MEASURING 17.0936 ACRES LICENCE NO. 41/ 2009 DATED 1.06.2009 IN SECTOR -69 & 70 GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY SH. ROSHAN LAL & OTHERS IN COLLOBRATION WITH M/S TULIP INFRATECH PVT.LTD.	SUBMISSION DRAWING TYPICAL & TERRACE PLAN TYPE -B (BLOCK-5 & 6)	DATE	JUNE 2012	S-17	Design Axis	For TULIP INFRATECH PVT. LTD. DIRECTOR	Design Axis
		DEALT	DK	CHECKED VG			

SANCTIONED

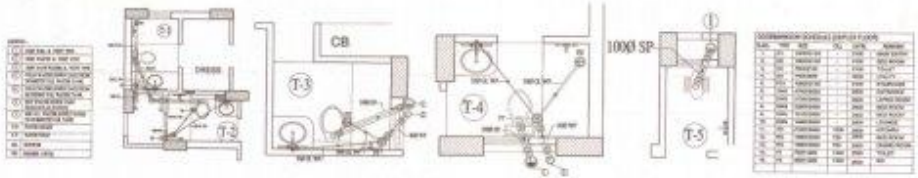
S-16



STILT/ GROUND FLOOR PLAN
LOWER P.H.



FIRST FLOOR PLAN
UPPER P.H.



PROJECT TITLE	DRAWING TITLE	SCALE 1:200	DWG. NO.
REVISED BUILDING PLANS GROUP HOUSING COLONY MEASURING 17.0936 ACRES LICENCE NO. 41 2008 DATED 1.06.2008 IN SECTOR -99 & 70 GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY SH. ROSHAN LAL & OTHERS IN COLLOBORATION WITH M/S TULIP INFRATECH PVT.LTD.	SUBMISSION DRAWING GROUND & FIRST FLOOR PLAN TYPE -B (BLOCK-B5B5)	DATE JUNE 2012 / DRAWN DK / CHECKED VG	S-16

ARCHITECT'S SIGN. Design Axis ARCHITECTS

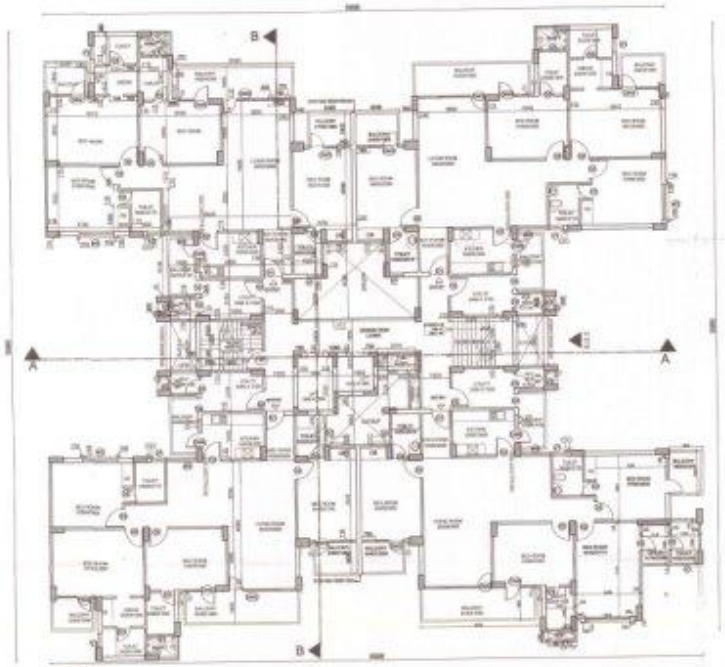
OWNER'S SIGN. For TULIP INFRATECH PVT. LTD. DIRECTOR

ARCH. DEV. Design Axis ARCHITECTS

S- 21

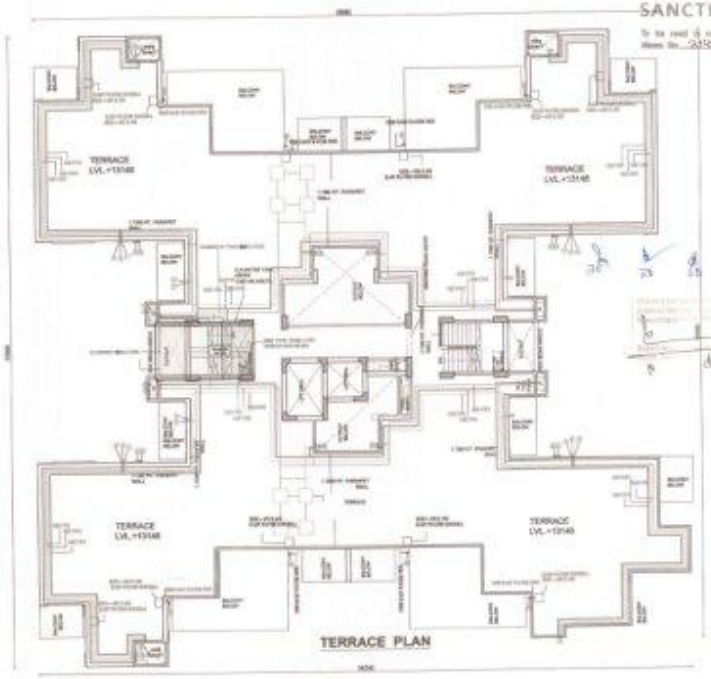
SANCTIONED

To be read in conjunction with Memo No. 24156 dt. 22-07-2013



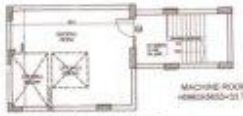
TYPICAL
2nd TO 14th FLOOR PLAN

1st TO 15th FLOOR PLAN



TERRACE PLAN

WATER TANK CAP.
NO. OF UNITS = 48
CAP. = 48X172.5X5 / 2
= 20,700 LTS.
SAY . 21,000 LTS.
DOMESTIC - 10,500 LTS
FLUSHING - 7500 LTS.
FIRE - 10,000 LTS.



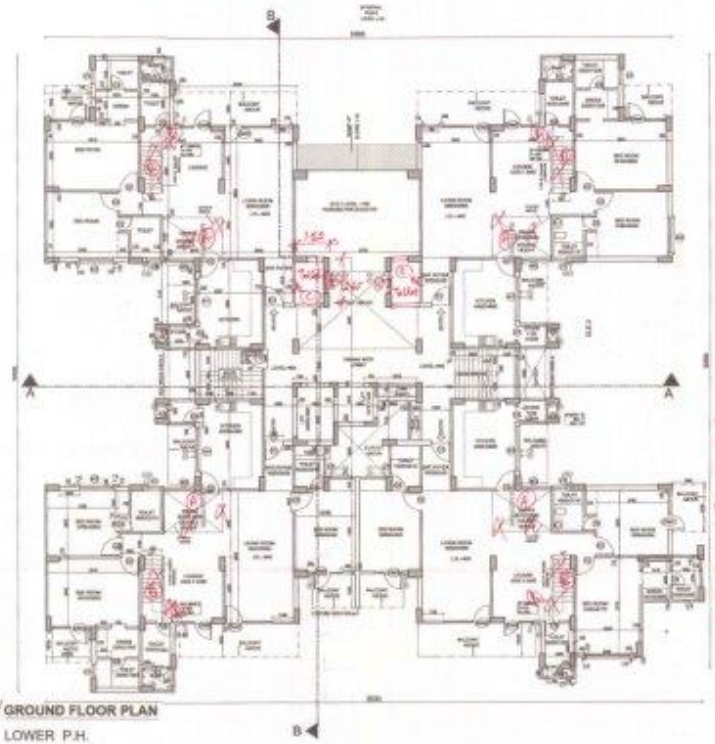
MACHINE ROOM AREA
HOMECSMSD=33.70 SQM.

MACHINE ROOM & WATER TANK PLAN PLAN

PROJECT TITLE	DRAWING TITLE	SCALE	1:200		DRG. NO.	ARCHITECT'S SIGN.	OWNER'S SIGN.	ARCHITECT
REVISED BUILDING PLANS GROUP HOUSING COLONY MEASURING 17.5936 ACRES LICENCE NO. 41 2008 DATED 1.06.2008 IN SECTOR -99 & 70 GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY SH. ROSHAN LAL & OTHERS IN COLLOBORATION WITH M/S TULIP INFRATECH PVT.LTD.	SUBMISSION DRAWING TYPICAL & TERRACE FLOOR PLAN TYPE -B (BLOCK-7)	DATE	JUNE 2012		S-21	Design Aces ARCHITECTS	For TULIP INFRATECH PVT. LTD. DIRECTOR	Design Aces ARCHITECTS
		DCALT	DK	CHECKED VG				

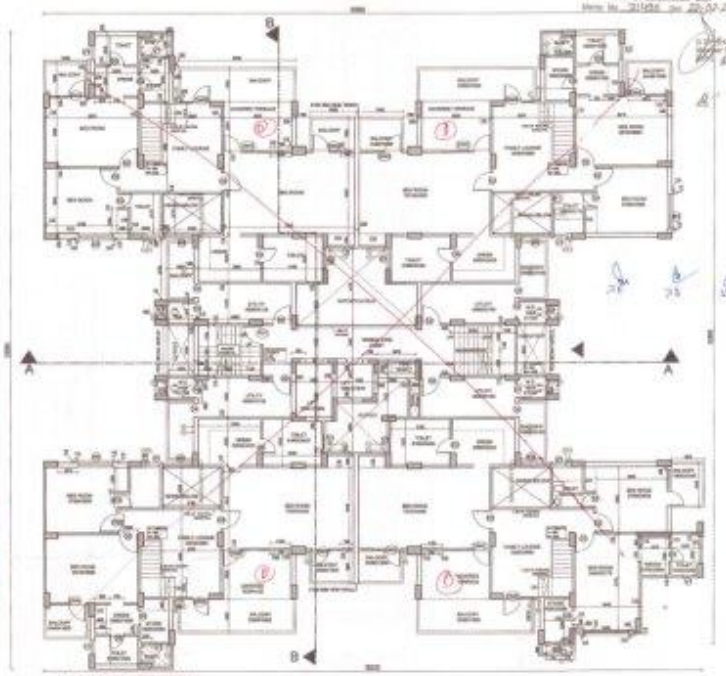
SANCTIONED

S-20



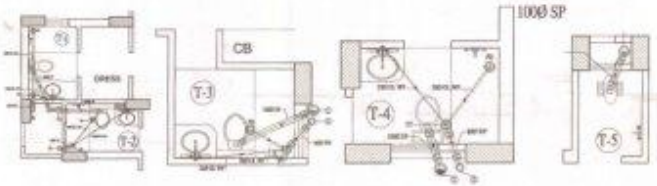
GROUND FLOOR PLAN

LOWER P.H.

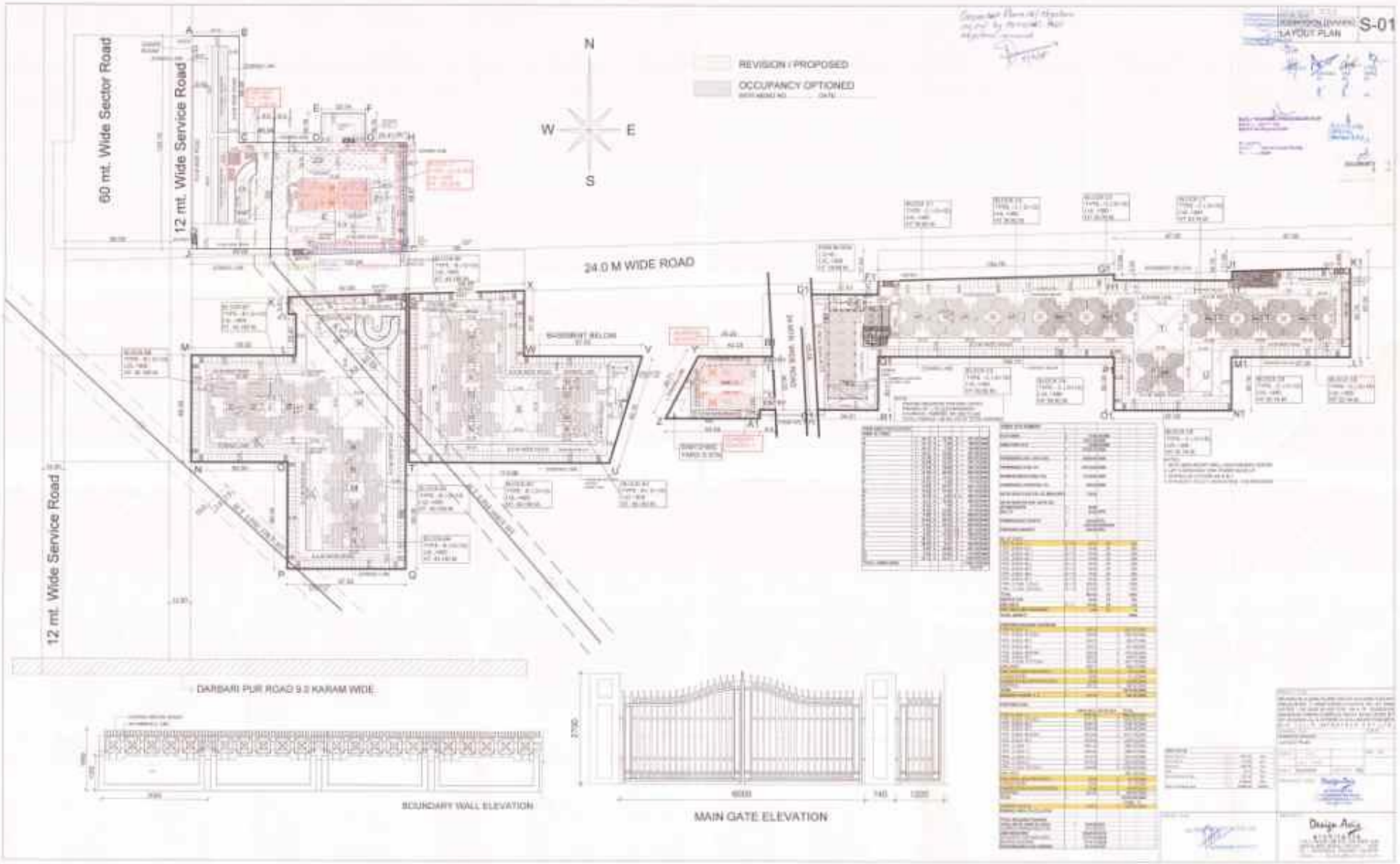


FIRST FLOOR PLAN

UPPER P.H.



PROJECT TITLE	REVISED BUILDING PLANS GROUP HOUSING COLONY MEASURING 17.8958 ACRES LICENCE NO. 41 2008 DATED 1.06.2008 IN SECTOR -99 & 70 GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY SH. ROSHAN LAL & OTHERS IN COLLOBRATION WITH M/S TULIP INFRATECH PVT.LTD.
DRAWING TITLE	SUBMISSION DRAWING GROUND & FIRST FLOOR PLAN TYPE -B (BLOCK-7)
SCALE	1:200
DATE	JUNE 2012
DRAWN	SK
CHECKED	VG
DRG. NO.	S-20
ARCHITECTS SIGN	Design Axis
OWNER'S SIGN	For TULIP INFRATECH PVT. LTD. DIRECTOR
ARCHITECT	Design Axis


S-01
LAYOUT PLAN
REVISION / PROPOSED
OCCUPANCY OPTIONED
N
S
W
E
60 mt. Wide Sector Road
12 mt. Wide Service Road
24.0 M WIDE ROAD
12 mt. Wide Service Road
DARBARI PUR ROAD 9.2 KARAM WIDE
BOUNDARY WALL ELEVATION
MAIN GATE ELEVATION
Design Area

FLOOR PLANS
TYPE -A (BLOCK-1)

S-03

GROUND/STILT FLOOR PLAN

FIRST FLOOR PLAN

TYPICAL FLOOR PLAN
2 ND TO 19 TH. FLOOR

TERRACE PLAN

20 TH. FLOOR PLAN

DOORS & WINDOW SCHEDULE

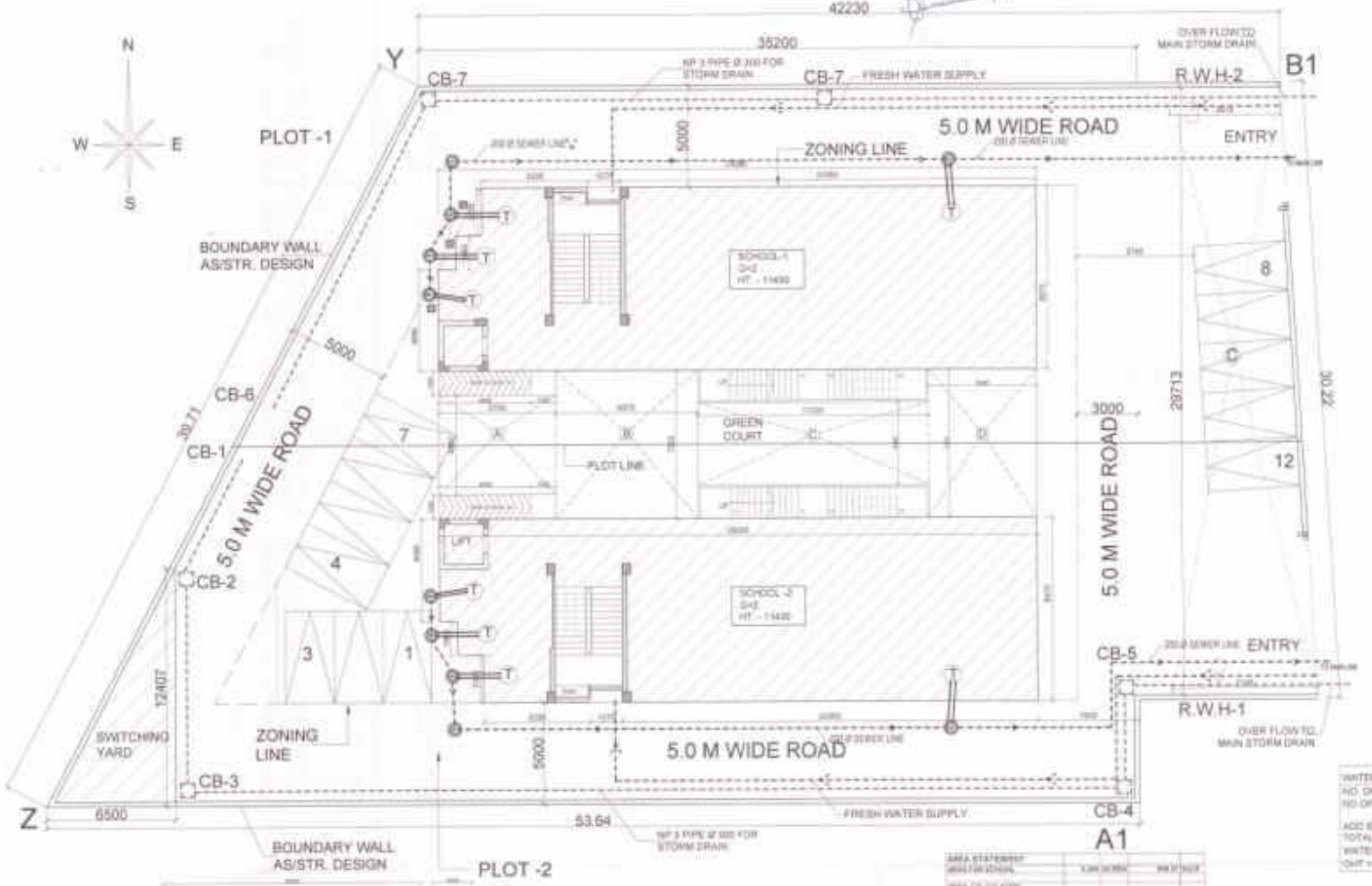
TYPE	WIDTH	NO. OF UNITS	AREA
D1	1200	1	2.16
D2	900	1	0.9
D3	750	1	0.68
D4	900	70	0.9
D5	1800	70	0.9
D6	1800	40	0.9
D7	1800	70	0.9
D8	1800	70	0.9
D9	1800	70	0.9
D10	1200	140	0.9

NOTE : 2.0 HEIGHT FOR

WATER TANK PLAN

LAYOUT PLAN
NURSERY SCHOOL -1 & 2

S-08



LEGEND	
	FRESH WATER SUPPLY
MH	MANHOLE
	NP 3 PIPE Ø 200 FOR STORM DRAIN
CB	CACHE BASIN
	RWH

WATER TANK CAP.
NO. OF CLASS = 11
NO OF STUDENTS = 11 X 25 = 275
ADD STAFF 10% = 27
TOTAL POPULATION = 302
WATER RES = 302x45 = 13590 LTS
OHT = 14,000 LTS

GREEN AREA DETAIL					
A	5.700	X	4.860	27.698	SQM
B	6.975	X	7.252	50.583	SQM
C	11.330	X	4.020	45.547	SQM
D	5.280	X	7.251	38.285	SQM
			TOTAL	162.071	SQM

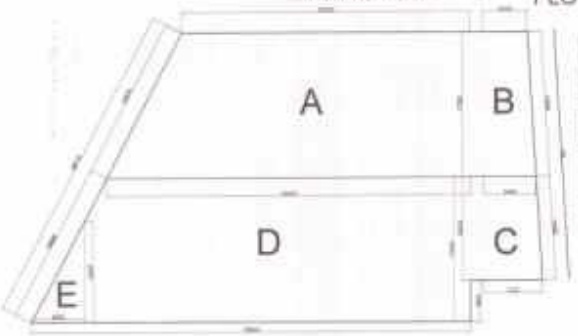
PLOT AREA CALCULATION FOR NURSERY SCHOOL

AREA OF TRAPEZIUM = SUM OF PARALLEL SIDES x 1/2 x HEIGHT = (A+B) x 1/2 x H
AREA OF RIGHT TRIANGLE = 1/2 x BASE x HEIGHT = 1/2 x B x H
AREA OF RECTANGLE = A x B

NO	SHAPE	A		B		H	
SCHOOL-1							
1	TRAPEZIUM	18.400	+	16.351	/ 2	17.500	304.671 SQM
2	TRAPEZIUM	8.400	+	8.351	/ 2	17.500	124.837 SQM
							429.508 SQM
SCHOOL-2							
1	TRAPEZIUM	7.100	+	8.400	/ 2	12.500	97.006 SQM
2	TRAPEZIUM	10.640	+	8.400	/ 2	12.500	121.080 SQM
TOTAL							218.146 SQM
LESS AREA							
3	TRIANGLE	4.000	/ 2	5.200		12.407	40.021 SQM
NET AREA							607.631 SQM

AREA STATEMENT

AREA FOR SCHOOL		
AREA CALCULATION		
	PLAY AREA	PLAY AREA
P.A.R	2 M	
	CHAIN LINK	CHAIN LINK
GROUND COVERAGE	1ST FLOOR	1ST FLOOR
	29.75	29.75
F.A.R TOTAL		
1ST FLOOR		1ST FLOOR
2ND FLOOR		2ND FLOOR
3RD FLOOR		3RD FLOOR
TOTAL F.A.R		
TOTAL F.A.R AREA CALCULATION		
REQUIRED PARKING	PER 100 SQM	1 PER 100 SQM
	2	2
PROPOSED PARKING		
ROAD AREA FOR ZONE		
TOTAL PLOT AREA (INCLUDE CONVEYANCE AREA)		
AREA AND DETAILS OF PARKING		PER ROAD
LEVEL PARKING	PLOT - 1M	12 - 3.5



Design Axis
ARCHITECTS

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