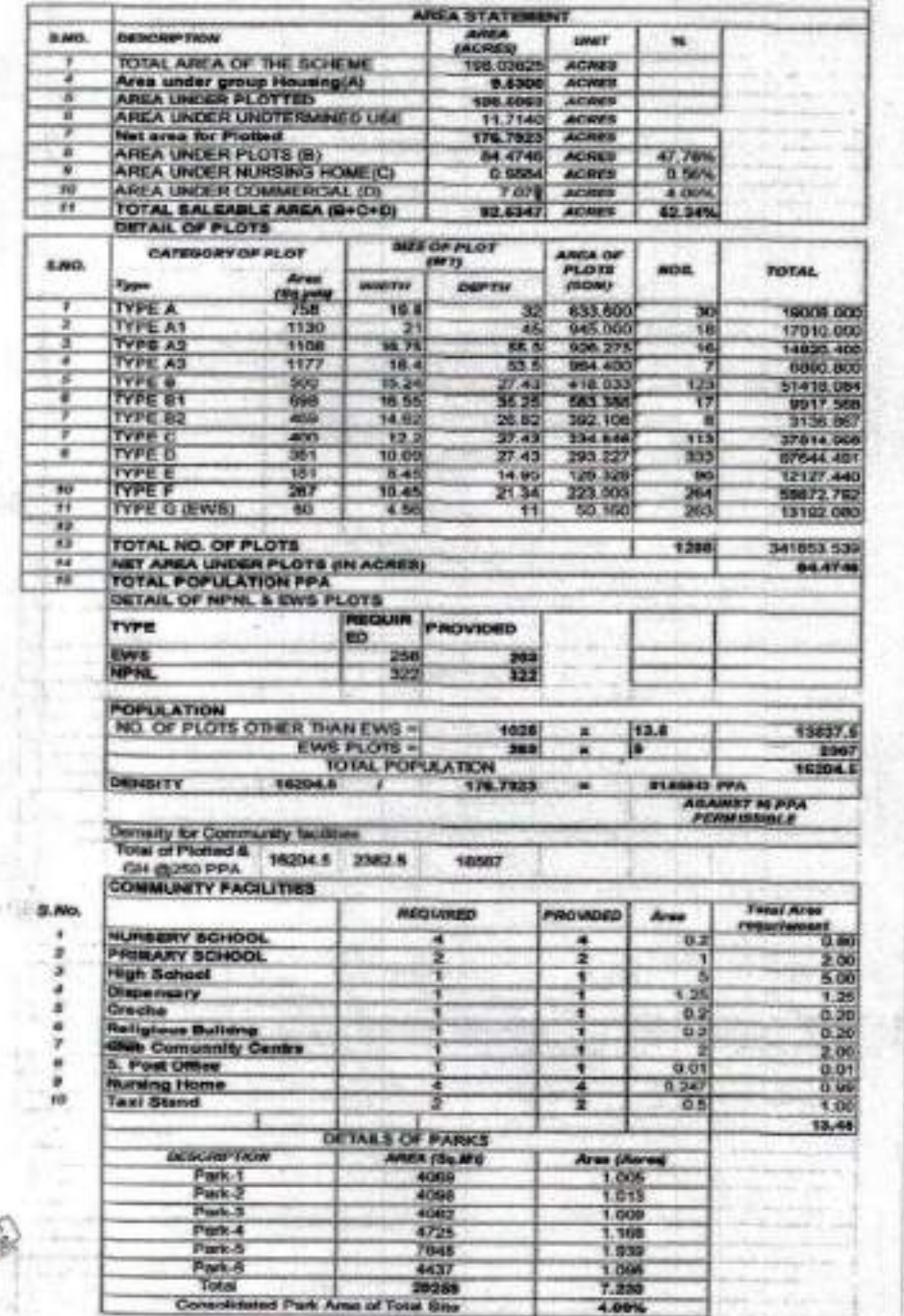




that this Layout Plan for an area of 190.033625 acres (Orig. No. DG/TP-2789 dated 20.9.2011) comprised of licenses which were issued in respect of Residential Colony being developed by M/s Emaar MGF Land Ltd. in Sector-62 & 65, Gurgaon Manesar Urban Complex is hereby approved subject to the following conditions:-

1. That the Layout Plan shall be read in conjunction with the clauses appearing on the agreement executed under Rule 13 and the bilateral agreement.
2. That the plotted area of the colony shall not exceed 50% of the net planned area of the colony. The entire area reserved for common plot purposes shall be taken as allotted for calculation of the area under plots.
3. That the demarcation points at per site of all the residential, commercial and institutional sites shall be got approved from the Department and construction on these sites shall be governed by the Purusha Sanchetuk Rules and Controlled Area Restriction of Unregulated Development Rules, 1965 and the Zoning Plan approved by the Director General, Town & Country Planning.
4. That the High tension lines passing in the colony area shall have to be suitably aligned or right of way along the same shall be maintained as per ISI norms.
5. That for proper planning and integration of services in the area adjacent to the colony, the colonizer shall abide by the directions of the DG/TCP for the modification of layout plans of the colony.
6. That the reserved area for the colony shall be kept free for circulation/movement as shown in the layout plan.
7. That the colonizer shall abide by the directions of the DG/TCP, Haryana and accordingly shall make necessary changes in the layout plan for making any adjustment in the alignment of the peripheral roads, internal road circulation or for proper integration of the planning provisions of the adjoining areas of the sectors as shown on the Development Plan.
8. That no private plot shall derive access directly from the carriage way of 30 metres or more wide road or road.
9. All green belts provided in the layout plan within the licensed areas of the colony shall be developed by the colonizer. All other given belts outside the licensed area shall be developed by the Haryana Urban Development Authority/colonizer on the directions of the Director General, Town & Country Planning Ministry or in accordance with terms and conditions of the agreements of the licensee.
10. At the time of demarcation, if required percentage of NWPL/ EWS plots and the area under infrastructure are reduced, the same will be provided by the colonizer in the licensed area.
11. Any excess area over and above the permissible 4% under commercial use shall be deemed to be open space.
12. The maximum number of dwelling units in a plot shall be as per the provisions of the Rule 48 of the Rules, 1965. This condition shall also be incorporated in the zoning plan and in the allotment letters being issued by the colonizer to the plot holders. The stipulation shall also be incorporated in the agreement to be executed by the colonizer with the plot buyers.
13. No plot will derive an access from less than 12 metres wide road means a minimum clear width of 12 metres between the plots.
14. The portion of the roads/development plan roads/ignen belts as provided in the Development Plan, which form part of the licensed area shall be transferred free of cost to the government on the lines of section 333(a)(ii) of the Act No.8 of 1975.
15. That the road side plots (except EWS plots which are approved of standard dimensions) are being approved subject to the condition that these plots should have a frontage of less than 75% of the standard frontage when demarcated and area of plot shall exceed 1 banna.
16. That there shall have no objection to the regularization of the boundaries of the licenses through give and take with the Haryana HUDA is finally able to acquire in the interest of planned development and integration of services. The decision of the competent authority shall be binding in this regard.
17. The colonizer shall comply with the provisions of the Notification No. S.O. 1533 (E) Dated 14/9/2006 issued by Ministry of Environment and Forest, Government of India before starting the construction/execution of development works at site.
18. That the rain water harvesting system shall be provided as per Central Ground Water Authority norms/Haryana Govt. notification for application.
19. That the provision of solar water heating system shall be as per norms specified by HAREDA and shall be made operational where applicable before accepting for an occupation certificate.
20. That the colonizer/owner shall use only Compact Fluorescent Lamps fitting for internal lighting as well as Campus lighting.
21. That you shall convey the ultimate power load requirement of your power utility to enable the provision of power to the concerned site for transformer/switching station/electric sub station as per the norms prescribed by the power utility in your project site within three months from the approval of zoning plan.

(JITENDER SIHAG)
DTP (HQ)

(J. S. REDHU)
CTP (HR)

(T. C. GUPTA, IAS)
DG, TCP (HR)

LC 2170 VOL III / L No. 113 of 2011. Dated: 22/12/2011.

ROAD LAYOUT PLAN

AREA STATEMENT			
S.No.	REMARKS	AREA (Acres)	%
1	TOTAL AREA OF THE SCHEME	188.000	100.00
2	Area under existing (Haryana)	11.740	6.25
3	Area under plotted	188.000	100.00
4	Area under unutilized (Haryana)	11.740	6.25
5	Net Area for Plotted	176.260	93.75
6	Area under existing (Haryana)	11.740	6.25
7	Area under unutilized (Haryana)	11.740	6.25
8	Area under existing (Haryana)	11.740	6.25
9	Area under unutilized (Haryana)	11.740	6.25
10	Area under existing (Haryana)	11.740	6.25
11	Area under unutilized (Haryana)	11.740	6.25
12	TOTAL SALEABLE AREA (B+C+D)	188.000	100.00

DETAILS OF PLOTS			
S.No.	REMARKS	AREA (Acres)	%
1	TYPE A	11.740	6.25
2	TYPE B	11.740	6.25
3	TYPE C	11.740	6.25
4	TYPE D	11.740	6.25
5	TYPE E	11.740	6.25
6	TYPE F	11.740	6.25
7	TYPE G	11.740	6.25
8	TYPE H	11.740	6.25
9	TYPE I	11.740	6.25
10	TYPE J	11.740	6.25
11	TYPE K	11.740	6.25
12	TYPE L	11.740	6.25
13	TYPE M	11.740	6.25
14	TYPE N	11.740	6.25
15	TYPE O	11.740	6.25
16	TYPE P	11.740	6.25
17	TYPE Q	11.740	6.25
18	TYPE R	11.740	6.25
19	TYPE S	11.740	6.25
20	TYPE T	11.740	6.25
21	TYPE U	11.740	6.25
22	TYPE V	11.740	6.25
23	TYPE W	11.740	6.25
24	TYPE X	11.740	6.25
25	TYPE Y	11.740	6.25
26	TYPE Z	11.740	6.25
27	TYPE AA	11.740	6.25
28	TYPE AB	11.740	6.25
29	TYPE AC	11.740	6.25
30	TYPE AD	11.740	6.25
31	TYPE AE	11.740	6.25
32	TYPE AF	11.740	6.25
33	TYPE AG	11.740	6.25
34	TYPE AH	11.740	6.25
35	TYPE AI	11.740	6.25
36	TYPE AJ	11.740	6.25
37	TYPE AK	11.740	6.25
38	TYPE AL	11.740	6.25
39	TYPE AM	11.740	6.25
40	TYPE AN	11.740	6.25
41	TYPE AO	11.740	6.25
42	TYPE AP	11.740	6.25
43	TYPE AQ	11.740	6.25
44	TYPE AR	11.740	6.25
45	TYPE AS	11.740	6.25
46	TYPE AT	11.740	6.25
47	TYPE AU	11.740	6.25
48	TYPE AV	11.740	6.25
49	TYPE AW	11.740	6.25
50	TYPE AX	11.740	6.25
51	TYPE AY	11.740	6.25
52	TYPE AZ	11.740	6.25
53	TYPE BA	11.740	6.25
54	TYPE BB	11.740	6.25
55	TYPE BC	11.740	6.25
56	TYPE BD	11.740	6.25
57	TYPE BE	11.740	6.25
58	TYPE BF	11.740	6.25
59	TYPE BG	11.740	6.25
60	TYPE BH	11.740	6.25
61	TYPE BI	11.740	6.25
62	TYPE BJ	11.740	6.25
63	TYPE BK	11.740	6.25
64	TYPE BL	11.740	6.25
65	TYPE BM	11.740	6.25
66	TYPE BN	11.740	6.25
67	TYPE BO	11.740	6.25
68	TYPE BP	11.740	6.25
69	TYPE BQ	11.740	6.25
70	TYPE BR	11.740	6.25
71	TYPE BS	11.740	6.25
72	TYPE BT	11.740	6.25
73	TYPE BU	11.740	6.25
74	TYPE BV	11.740	6.25
75	TYPE BW	11.740	6.25
76	TYPE BX	11.740	6.25
77	TYPE BY	11.740	6.25
78	TYPE BZ	11.740	6.25
79	TYPE CA	11.740	6.25
80	TYPE CB	11.740	6.25
81	TYPE CC	11.740	6.25
82	TYPE CD	11.740	6.25
83	TYPE CE	11.740	6.25
84	TYPE CF	11.740	6.25
85	TYPE CG	11.740	6.25
86	TYPE CH	11.740	6.25
87	TYPE CI	11.740	6.25
88	TYPE CJ	11.740	6.25
89	TYPE CK	11.740	6.25
90	TYPE CL	11.740	6.25
91	TYPE CM	11.740	6.25
92	TYPE CN	11.740	6.25
93	TYPE CO	11.740	6.25
94	TYPE CP	11.740	6.25
95	TYPE CQ	11.740	6.25
96	TYPE CR	11.740	6.25
97	TYPE CS	11.740	6.25
98	TYPE CT	11.740	6.25
99	TYPE CU	11.740	6.25
100	TYPE CV	11.740	6.25
101	TYPE CW	11.740	6.25
102	TYPE CX	11.740	6.25
103	TYPE CY	11.740	6.25
104	TYPE CZ	11.740	6.25
105	TYPE DA	11.740	6.25
106	TYPE DB	11.740	6.25
107	TYPE DC	11.740	6.25
108	TYPE DD	11.740	6.25
109	TYPE DE	11.740	6.25
110	TYPE DF	11.740	6.25
111	TYPE DG	11.740	6.25
112	TYPE DH	11.740	6.25
113	TYPE DI	11.740	6.25
114	TYPE DJ	11.740	6.25
115	TYPE DK	11.740	6.25
116	TYPE DL	11.740	6.25
117	TYPE DM	11.740	6.25
118	TYPE DN	11.740	6.25
119	TYPE DO	11.740	6.25
120	TYPE DP	11.740	6.25
121	TYPE DQ	11.740	6.25
122	TYPE DR	11.740	6.25
123	TYPE DS	11.740	6.25
124	TYPE DT	11.740	6.25
125	TYPE DU	11.740	6.25
126	TYPE DV	11.740	6.25
127	TYPE DW	11.740	6.25
128	TYPE DX	11.740	6.25
129	TYPE DY	11.740	6.25
130	TYPE DZ	11.740	6.25
131	TYPE EA	11.740	6.25
132	TYPE EB	11.740	6.25
133	TYPE EC	11.740	6.25
134	TYPE ED	11.740	6.25
135	TYPE EE	11.740	6.25
136	TYPE EF	11.740	6.25
137	TYPE EG	11.740	6.25
138	TYPE EH	11.740	6.25
139	TYPE EI	11.740	6.25
140	TYPE EJ	11.740	6.25
141	TYPE EK	11.740	6.25
142	TYPE EL	11.740	6.25
143	TYPE EM	11.740	6.25
144	TYPE EN	11.740	6.25
145	TYPE EO	11.740	6.25
146	TYPE EP	11.740	6.25
147	TYPE EQ	11.740	6.25
148	TYPE ER	11.740	6.25
149	TYPE ES	11.740	6.25
150	TYPE ET	11.740	6.25
151	TYPE EU	11.740	6.25
152	TYPE EV	11.740	6.25
153	TYPE EW	11.740	6.25
154	TYPE EX	11.740	6.25
155	TYPE EY	11.740	6.25
156	TYPE EZ	11.740	6.25
157	TYPE FA	11.740	6.25
158	TYPE FB	11.740	6.25
159	TYPE FC	11.740	6.25
160	TYPE FD	11.740	6.25
161	TYPE FE	11.740	6.25
162	TYPE FF	11.740	6.25
163	TYPE FG	11.740	6.25
164	TYPE FH	11.740	6.25
165	TYPE FI	11.740	6.25
166	TYPE FJ	11.740	6.25
167	TYPE FK	11.740	6.25
168	TYPE FL	11.740	6.25
169	TYPE FM	11.740	6.25
170	TYPE FN	11.740	6.25
171	TYPE FO	11.740	6.25
172	TYPE FP	11.740	6.25
173	TYPE FQ	11.740	6.25
174	TYPE FR	11.740	6.25
175	TYPE FS	11.740	6.25
176	TYPE FT	11.740	6.25
177	TYPE FU	11.740	6.25
178	TYPE FV	11.740	6.25
179	TYPE FW	11.740	6.25
180	TYPE FX	11.740	6.25
181	TYPE FY	11.740	6.25
182	TYPE FZ	11.740	6.25
183	TYPE GA	11.740	6.25
184	TYPE GB	11.740	6.25
185	TYPE GC	11.740	6.25
186	TYPE GD	11.740	6.25
187	TYPE GE	11.740	6.25
188	TYPE GF	11.740	6.25
189	TYPE GG	11.740	6.25
190	TYPE GH	11.740	6.25
191	TYPE GI	11.740	6.25
192	TYPE GJ	11.740	6.25
193	TYPE GK	11.740	6.25
194	TYPE GL	11.740	6.25
195	TYPE GM	11.740	6.25
196	TYPE GN	11.740	6.25
197	TYPE GO	11.740	6.25
198	TYPE GP	11.740	6.25
199	TYPE GQ	11.740	6.25
200	TYPE GR	11.740	6.25
201	TYPE GS	11.740	6.25
202	TYPE GT	11.740	6.25
203	TYPE GU	11.740	6.25
204	TYPE GV	11.740	6.25
205	TYPE GW	11.740	6.25
206	TYPE GX	11.740	6.25
207	TYPE GY	11.740	6.25
208	TYPE GZ	11.740	6.25
209	TYPE HA	11.740	6.25
210	TYPE HB	11.740	6.25
211	TYPE HC	11.740	6.25
212	TYPE HD	11.740	6.25
213	TYPE HE	11.740	6.25
214	TYPE HF	11.740	6.25
215	TYPE HG	11.740	6.25
216	TYPE HH	11.740	6.25
217	TYPE HI	11.740	6.25
218	TYPE HJ	11.740	6.25
219	TYPE HK	11.740	6.25
220	TYPE HL	11.740	6.25
221	TYPE HM	11.740	6.25
222	TYPE HN	11.740	6.25
223	TYPE HO	11.740	6.25
224	TYPE HP	11.740	6.25
225	TYPE HQ	11.740	6.25
226	TYPE HR	11.740	6.25
227	TYPE HS	11.740	6.25
228	TYPE HT	11.740	6.25
229	TYPE HU	11.740	6.25
230	TYPE HV	11.740	6.25
231	TYPE HW	11.740	6.25
232	TYPE HX	11.740	6.25
233	TYPE HY	11.740	6.25
234	TYPE HZ	11.740	6.25
235	TYPE IA	11.740	6.25
236	TYPE IB	11.740	6.25
237	TYPE IC	11.740	6.25
238	TYPE ID	11.740	6.25
239	TYPE IE	11.740	6.25
240	TYPE IF	11.740	6.25
241	TYPE IG	11.740	6.25
242	TYPE IH	11.740	6.25
243	TYPE II	11.740	6.25
244	TYPE IJ	11.740	6.25
245	TYPE IK	11.740	6.25
246	TYPE IL	11.740	6.25
247	TYPE IM	11.740	6.25
248	TYPE IN	11.740	6.25
249	TYPE IO	11.740	6.25
250	TYPE IP	11.740	6.25
251	TYPE IQ	11.740	6.25
252	TYPE IR	11.740	6.25
253	TYPE IS	11.740	6.25
254	TYPE IT	11.740	6.25
255	TYPE IU	11.740	6.25
256	TYPE IV	11.740	6.25
257	TYPE IW	11.740	6.25
258	TYPE IX	11.740	6.25
259	TYPE IY	11.740	6.25
260	TYPE IZ	11.740	6.25
261	TYPE JA	11.740	6.25
262	TYPE JB	11.740	6.25
263	TYPE JC	11.740	6.25
264	TYPE JD	11.740	6.25
265	TYPE JE	11.740	6.25
266	TYPE JF	11.740	6.25
267	TYPE JG	11.740	6.25
268	TYPE JH	11.740	6.25
269	TYPE JI	11.740	6.25
270	TYPE JJ	11.740	6.25
271	TYPE JK	11.740	6.25
272	TYPE JL	11.740	6.25
273	TYPE JM	11.740	6.25
274	TYPE JN	11.740	6.25
275	TYPE JO	11.740	6.25
276	TYPE JP	11.740	6.25
277	TYPE JQ	11.740	6.25
278	TYPE JR	11.740	6.25
279	TYPE JS	11.740	6.25
280	TYPE JT	11.740	6.25
281	TYPE JU	11.740	6.25
282	TYPE JV	11.740	6.25
283	TYPE JW	11.740	6.25
284	TYPE JX	11.740	6.25
285	TYPE JY	11.740	6.25
286	TYPE JZ	11.740	6.25
287	TYPE KA	11.740	6.25
288	TYPE KB	11.740	6.25
289	TYPE KC	11.740	6.25
290	TYPE KD	11.740	6.25
291	TYPE KE	11.740	6.25
292	TYPE KF	11.740	6.25
293	TYPE KG	11.740	6.25
294	TYPE KH	11.740	6.25
295	TYPE KI	11.740	6.25
296	TYPE KJ	11.740	6.25
297	TYPE KK	11.740	6.25
298	TYPE KL	11.740	6.25
299	TYPE KM	11.740	

SEWER LAYOUT PLAN

S.NO.	DESCRIPTION	AREA (ACRES)	UNIT	%
1	TOTAL AREA OF THE SCHEME	180.03425	ACRES	
2	Area under group Housing (A)	8.8400	ACRES	
3	Area under PLOT (B)	168.8943	ACRES	
4	Area under UNDEVELOPED LAND	11.7400	ACRES	
5	Area under PLOT (B)	178.7923	ACRES	
6	Area under NURSING HOME (C)	0.0000	ACRES	47.70%
7	Area under COMMERCIAL (D)	7.0718	ACRES	0.56%
8	TOTAL SALEABLE AREA (B+C+D)	185.8641	ACRES	10.45%

S.NO.	TYPE	AREA (ACRES)	NO. OF PLOTS	NO.	TOTAL
1	TYPE A	18.00	30	10000	300
2	TYPE A1	11.00	21	48	10000
3	TYPE A2	11.00	21	48	10000
4	TYPE A3	11.00	21	48	10000
5	TYPE B1	11.00	21	48	10000
6	TYPE B2	11.00	21	48	10000
7	TYPE B3	11.00	21	48	10000
8	TYPE C	11.00	21	48	10000
9	TYPE D	11.00	21	48	10000
10	TYPE E	11.00	21	48	10000
11	TYPE F	11.00	21	48	10000
12	TYPE G	11.00	21	48	10000
13	TYPE H	11.00	21	48	10000
14	TYPE I	11.00	21	48	10000
15	TYPE J	11.00	21	48	10000
16	TYPE K	11.00	21	48	10000
17	TYPE L	11.00	21	48	10000
18	TYPE M	11.00	21	48	10000
19	TYPE N	11.00	21	48	10000
20	TYPE O	11.00	21	48	10000
21	TYPE P	11.00	21	48	10000
22	TYPE Q	11.00	21	48	10000
23	TYPE R	11.00	21	48	10000
24	TYPE S	11.00	21	48	10000
25	TYPE T	11.00	21	48	10000
26	TYPE U	11.00	21	48	10000
27	TYPE V	11.00	21	48	10000
28	TYPE W	11.00	21	48	10000
29	TYPE X	11.00	21	48	10000
30	TYPE Y	11.00	21	48	10000
31	TYPE Z	11.00	21	48	10000
32	TYPE AA	11.00	21	48	10000
33	TYPE AB	11.00	21	48	10000
34	TYPE AC	11.00	21	48	10000
35	TYPE AD	11.00	21	48	10000
36	TYPE AE	11.00	21	48	10000
37	TYPE AF	11.00	21	48	10000
38	TYPE AG	11.00	21	48	10000
39	TYPE AH	11.00	21	48	10000
40	TYPE AI	11.00	21	48	10000
41	TYPE AJ	11.00	21	48	10000
42	TYPE AK	11.00	21	48	10000
43	TYPE AL	11.00	21	48	10000
44	TYPE AM	11.00	21	48	10000
45	TYPE AN	11.00	21	48	10000
46	TYPE AO	11.00	21	48	10000
47	TYPE AP	11.00	21	48	10000
48	TYPE AQ	11.00	21	48	10000
49	TYPE AR	11.00	21	48	10000
50	TYPE AS	11.00	21	48	10000
51	TYPE AT	11.00	21	48	10000
52	TYPE AU	11.00	21	48	10000
53	TYPE AV	11.00	21	48	10000
54	TYPE AW	11.00	21	48	10000
55	TYPE AX	11.00	21	48	10000
56	TYPE AY	11.00	21	48	10000
57	TYPE AZ	11.00	21	48	10000
58	TYPE BA	11.00	21	48	10000
59	TYPE BB	11.00	21	48	10000
60	TYPE BC	11.00	21	48	10000
61	TYPE BD	11.00	21	48	10000
62	TYPE BE	11.00	21	48	10000
63	TYPE BF	11.00	21	48	10000
64	TYPE BG	11.00	21	48	10000
65	TYPE BH	11.00	21	48	10000
66	TYPE BI	11.00	21	48	10000
67	TYPE BJ	11.00	21	48	10000
68	TYPE BK	11.00	21	48	10000
69	TYPE BL	11.00	21	48	10000
70	TYPE BM	11.00	21	48	10000
71	TYPE BN	11.00	21	48	10000
72	TYPE BO	11.00	21	48	10000
73	TYPE BP	11.00	21	48	10000
74	TYPE BQ	11.00	21	48	10000
75	TYPE BR	11.00	21	48	10000
76	TYPE BS	11.00	21	48	10000
77	TYPE BT	11.00	21	48	10000
78	TYPE BU	11.00	21	48	10000
79	TYPE BV	11.00	21	48	10000
80	TYPE BW	11.00	21	48	10000
81	TYPE BX	11.00	21	48	10000
82	TYPE BY	11.00	21	48	10000
83	TYPE BZ	11.00	21	48	10000
84	TYPE CA	11.00	21	48	10000
85	TYPE CB	11.00	21	48	10000
86	TYPE CC	11.00	21	48	10000
87	TYPE CD	11.00	21	48	10000
88	TYPE CE	11.00	21	48	10000
89	TYPE CF	11.00	21	48	10000
90	TYPE CG	11.00	21	48	10000
91	TYPE CH	11.00	21	48	10000
92	TYPE CI	11.00	21	48	10000
93	TYPE CJ	11.00	21	48	10000
94	TYPE CK	11.00	21	48	10000
95	TYPE CL	11.00	21	48	10000
96	TYPE CM	11.00	21	48	10000
97	TYPE CN	11.00	21	48	10000
98	TYPE CO	11.00	21	48	10000
99	TYPE CP	11.00	21	48	10000
100	TYPE CQ	11.00	21	48	10000
101	TYPE CR	11.00	21	48	10000
102	TYPE CS	11.00	21	48	10000
103	TYPE CT	11.00	21	48	10000
104	TYPE CU	11.00	21	48	10000
105	TYPE CV	11.00	21	48	10000
106	TYPE CW	11.00	21	48	10000
107	TYPE CX	11.00	21	48	10000
108	TYPE CY	11.00	21	48	10000
109	TYPE CZ	11.00	21	48	10000
110	TYPE DA	11.00	21	48	10000
111	TYPE DB	11.00	21	48	10000
112	TYPE DC	11.00	21	48	10000
113	TYPE DD	11.00	21	48	10000
114	TYPE DE	11.00	21	48	10000
115	TYPE DF	11.00	21	48	10000
116	TYPE DG	11.00	21	48	10000
117	TYPE DH	11.00	21	48	10000
118	TYPE DI	11.00	21	48	10000
119	TYPE DJ	11.00	21	48	10000
120	TYPE DK	11.00	21	48	10000
121	TYPE DL	11.00	21	48	10000
122	TYPE DM	11.00	21	48	10000
123	TYPE DN	11.00	21	48	10000
124	TYPE DO	11.00	21	48	10000
125	TYPE DP	11.00	21	48	10000
126	TYPE DQ	11.00	21	48	10000
127	TYPE DR	11.00	21	48	10000
128	TYPE DS	11.00	21	48	10000
129	TYPE DT	11.00	21	48	10000
130	TYPE DU	11.00	21	48	10000
131	TYPE DV	11.00	21	48	10000
132	TYPE DW	11.00	21	48	10000
133	TYPE DX	11.00	21	48	10000
134	TYPE DY	11.00	21	48	10000
135	TYPE DZ	11.00	21	48	10000
136	TYPE EA	11.00	21	48	10000
137	TYPE EB	11.00	21	48	10000
138	TYPE EC	11.00	21	48	10000
139	TYPE ED	11.00	21	48	10000
140	TYPE EE	11.00	21	48	10000
141	TYPE EF	11.00	21	48	10000
142	TYPE EG	11.00	21	48	10000
143	TYPE EH	11.00	21	48	10000
144	TYPE EI	11.00	21	48	10000
145	TYPE EJ	11.00	21	48	10000
146	TYPE EK	11.00	21	48	10000
147	TYPE EL	11.00	21	48	10000
148	TYPE EM	11.00	21	48	10000
149	TYPE EN	11.00	21	48	10000
150	TYPE EO	11.00	21	48	10000
151	TYPE EP	11.00	21	48	10000
152	TYPE EQ	11.00	21	48	10000
153	TYPE ER	11.00	21	48	10000
154	TYPE ES	11.00	21	48	10000
155	TYPE ET	11.00	21	48	10000
156	TYPE EU	11.00	21	48	10000
157	TYPE EV	11.00	21	48	10000
158	TYPE EW	11.00	21	48	10000
159	TYPE EX	11.00	21	48	10000
160	TYPE EY	11.00	21	48	10000
161	TYPE EZ	11.00	21	48	10000
162	TYPE FA	11.00	21	48	10000
163	TYPE FB	11.00	21	48	10000
164	TYPE FC	11.00	21	48	10000
165	TYPE FD	11.00	21	48	10000
166	TYPE FE	11.00	21	48	10000
167	TYPE FF	11.00	21	48	10000
168	TYPE FG	11.00	21	48	10000
169	TYPE FH	11.00	21	48	10000
170	TYPE FI	11.00	21	48	10000
171	TYPE FJ	11.00	21	48	10000
172	TYPE FK	11.00	21	48	10000
173	TYPE FL	11.00	21	48	10000
174	TYPE FM	11.00	21	48	10000
175	TYPE FN	11.00	21	48	10000
176	TYPE FO	11.00	21	48	10000
177	TYPE FP	11.00	21	48	10000
178	TYPE FQ	11.00	21	48	10000
179	TYPE FR	11.00	21	48	10000
180	TYPE FS	11.00	21	48	10000
181	TYPE FT	11.00	21	48	10000
182	TYPE FU	11.00	21	48	10000
183	TYPE FV	11.00	21	48	10000
184	TYPE FW	11.00	21	48	10000
185	TYPE FX	11.00	21	48	10000
186	TYPE FY	11.00	21	48	10000
187	TYPE FZ	11.00	21	48	10000
188	TYPE GA	11.00	21	48	10000
189	TYPE GB	11.00	21	48	10000
190	TYPE GC	11.00	21	48	10000
191	TYPE GD	11.00	21	48	10000
192	TYPE GE	11.00	21	48	10000
193	TYPE GF	11.00	21	48	10000
194	TYPE GH	11.00	21	48	10000
195	TYPE GI	11.00	21	48	10000
196	TYPE GJ	11.00	21	48	10000
197	TYPE GK	11.00	21	48	10000
198	TYPE GL	11.00	21	48	10000
199	TYPE GM	11.00	21	48	10000
200	TYPE GN	11.00	21	48	10000
201	TYPE GO	11.00	21	48	10000
202	TYPE GP	11.00	21	48	10000
203	TYPE GQ	11.00	21	48	10000
204	TYPE GR	11.00	21	48	10000
205	TYPE GS	11.00	21	48	10000
206	TYPE GT	11.00	21	48	10000
207	TYPE GU	11.00	21	48	10000
208	TYPE GV	11.00	21	48	10000
209	TYPE GW	11.00	21	48	10000
210	TYPE GX	11.00	21	48	10000
211	TYPE GY	11.00	21	48	10000
212	TYPE GZ	11.00	21	48	10000
213	TYPE HA	11.00	21	48	10000
214	TYPE HB	11.00	21	48	10000
215	TYPE HC	11.00	21</		

Superintending Engineer,
HUDA, Circle-II, Gurgaon

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16-770 Vaj 28 Jan 19/3 of 2011 bcded 22/12/2011

That the Layout Plan for an area of 198.035625 acres (Fig. No. 56/GC/TCP-2785 dated 20.9.2011) comprised of licenses which issued in respect of Residential Colony being developed by M/S Enstar MSP Land Ltd. in Sector-62 & 63, Gurgaon, Manesar Urban Complex is hereby approved subject to the following conditions:-

1. That this Layout Plan shall be read in conjunction with the clauses appearing on the agreement executed under Rule 11 and the bilateral agreement.
2. That the plotted area of the colony shall not exceed 5% of the net planned area of the colony. The entire area reserved for commercial purpose shall be taken as plotted for calculation of the area under plot.
3. That the demarcation plans as per size of all the residential, commercial and institutional sites shall be got approved from this Department and construction on these sites shall be governed by the Punjab Scheduled Roads and Controlled Areas Restriction of Unplanned Development Rules, 1965 and the Zoning Plan approved by the Director General, Town & Country Planning, Haryana.
4. That the High-tension lines passing in the colony area shall have to be suitably aligned or right of way along the same shall be maintained as per ISI norms.
5. That for proper planning and integration of services in the area adjacent to the colony, the colonizer shall abide by the directions of the DG/TCP for the modification of layout plans of the colony.
6. That the revenue extra falling in the colony shall be kept free for circulation/movement as shown in the layout plan.
7. That the colonizer shall abide by the directions of the DG/TCP, Haryana and accordingly shall make necessary changes in the layout plan for making any adjustment in the alignment of the peripheral roads, internal road easements or for proper integration of the planning proposals of the adjoining areas of the sectors as shown on the Development Plan.
8. That no part of the plot shall derive access directly from the carriage way of 30 metres or more wide sector road.
9. All green belts provided in the layout plan within the licensed area of the colony shall be developed by the colonizer. All other green belts outside the licensed area shall be developed by the Haryana Urban Development Authority/colonizer on the directions of the Director General, Town & Country Planning Haryana or in accordance with laws and conditions of the provisions of the law.
10. At the time of demolition, if required percentage of NPMU/EWS plots and the area under infrastructure are reduced, the same will be provided by the colonizer in the licensed area.
11. Any excess area over and above the permissible 4% under commercial use shall be deemed to be open space.
12. The maximum number of floors to be built on a plot shall be as per the provision of the Rule 46 of the Rules, 1965. This condition shall also be incorporated in the zoning plan and in the allotment letters being issued by the colonizer to the plot holders. The stipulation shall also be incorporated in the agreement to be executed by the colonizer with the plot buyers.
13. No plot will derive an access from less than 12 metres wide road would mean a minimum clear width of 12 metres between the plots.
14. The portion of the sector/development plan roads /green belts as provided in the Development Plan, which form part of the licensed area shall be transferred free of cost to the government on the lines of section 3(3)(a)(ii) of the Act No. 8 of 1975.
15. The enclosed site plots (except EWS plots which are approved of standard dimensions) are approved subject to the condition that these plots should not have a frontage of less than 72% of the standard frontage when de-saturated and area of no plot shall exceed 2 kanals.
16. There shall be no objection to the regularization of the boundaries of the license through gift and take with the Government/GDA facility alone in the subject of planned development and integration of services. The decision of the competent authority shall be binding in this regard.
17. That the colonizer shall obtain the clearance/NOC as per the provisions of the notification No. S.O. 1833/E Dated 24.8.2006 issued by Ministry of Environment and Forest, Government of India before starting the construction/commencement of developmental work.
18. That the rain water harvesting system shall be provided as per Central Ground Water Authority norms/Haryana Govt. notification as applicable.
19. That the provision of solar water heating system shall be as per norms specified by HAREDA and shall be made operational where applicable before applying for an occupation certificate.
20. That the colonizer/owner shall use only Compact Fluorescent Lamps fitting for internal lighting as well as Campus lighting.
21. That you shall convey the ultimate power load requirement of your power utility to enable the provision of power to the concerned site for transformer/substation/A electric siding station as per the norms prescribed by the power utility in your project site within three months from the approval of zoning plan.

(Signature)
(J.T. C Gupta, IAS)
DG, TCP (HR)

(Signature)
(J.S. REDHU)
CTP (HR)

(Signature)
(JITENDER SHAG)
DTP (HQ)

DETAIL OF PLOTS							
CATEGORY OF PLOT			MOSE OF PLOT (IN ACRE)		AREA OF PLOTS (IN ACRE)	NO. OF	TOTAL
S.NO.	Area	MOSE	MOSE	NO. OF			
1	TYPE A	1130	18.8	33	603.000	30	18000.000
2	TYPE A1	1130	18.8	33	603.000	30	18000.000
3	TYPE A2	1108	18.76	55	1028.275	16	16452.000
4	TYPE B	520	15.42	33	540.600	30	9010.000
5	TYPE B1	520	15.42	27	435.435	123	2114.064
6	TYPE B2	469	14.84	30	582.540	8	6736.000
7	TYPE C	351	10.41	30	351.000	30	9010.000
8	TYPE C1	351	10.41	25	293.227	27	8764.441
9	TYPE C2	351	10.41	45	495.900	30	9010.000
10	TYPE D	267	10.41	25	267.250	264	52672.760
11	TYPE D1 (BUND)	93	5.55	13	101.650	264	7222.592
12							
TOTAL NO. OF PLOTS						1980	34103.520
NET AREA UNDER PLOTTING (IN ACRE)							34.748
NET AREA UNDER PLOTTING (IN HECTARE)							34.748

DETAIL OF NPFL & EWS PLOTS			
	RECURS NO	PROVIDED	
EWS	258	263	
NPFL	327	335	
POPULATION			
NO. OF PLOTS OTHER THAN EWS =		1028	x 13.6 = 13987.4
EWS PLOTS =		263	x 9 = 2367
TOTAL POPULATION			16354.4
DENSITY	1824.8	172.793	= PLANTED PPA
Density for Community facilities			
Year of Project =	1824.8 - 2382.6	1667	
EMI @20 PPA			
PLANTED PPA			

N. Eds.	CONSUMERS' TRADING FIELDS	ACRES			Total Area Requirement
		REQUIRED	PROVIDED	Area	
1	NURSERY SCHOOL	4	4	0.5	0.50
1	PRIMARY SCHOOL	2	3	1	2.00
1	High School	1	1	1	1.00
1	Dispensary	1	1	1.25	1.25
1	Garage	1	1	0.9	0.90
1	Post Office	1	1	0.7	0.70
1	Publications Building	1	1	2	2.00
1	City Community Center	1	1	0.01	0.01
1	Neighborhood Home	1	1	12.547	0.96
1	Taxi Stand	1	2	0.8	1.00
70		1			

DETAILS OF PLOTS		
DESCRIPTION	AREA (sq. m)	Area (Acres)
Plot-1	4050	1.005
Plot-2	4050	1.013
Plot-3	4050	1.009
Plot-4	4725	1.168
Plot-5	7040	1.753
Plot-6	4437	1.095
Total	23249	7.534
Consolidated Plot Area of Total Ctn		6.99%

That this Layout Plan for an area of 198.033525 acres (Ord. No. DG/TCR-2789 dated 20.9.2011) comprised of licenses which were issued in respect of Residential Colony being developed by M/s Emaar MGF Land Ltd. in Sector-62 & 65, Gurgaon Manesar Urban Complex is hereby approved subject to the following conditions:-

1. That this Layout Plan shall read in conjunction with the clauses appearing on the agreement executed under Rule 11 and the bilateral agreement.
2. That the plotted area for colony shall not exceed 35% of the net planned area of the colony. The entire area reserved for commercial purposes shall be taken as plotted for calculation of the area under plot.
3. That the demarcation plans as per site of all the residential, commercial and institutional sites shall be got approved from this Department and construction on these sites shall be governed by the Purba Scheduled Roads and Controlled Areas, Reduction of Unregulated Development Rules, 1965 and the Zoning Plan approved by the Director General, Town & Country Planning, Government of India.
4. That the High-tension lines passing in the colony area shall have to be suitably aligned or right of way along the same shall be maintained as per ISI norms.
5. That for proper planning and integration of services in the area adjacent to the colony, the colonizer shall abide by the directions of the DG/TCR for the modification of layout plan of the colony.
6. That the revenue stairs falling in the colony shall be kept free for circulation/movement as shown in the layout plan.
7. That the colonizer shall abide by the directions of the DG/TCR, Haryana and accordingly shall make necessary charges in the layout plan for making any adjustment in the alignment of the peripheral roads, internal road circulation or for proper integration of the planning proposals of the adjoining areas of the sectors as shown on the Development Plan.
8. That no property/plot shall derive access directly from the carriage way of 30 metres or more wide road or highway.
9. All green belts provided in the layout plan within the licensed area of the colony shall be developed by the colonizer. All other green belts outside the licensed area shall be developed by the Haryana Urban Development Authority/Colonizer on the directions of the Director General, Town & Country Planning Haryana or in accordance with the terms and conditions of the agreements of the plots.
10. At the time of demarcation, if required percentage of NPM/ FWS plots and the area under infrastructure are reduced, the same will be provided by the colonizer in the licensed area.
11. Any excess area over and above the permissible 4% under commercial use shall be deemed to be open space.
12. The maximum number of dwelling units in a plot shall be as per the provisions of the Rule 49 of the Rules, 1965. This condition shall also be incorporated in the zoning plan of the site and the same shall be issued by the colonizer to the plot holders. The stipulation shall also be incorporated in the agreement to be executed by the colonizer with the plot buyers.
13. No plot will derive an access from less than 12 metres wide road would mean a minimum clear width of 12 metres between the plots.
14. The portion of the layout/development plan plots/ green belts as provided in the Development Plan, which form part of the licensed area shall be transferred free of cost to the government on the lines of section 3X(a)(ii) of the Act No.8 of 1975.
15. That the third side plots (except FWS plots) which are approved of standard dimensions) are being approved subject to the condition that the third side plot shall have a frontage of less than 75% of the standard frontage when demarcated and area of the plot shall exceed 2 plots.
16. That no one will have no objection to the regularization of the boundaries of the licence through give and take with the HUDA to finally settle to require in the interests of planned development and integration of services. The decision of the competent authority shall be binding in this regard.
17. That the colonizer shall abide by the provisions of the Notification No. S.O. 1533 (F) Dated 14.8.2006 issued by Ministry of Environment and Forest, Government of India before starting the construction/execution of development works in it.
18. That the rain water harvesting system shall be provided as per Central Ground Water Authority norms/Haryana Govt. notification on this subject.
19. That the provision of solar water heating system shall be as per norms specified by HAREDA and shall be made operational where applicable before applying for an occupation certificate.
20. That the colonizer/owner shall use only Compact Fluorescent lamps fitting for internal lighting as well as Camps lighting.
21. That the colonizer shall convey the ultimate power load requirement of your power utility to enable the provision of project to the concerned site for transformer/substation from the approved sub station as per the norms prescribed by the power utility in your project site within three months from the approval of zoning plan.

(JITENDER SIHAG)
DTP (HQ)

(J. S. REDHU
CTP (HR)

(T. C. GUPTA, IAS)
DG, TCP (HR)

Checked subject to comments
in forwarding letter & 14516
Dt. 5/12/14 and note attached
with the estimate

Executive Engineer
for Chief Engineer
HUDA Panchkula

Superintending Engineer
HUDA, Circle-II, Gurgaon

For Service certificate on
Executive Engineer
HUDA Division No. 1
GURGAON

LEGEND

C1108	140mmØ Water Supply Length	1104.2 Meter
C1109	160mmØ Water Supply Length	268.7 Meter
C5100	200mmØ Water Supply Length	2109 Meter ✓
C1108	250mmØ Water Supply Length	303 Meter
C1109	300mmØ Water Supply Length	408 Meter
	TOTAL WATER SUPPLY LENGTH	1664.7 Meter

SV Sluice valve
FH fire Hydrant

LEGEND
WATER PIPE LINE

	52.351 Acres
	42.94405 Acres
	102.7412 Acres