

To be read with Licence No. 87 of 2019 Dated 2/8/2019

This Layout plan for an area measuring 10.475 acres under migration [an area measuring 9.415 acres from Licence No. 1172-1177 of 2006 granted for Plotted Colony (51.10 acres) & an area measuring 1.06 acres from Licence No. 495-521 of 2006 granted for Plotted Colony (17.79 acres)]. Drawing No. DTPC-7069 dated 26.07.2019 is hereby approved subject to the following conditions:

- That the Layout Plan shall be read in conjunction with the clauses appearing on the agreement executed under Rule 11 and the bilateral agreement.
- That the plotted area of the colony shall not exceed 65% of the net planned area of the colony. The entire area reserved for commercial purposes shall be taken as plotted for calculation of the area under plots.
- That the demarcation plans as per site of all the Residential Plots and Commercial site shall be got approved from this Department and construction on these sites shall be governed by the Haryana Building Code, 2017 and the Zoning Plan approved by the Director, Town & Country Planning, Haryana.
- That for proper planning and integration of services in the area adjacent to the colony, the colonizer shall abide by the directions of the DTPC for the modification of layout plans of the colony. The colonizer shall abide by the directions of the DTPC for the modification of layout plans of the colony.
- That the colonizer shall abide by the directions of the DTPC, Haryana and accordingly shall make necessary changes in the layout plan for making any adjustment in the alignment of the peripheral roads, internal road circulation or for proper integration of the planning proposals of the adjoining areas.
- That no property/plot shall derive access directly from the carriage way of 30 metres or wider sector road if applicable.
- All green belts provided in the layout plan within the licensed area of the colony shall be developed by the colonizer. All other green belts outside the licensed area shall be developed by the Haryana Urban Development Authority/colonizer on the directions of the Director, Town and Country Planning, Haryana or in accordance with terms and conditions of the agreements of the licence.
- At the time of demarcation plan, if required percentage of organized open space is reduced, the same will be provided by the colonizer in the licensed area.
- No site will derive an access from less than 9 metres wide road would mean a minimum clear width of 9 metres between the plots.
- Any excess area over and above the permissible 4% under commercial use shall be deemed to be open space.
- The portion of the sector/development plan roads (green belts as provided in the Development Plan if applicable, which form part of the licensed area shall be transferred free of cost to the government on the lines of Section 3(3)(a)(ii) of the Act No. 8 of 1975.
- That the odd size plots are being approved subject to the conditions that these plots should not have a frontage of less than 7.5% of the standard frontage when demarcated.
- That you will have no objection to the regularization of the boundaries of the licence through give and take with the direction of the competent authority shall be binding in this regard.
- That the rain water harvesting system shall be provided as per Central Ground Water Authority norms/Haryana Govt. notification as applicable.
- That the colonizer/owner shall use only Light Emitting Diode Lamps (LED) fitting for internal lighting as well as Camp lighting.
- That the colonizer/owner shall ensure the installation of Solar Photovoltaic Power Plant as per the provisions of order No. 22/2009-SP/ver dated 21.03.2016 issued by Haryana Government Renewable Energy Department.
- That the colonizer/owner shall strictly comply with the directions issued vide Notification No. 19A/2016-59 dated 31.03.2016 issued by Haryana Government Renewable Energy Department for enforcement of the Energy Conservation Building Codes.
- That you shall get re-align 220 KV HT line otherwise shall submit the revised layout plan for approval duly providing maintaining the required ROW under the same. The plots provided below the HT line shall be frozen till shifting of the same.

(V) UNDER SIGNATURE (DTPC) (P) S. SINGH (DTPC) (J) TENDERA (SHAG) CTP (HR) (K. NARAYAN PANDURANG, IAS) DTPC (HR)

(N) NARENDER KUMAR (ATYHQ) (D) DINESH KUMAR (SOHQ) (R) RAMANDEHAR (JOHQ)



PROPOSED 10.475 ACRE PROJECT UNDER DDJAY, SECTOR -81, FARIDABAD

AREA STATEMENT

	Acres	SQM
TOTAL SITE AREA	10.475	42390.75
PERMISSIBLE MAX AREA FOR RESIDENTIAL + COMMERCIAL (65%)	6.809	27553.99
PERMISSIBLE MAX AREA COMMERCIAL (4%)	0.419	1695.63
PERMISSIBLE AREA FOR RESIDENTIAL (61%)	6.390	25858.36
PROPOSED AREA FOR COMMERCIAL (4%)	0.419	1695.63
AREA PROPOSED FOR RESIDENTIAL PLOTS (59.67%)	6.250	25293.73
TOTAL AREA PROPOSED UNDER COMMERCIAL + RESIDENTIAL PLOTS (63.67%)	6.669	26989.36
PERMISSIBLE RESIDENTIAL PLOT (MINIMUM/MAXIMUM)	186	310
ACHIEVED DENSITY (PPA)		244 PPA
50% RESIDENTIAL AREA FROZEN BY THE DEPARTMENT UNDER DDJAY (REQUIRED)	3.125	12646.86
RESIDENTIAL AREA FROZEN BY THE DEPARTMENT UNDER DDJAY - 2016 (PROPOSED = 50.23%)	3.139	12704.02
AREA REQD FOR THE TRANSFER OF 10% AREA OF THE LICENSED COLONY FREE OF COST TO THE GOVERNMENT FOR THE PROVISION OF COMMUNITY FACILITIES	1.048	4239.08
AREA PROPOSED FOR COMMUNITY FACILITIES (10%)	1.048	4239.08
AREA REQUIRED UNDER GREEN = 7.5% OF PLOT AREA	0.786	3179.31
AREA PROPOSED UNDER GREEN (7.5%)	0.786	3179.31
MINIMUM AREA REQ. IN SINGLE PLOT UNDER CONSOLIDATED GREEN	0.300	1214.06
PROPOSED GREEN IN SINGLE PLOT - A	0.786	3179.31
PROPOSED NUMBER OF RESIDENTIAL PLOT	189	

TOTAL RESIDENTIAL PLOT AREA CALCULATIONS

PLOT TYPE	PLOT NUMBERS	SHAPE	PLOT DIMENSIONS (M)	NO. OF PLOTS	PLOT AREA	PLOT AREA
A	A1	TRAPEZOID	(16.70 + 8.64) / 2 X (19.50 + 19.40) / 2	1	149.18	149.18
	A2-A23	RECTANGLE	8.52 X 17.60	22	149.95	3298.94
	B1-B8 & B15-B22	RECTANGLE	17.21 X 8.50	16	146.29	2340.56
	B9-B14	RECTANGLE	17.21 X 8.67	6	149.21	895.26
	B23-B42	RECTANGLE	17.64 X 8.50	20	149.94	2998.80
	B43	RECTANGLE	17.64 X 7.64	1	134.77	134.77
	B45-B64 & B67-B86	RECTANGLE	14.29 X 8.50	40	121.47	4858.60
	B87-B88	RECTANGLE	14.29 X 7.64	4	109.18	436.70
	B89-B98	RECTANGLE	17.58 X 7.64	1	134.31	134.31
	B99	RECTANGLE	17.58 X 8.50	10	149.43	1494.30
	C1-C66	RECTANGLE	14.29 X 8.75	66	125.04	8252.48
	D1-D2	RECTANGLE	15.78 X 9.50	2	149.91	299.82
TOTAL				189		25293.73

COMMERCIAL PLOT AREA DETAIL

PLOT	SHAPE	PLOT DIMENSIONS	PLOT AREA
S1	RECTANGLE	17.00 X 99.74	1695.63
TOTAL AREA UNDER COMMERCIAL			1695.63

TRANSFER OF 10% OF AREA OF LICENSED COLONY FREE OF COST TO THE GOVERNMENT FOR THE PROVISION OF COMMUNITY FACILITIES

PLOT	SHAPE	PLOT DIMENSIONS	PLOT AREA
Community	As/Drawing	PLINE AREA AS/DRAWING	4239.08

TOTAL PLOT CALCULATION

BLOCK	NUMBER OF PLOTS
A	23
B	98
C	66
D	2
TOTAL PLOT CALCULATION	189

STP, UGT & ET

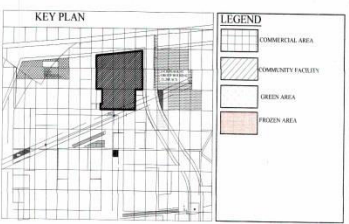
PLOT TYPE	SHAPE	AREA
STP	PLINE AREA AS/DRAWING	100.00
UGT	PLINE AREA AS/DRAWING	100.00
ESS	PLINE AREA AS/DRAWING	90.00
TOTAL AREA		290.00

GREEN AREA CALCULATION

PLOT/POCKET	SHAPE	PLOT AREA
AREA IN POKET - A	AREA PLINE	3180.00
TOTAL GREEN AREA = A		3180.00

POPULATION DENSITY CALCULATION

TOTAL PLOT AREA	10.475 ACRES
PERMISSIBLE DENSITY	
NUMBER OF PERSONS/PLOT	13.5 PERSONS
MINIMUM NUMBER OF PLOTS REQUIRED	186 PLOTS
MAXIMUM NUMBER OF PLOTS REQUIRED	310 PLOTS
PROPOSED NUMBER OF PLOTS	189 PLOTS
ACHIEVED DENSITY	244 PPA



SUBMISSION DRAWING

DRAWING TITLE	DRG NUMBER
SITE PLAN	S-03-A

PROJECT TITLE :
PROPOSED LAYOUT PLAN FOR AFFORDABLE PLOTTED COLONY UNDER DDJAY SCHEME FOR AN AREA MEASURING 10.475 ACRE IN SECTOR -81, FARIDABAD

SCALE: 1CM=10MTR

DATE: 25 OCT 18

Authorized Signatory: [Signature]

Architect: Town Planner

CLIENT: COUNTRYWIDE PROMOTERS PVT. LTD
 REGD OFFICE: M-11, MIDDLE CIRCLE
 CONNAUGHT CIRCUS, NEW DELHI-110001