

भारतीय गैर न्यायिक

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RUPEES

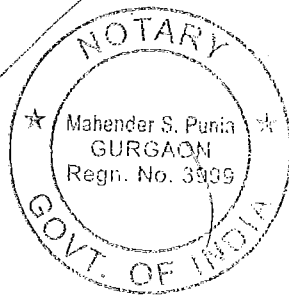
Rs.10

INDIA NON-JUDICIAL

हरियाणा HARYANA

44AA 528690

This stamp paper forms an integral part of the attached Declaration - cum - Affidavit.



Handwritten signature

DECLARATION, SUPPORTED BY AN AFFIDAVIT, WHICH SHALL BE SIGNED BY THE PROMOTER OR ANY PERSON AUTHORIZED BY THE PROMOTER

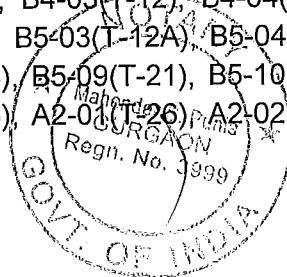
Affidavit cum Declaration of Mr. Sanjay Sharma duly authorized by Emaar MGF Land Limited, being the promoter of the project ("Promoter"), vide its board resolution dated 25 May 2017;

I, Sanjay Sharma, am duly authorized by the Promoter do hereby solemnly declare, undertake and state as under:

1. That the Promoter has a legal and a valid title/right to the land on which the development of the Palm Hills project is being carried out and a legally valid authentication of title of such land along with an authenticated copy of the agreement between the owner(s) and Promoter for development of the real estate project is enclosed along with the application for registration of the project.
2. That there are no encumbrances including details of any rights, title, interest, dues, litigation and name of any party in or over such land. Non Encumbrance certificate is enclosed along with the application for registration of the project.
3. That the Promoter has been developing Group Housing project on land admeasuring 29.346 acres in sector 77, Village Shikohpur, Tehsil and District Gurugam in terms of licenses bearing Nos. 56 of 2009 dated 31.08.2009, and licence no.62 of 2013 dated 5.08.2013. The Group Housing Project being developed is hereinafter referred to as "The Palm Hills". The Project Palm Hills comprises of 207801.26 sq meters sanction FAR comprising of apartment buildings, EWS, neighbourhood shopping, community center, Multi Level Car Parking and other amenities and can be described in the following manner:

(A) Completed Project - Occupation Certificate has been issued by the Competent Authority for Towers nos. B1-01 (T-48), B1-02(T-47), B1-03(T-40), B1-04(T-44), B1-05(T-43), B1-06(T-33), B1-07(T-36), B2-01(T-49), B2-02(T-50), B2-03(T-51), B2-04(T-52), B2-05(T-53), B2-06(T-35), B2-07(T-34), B2-08(T-42), B2-09(T-41), B2-10(T-46), B2-11(T-45), B3-01(T-54), B6-01(T-39), B6-02(T-55), B7-01(T-38), B7-02(T-56), B8-01(37), B8-02(T-57) on an area of 40930.599 sq. mtrs herein after referred to as the **Completed Project**. The **Completed Project** is shown as Orange colour in the sanctioned plan at Annexure 9. The Completed Project is exempt from Registration in terms of Haryana Real Estate (Regulation and Development) Rules, 2017 ("HRERA Rules"). Copy of the Occupation Certificate received from the competent authority is annexed as **Annexure 8**.

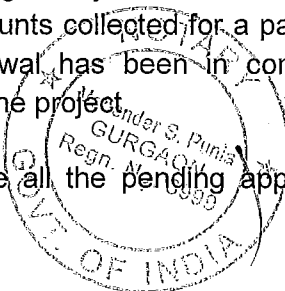
(B) OC Applied Area - The Applicant Company has applied in the prescribed format to the Competent Authority for issuance of Occupation Certificate for Tower nos. B4-01(T-8), B4-02(T-11), B4-03(T-12), B4-04(T-19), B4-05(T-20), B4-06(T-24), B5-01(T-9), B5-02(T-10), B5-03(T-12A), B5-04(T-14), B5-05(T-15), B5-06(T-16), B5-07(T-17), B5-08(T-18), B5-09(T-21), B5-10(T-22), B5-11(T-23), A1-06(T-29), A1-07(T-28), A1-08(T-25), A2-01(T-26), A2-02(T-31), A2-03(T-30), A3-01(T-32),



EWS (24 towers +EWS) on an area measuring 56742.765 sq mtrs, herein after referred to as **OC Applied Area**. The **OC Applied Area** is shown as Blue colour in the sanctioned Plan at Annexure 9. Copy of the application submitted by the Applicant Company is attached in **Annexure 8**.

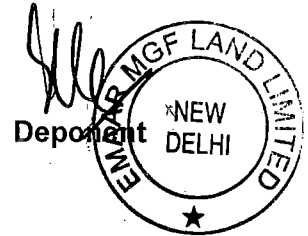
(C) Registered Area : - The Applicant Company has applied in the prescribed format for the registration of Tower nos. B9-01(T-64), B9-02(T-66B), B10-01(T-66A), B10-02(T-66), B10-03(T-65), B11-01(T-82), B11-02(T-83), A1-01(T-67), A1-02(T-69), A1-03(T-71), A1-04(T-76), A1-05(T-78), A2-04(T-68), A2-05(T-77), A4-01(T-58), A4-02(T-61), Community Building, MLCP, Shopping (16 towers and other facilities) on area measuring 45425.87 sq. meters, herein after referred to as "**Registered Area**". The Registered Area has already been registered under RERA vide Registration no. 256 of 2017 dated 3.10.2017. Registered Area is shown as Pink color in the sanctioned Plan at Annexure 9.

4. It is further submitted that as per sanctioned Building plans, there are yet to be launched and yet to be constructed 8 Towers , herein after referred to as Un-launched Project. The Un-launched Project is shown in Green color in the Sanctioned Plans at Annexure 9 in the application for registration. The Applicant is applying for registration of two towers on 14271.558 sq meters (Tower no. A and B) out of the Un-launched Project and same is hereinafter referred to as "New Project". That the New Project shall be completed on or before 28 February 2022. The New Project is shown in Yellow color in the Sanctioned Plans attached as Annexure 9 with the application for registration. It is, however, pertinent to note that the common areas, facilities and amenities in the entire group are common for all allottees of the entire Palm Hills project.
5. That seventy per cent of the amounts realised by the Promoter from the allottees, from time to time, shall be deposited in a separate account to be maintained in a scheduled bank to cover the cost of construction and the land cost and shall be used only for that purpose.
6. That the amounts from the separate account, to cover the cost of the project, shall be withdrawn by the Promoter in proportion to the percentage of completion of the project.
7. That the amounts from the separate account shall be withdrawn by the Promoter after it is certified by an engineer, an architect and a chartered accountant in practice that the withdrawal is in proportion to the percentage of completion of the project.
8. That the Promoter shall get the accounts audited within six months after the end of every financial year by a chartered accountant in practice, and shall produce a statement of accounts duly certified and signed by such chartered accountant and it shall be verified during the audit that the amounts collected for a particular project have been utilised for the project and the withdrawal has been in compliance with the proportion to the percentage of completion of the project.
9. That the Promoter shall take all the pending approvals on time, from the competent authorities.



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10. That the Promoter has furnished such other documents as have been prescribed by the Real Estate (Regulation and Development) Act, 2016 and the rules and regulations made thereunder.
11. That the Promoter shall not discriminate against any allottee at the time of allotment of any apartment, plot or building, as the case may be, on the grounds of sex, cast, creed, religion etc.



VERIFICATION

The contents of my above Affidavit cum Declaration are true and correct and nothing material has been concealed by me therefrom.

Verified by me at Gurugram on this 07th day of December 2017.



ATTESTED
MAHENDER S. PUNIA
ADVOCATE & NOTARY
DISTT. GURGAON (Haryana) India