

BR-III
(See Rule 44)
DIRECTORATE OF TOWN & COUNTRY PLANNING, HARYANA
SCO-71-75, SECTOR-17-C, CHANDIGARH.
Tele-Fax: 0172-2548475; Tel.: 0172-2549851, E-mail: tcphry@gmail.com
Website www.tcpharyana.gov.in

Memo No. ZP-869-A/AD(RA) /2016/ 2034 Dated:- 29/1/2016

To

Sh. Ajit Kumar and others,
C/o Raheja Developers Pvt. Ltd
215-216, Rectangle One,
D-4, District Centre, Saket,
New Delhi.

Subject:-Approval of building plans of Group Housing Scheme measuring 9.23 acres falling in the Residential Plotted Colony on area measuring 107.85 acres (License No. 25 of 2012 dated 29.03.2012) in Sector-11 & 14, Sohna being developed by Sh. Ajit Kumar and others in collaboration with Raheja Developers Pvt. Ltd.

Reference your application dated 25.03.2015 & subsequent letter dated 10.01.2016 for permission to erect the buildings in Group Housing Scheme measuring 9.23 acres falling in the Residential Plotted Colony in Sector-11 & 14, Sohna in accordance with the plans submitted with it.

Permission is hereby granted for the aforesaid construction subject to the provisions of the Punjab Scheduled Roads & Controlled Areas Restriction of Unregulated Development Act, 1963, its rules and the zoning plan framed there under along with special reference to following conditions:-

1. The plans are valid for a period of 2 years of the buildings less than 15.00 meters in height and 5 years for the multistoried buildings from the date of issuance of sanction, subject to validity of licenses granted for this scheme.
2. The structural responsibility of the construction shall be entirely of the owner/ supervising architect/ Engineer of the scheme.

Further that: -

- a) The building shall be constructed as per the structure design submitted by you and as certified by your structure engineer that the same has been designed as per the provisions of NBC and relevant IS code for all seismic load, all dead and live loads wind pressure and structural safety from earthquake of the intensity expected under Zone-IV.
- b) All material to be used for erection of building shall conform to I.S.I. and N.B.C. standards.
- c) No walls/ceiling shall be constructed of easily inflammable material and staircases shall be built of the fire resisting material as per standard specification.
- d) The roof slab of the basement external to the buildings if any shall be designed/ constructed to take the load of fire tender up to 45 tones.

3. FIRE SAFETY:

- (i) The colonizer firm and the Supervising Architect of the project shall be entirely responsible for making provisions of fire safety and fire fighting measures and shall abide by all fire safety bye laws.
 - (ii) That you shall get approved the fire fighting scheme in accordance with the section 15 of The Haryana Fire Safety Act 2009 and directions issued by the Director, Haryana Fire Service, Haryana, before starting the construction work at site.
4. The provision of letter boxes for each dwelling unit shall be made at the ground floor of each building.
 5. No addition and alteration in the building plans/ layout plan shall be made without the prior approval of DG, TCP. Further only figured dimensions shall be followed and in case of any variation in the plans, prior approval of DG, TCP shall be pre-requisite.
 6. That you shall furnish the service plan/ estimate of this scheme in accordance with approved building plans.
 7. Based on the actual estimated cost of internal development of the group housing colony you shall furnish additional bank guarantee, if required.
 8. The revenue Rasta if any passing through the site shall be kept unobstructed.
 9. If any infringement of byelaws remains unnoticed, the department reserves the right to amend the plan as and when any such infringement comes to its notice after giving an opportunity of being heard and the department shall stand indemnified against any claim on this account.
 10. The layout showing the electric installation shall have to be got approved from the competent authority before execution of work at site.
 11. No person shall occupy or allow any other person to occupy any new building or part of the same for any purpose what so ever until such building or part thereof has been certified by the Director General or any person authorized by him in this behalf as having been completed in accordance with the permission granted and an occupation certificate in prescribed form has been duly issued in your favour.
 12. Before grant of occupation certificate, you shall apply for occupation certificate as per the provisions of Rule 47 (1) of the Punjab Schedule Roads and Controlled Areas Restriction of Unregulated Development Rules, 1965 which shall be accompanied by certificates regarding completion of works described in the plans and it shall be accompanied by:
 - (i) DPC certificate issued by DTP.
 - (ii) Structural stability certificate duly signed by the recognized Architect & Structural Engineer.
 - (iii) A clearance from Fire Safety point of view from the competent authority.
 13. The basements shall be used for parking and services as prescribed in the approved zoning plan and building plans. The parking lots proposed in the scheme shall be

exclusively for the use of flat owners/residents of the group housing scheme. The parking lot shall not be leased out /transferred to any person who is not a flat owners /residents of the group housing complex.

14. You shall comply with the conditions laid down in the Memo No. 287 dated 04.06.2015 of Superintending Engineer (HQ), HUDA, Panchkula (copy enclosed).

15. GENERAL: -

- (i) That the colonizer shall obtain the clearance/NOC as per the provisions of the Notification No. S.O. 1533 (E) Dated 14.09.2006 issued by Ministry of Environment and Forest, Government of India before starting the construction/execution of development works at site.
- (ii) That the rain water harvesting system shall be provided as per Central Ground Water Authority norms/Haryana Govt. notification as applicable.
- (iii) That the provision of solar water heating system shall be as per norms specified by HAREDA and shall be made operational in the each building block before applying for an occupation certificate.
- (iv) That the colonizer/owner shall use only Light-Emitting Diode lamps (LED) fitting for internal lighting as well as Campus lighting.
- (v) That you shall submit the scanned copy of the approved building plans of this scheme to this office from the issuance of this letter.
- (vi) That you shall deposit the labour cess in future, time to time as per construction of work done at site.
- (vii) That if any, site for Electric Sub Station is required same will be provided by you in the group housing colony.
- (viii) That you shall abide by the policies issued by the Department regarding allotment of EWS flats time to time.
- (ix) That provision of parking shall be made within the area earmarked /designated for parking in the colony and no vehicle shall be allowed to park outside the premises.
- (x) That you shall follow provisions of section 46 of 'The Persons with Disabilities (Equal Opportunities, protection of Rights and full Participation) Act, 1995' which includes constructions of Ramps in public buildings, adaption of toilets for wheel chair users, Braille symbols and auditory signals in elevators or lifts and other relevant measures for Hospitals, Primary Health Centre and other medical care and rehabilitation units.
- (xi) You shall ensure the installation of solar photovoltaic power plant as per provision of Notification no. 22/52/2005-5 power dated 03.09.2014 of Haryana Government Renewable Energy Department.
- (xii) That the Colonizer shall submit the NOC from AAI before raising construction above 30.00 Metres height of the building blocks.

16. **Environment:-**

- (i) That you shall strictly comply with the directions of MOEF Guidelines, 2010 while raising construction.
- (ii) You shall put tarpaulin on scaffolding around the area of construction and the building. You are also directed that you shall not store any construction material particularly sand on any part of the street/road.
- (iii) The construction material of any kind that is stored in the site will be fully covered in all respects so that it does not disperse in the Air in any form.
- (iv) All the construction material and debris shall be carried in the trucks or other vehicles which are fully covered and protected so as to ensure that the construction debris or the construction material does not get dispersed into the air or atmosphere, in any form whatsoever.
- (v) The dust emissions from the construction site should be completely controlled and all precautions taken in that behalf.
- (vi) The vehicles carrying construction material and construction debris of any kind should be cleaned before it is permitted to ply on the road after unloading of such material.
- (vii) Every worker working on the construction site and involved in loading, unloading and carriage of construction material and construction debris shall be provided with mask to prevent inhalation of dust particles.
- (viii) Every owner and or builder shall be under obligation to provide all medical help, investigation and treatment to the workers involved in the construction of building and carry of construction material and debris relating to dust emission.
- (ix) It shall be the responsibility of every owner/builder to transport construction material and debris waste to construction site, dumping site or any other place in accordance with rules and in terms of this order.
- (x) All to take appropriate measures and to ensure that the terms and conditions of the earlier order and these orders should strictly comply with by fixing sprinklers, creations of green air barriers.
- (xi) Compulsory use of wet jet in grinding and stone cutting.
- (xii) Wind breaking walls around construction site.
- (xiii) That you shall ensure that least dust has emitted into air/atmosphere and all steps are taken to prevent the same.
- (xiv) That you shall increase the 'tree cover' area by planting large number of trees of various species depending upon the quality content of soil and other natural attendant circumstances.
- (xv) That you shall provide the green belt around the building which is to be constructed.

- (xvi) If any person, owner and or builder is found to be violating any of the conditions stated in this order and or for their non-compliance such person, owner, builder shall be liable to pay compensation of ₹ 50,000/- per default in relation to construction activity at its site and ₹ 5,000/- for each violation during carriage and transportation of construction material, debris through trucks or other vehicles, in terms of Section 15 of the NGT Act on the principle of Polluter Pay. Such action would be in addition not in derogation to the other action that the Authority made take against such builder, owner, person and transporter under the laws in force.
- (xvii) All the owners/builders shall ensure that the construction & demolition waste shall be removed from the site and transported to the solid waste disposal site.
- (xviii) It is made clear that even if constructions have been started after seeking Environmental Clearance under the EIA notification 2006 and after taking other travel but is being carried out without taking the preventive and protective environmental steps as stated in this order and MOEF guidelines, 2010, the State Government, SPCB and any officer of any department as aforesaid shall be entitled to direct stoppage of work

This sanction will be void abinitio, if any of the conditions mentioned above are not complied with.

DA/As Above


(S.K. Sehrawat)
District Town Planner (HQ),
Member Secretary,
For: Chief Town Planner, Haryana-cum- Chairman,
Building Plan Approval Committee.

Memo No. ZP-869-A/AD(RA)/2016/_____

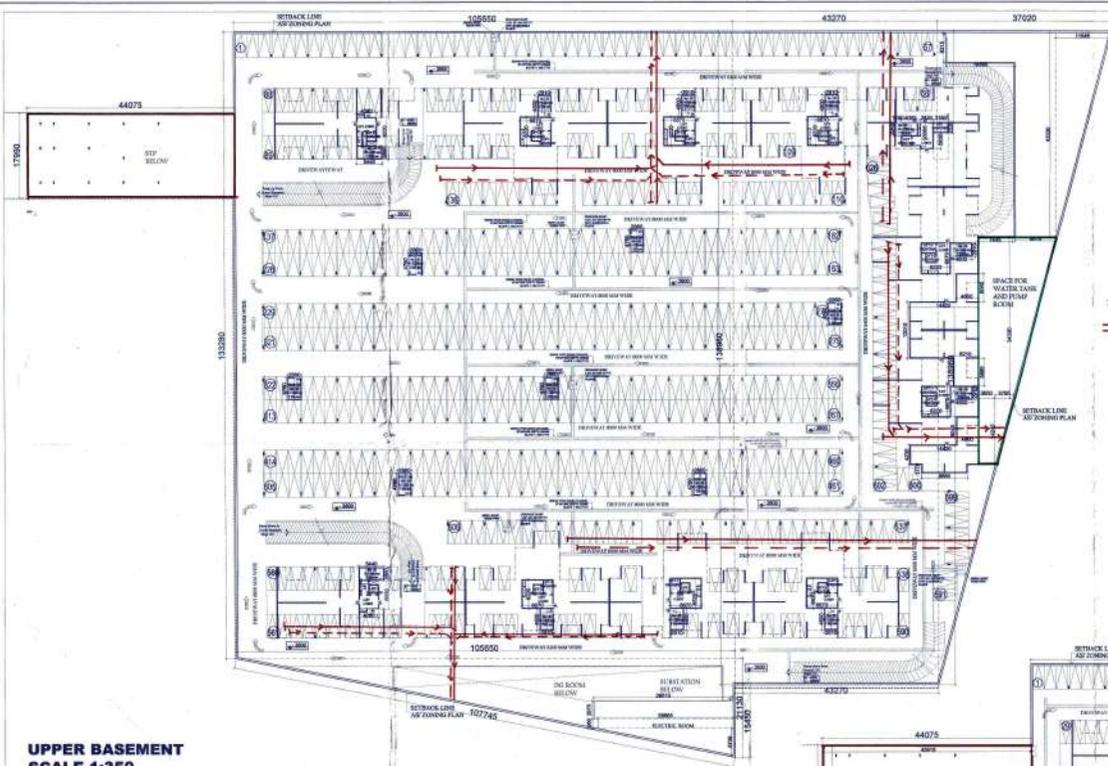
Dated:-_____

A copy is forwarded to the following for information: -

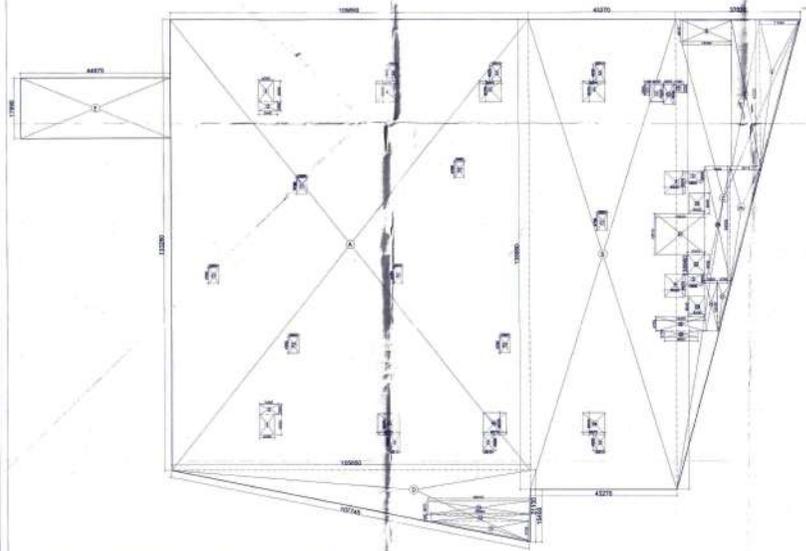
1. Haryana State Pollution Control Board, Panchkula with the request that the compliance of the instructions issued by NGT shall be monitored and strict compliance to be ensured.
2. Administrator, HUDA, Gurgaon.
3. Senior Town Planner, Gurgaon.
4. Superintending Engineer (HQ) HUDA, Panchkula.
5. District Town Planner, Gurgaon alongwith one set of building plans.
6. District Town Planner (Enf.), Gurgaon.
7. District Town Planner (HQ) PPS.

DA/As Above


(S.K. Sehrawat)
District Town Planner (HQ),
Member Secretary,
For: Chief Town Planner, Haryana-cum- Chairman,
Building Plan Approval Committee.



**UPPER BASEMENT
SCALE 1:350**

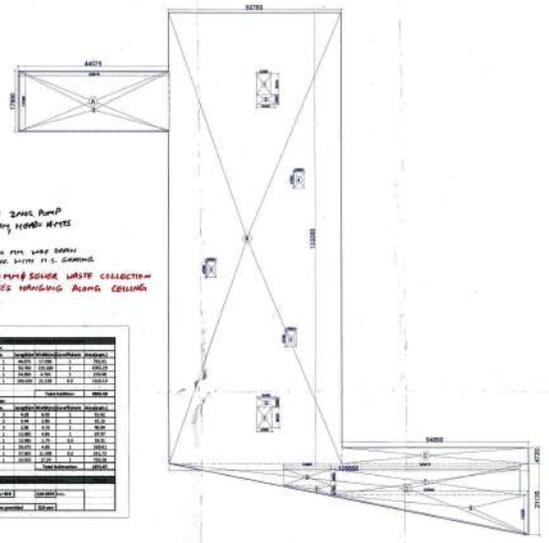


**AREA DIAGRAM UPPER BASEMENT
SCALE 1:500**

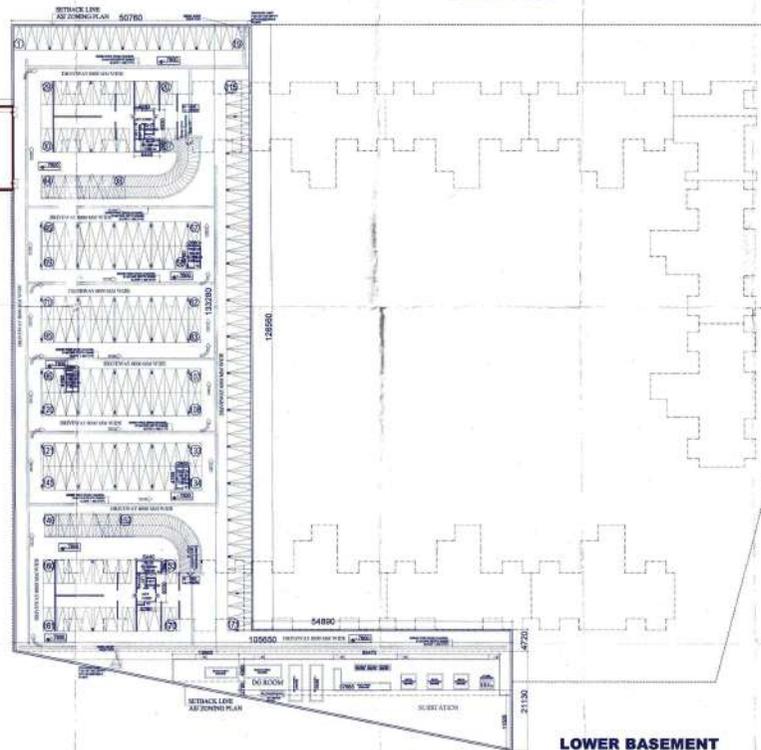
Land WITH 2000 PUMP
CAPS 550MM, 10000 METRES

200 PUMP WATER SUPPLY
200 PUMP SOLID WASTE COLLECTION
RPE'S HANGING ABOVE CEILING

Sl. No.	Room Name	Area (sq. m)	Perimeter (m)	Volume (cu. m)
1	GRABBER WATER TANK AND PUMP ROOM	100.00	100.00	100.00
2	STAIR	100.00	100.00	100.00
3	STAIR	100.00	100.00	100.00
4	STAIR	100.00	100.00	100.00
5	STAIR	100.00	100.00	100.00
6	STAIR	100.00	100.00	100.00
7	STAIR	100.00	100.00	100.00
8	STAIR	100.00	100.00	100.00
9	STAIR	100.00	100.00	100.00
10	STAIR	100.00	100.00	100.00
11	STAIR	100.00	100.00	100.00
12	STAIR	100.00	100.00	100.00
13	STAIR	100.00	100.00	100.00
14	STAIR	100.00	100.00	100.00
15	STAIR	100.00	100.00	100.00
16	STAIR	100.00	100.00	100.00
17	STAIR	100.00	100.00	100.00
18	STAIR	100.00	100.00	100.00
19	STAIR	100.00	100.00	100.00
20	STAIR	100.00	100.00	100.00
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23	STAIR	100.00	100.00	100.00
24	STAIR	100.00	100.00	100.00
25	STAIR	100.00	100.00	100.00
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31	STAIR	100.00	100.00	100.00
32	STAIR	100.00	100.00	100.00
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85	STAIR	100.00	100.00	100.00
86	STAIR	100.00	100.00	100.00
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89	STAIR	100.00	100.00	100.00
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91	STAIR	100.00	100.00	100.00
92	STAIR	100.00	100.00	100.00
93	STAIR	100.00	100.00	100.00
94	STAIR	100.00	100.00	100.00
95	STAIR	100.00	100.00	100.00
96	STAIR	100.00	100.00	100.00
97	STAIR	100.00	100.00	100.00
98	STAIR	100.00	100.00	100.00
99	STAIR	100.00	100.00	100.00
100	STAIR	100.00	100.00	100.00



**AREA DIAGRAM LOWER BASEMENT
SCALE 1:500**



**LOWER BASEMENT
SCALE 1:350**

NOTE:-

1. ALL DIMENSIONS ARE IN MM.
2. ALL LEVELS IN METERS UNDO
3. DO NOT SCALE THE DRAWING; WORK TO WRITTEN DIMENSIONS ONLY.
4. ALL STRUCTURAL MEMBERS ARE INDICATIVE, FOR EXACT SIZES REFER STR. DRAWINGS
5. SIZES OF R/P PIPES SHOULD BE REVIEWED AS RAINFALL DATA
6. FOR ALL MANHOLE CONNECTION REFER SITE PLAN

PROJECT:-
PROPOSED BUILDING PLAN OF GROUP HOUSING SITE MEASURING 9.23 ACRES FALLING IN THE RESIDENTIAL PLOTTED COLONY OF AREA MEASURING 166.53125 ACRES (LICENCE NO-25 OF 2012 DATED 29-03-2012 & LICENCE NO-19 OF 2014 DATED 11-06-2014) IN SECTOR 11 & 14, BEING DEVELOPED BY RAHEJA DEVELOPERS LTD. AND OTHER AT SOHNA

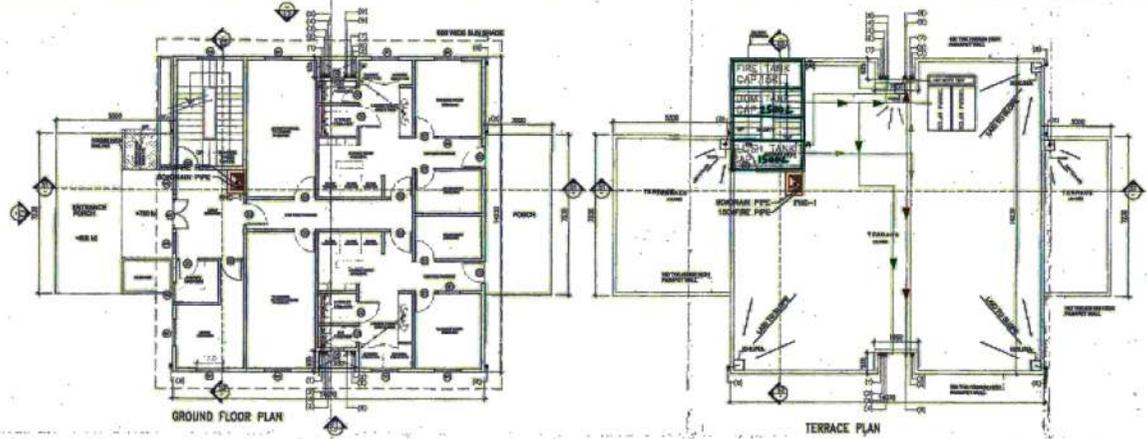
DRAWING TITLE
BASEMENT FLOOR PLANS & AREA DIAGRAMS

OWNER'S SIGNATURE ARCHITECT

For Raheja Develop
Authorized Signatory

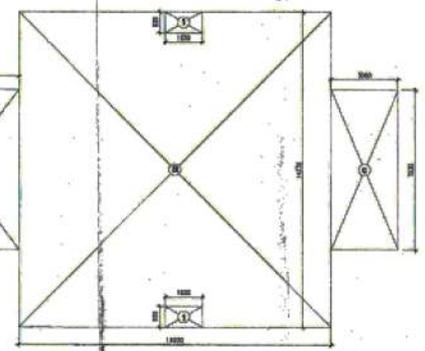
SCALE DRAWN BY DRAWING NO
AS MENTION SANJEEV B1
DATE REVISION NORTH
21.03.2015

GRAPHICAL SCALE

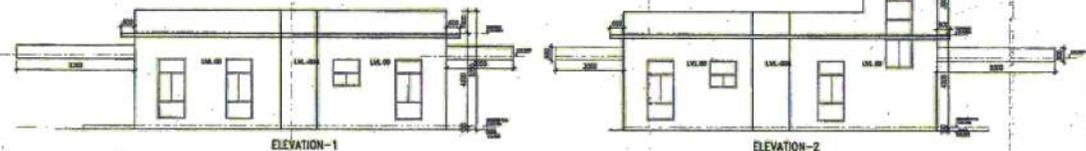


GROUND FLOOR PLAN

TERRACE PLAN

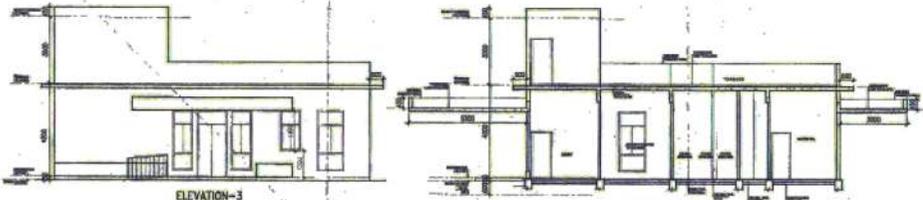


COVERED AREA DIAGRAM OF GROUND FLOOR



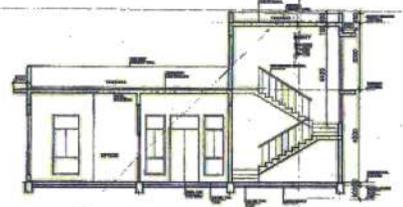
ELEVATION-1

ELEVATION-2

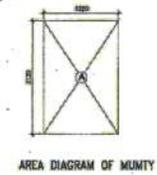


ELEVATION-3

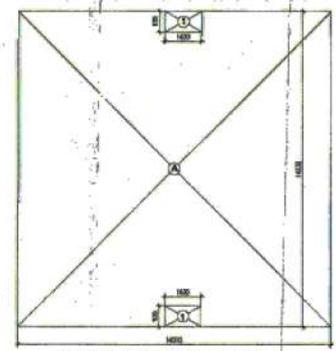
SECTION S1 / S1'



SECTION S2 / S2'



AREA DIAGRAM OF MUNTLY



FAR AREA DIAGRAM OF GROUND FLOOR

NOTE-1
 1. ALL DIMENSIONS ARE IN MILLIMETERS.
 2. LEVELS IN M.L.T. - D.M.O
 3. DO NOT SCALE THE DRAWING. WORK TO WRITTEN DIMENSIONS ONLY.
 4. ALL STRUCTURAL MEMBERS ARE INDICATIVE. FOR EXACT SIZES REFER STD. DRAWINGS.
 5. SIZES OF R.M.P.PIPES SHOULD BE REVIEWED AGAINST ALL DATA.
 6. FOR ALL MANHOLE CONNECTION REFER SITE PLAN.
 7. ALL WALLS PROPOSED ARE OF 100 WALLS OF THICKNESS 100MM & 100MM.

SCHEDULE OF DOORS & WINDOWS:-

SL.NO	TYPE	SIZE	QTY.	NO. LVL.
1	MD	1400x3000		3000
2	GD	1000x2100		2100
3	D1	900x2100		2100
4	D2	1000x2100		2100
5	D3	750x2100		2100
6	W1	1200x2700	300	3000
7	W2	900x1800	1200	3000
8	W3	900x2700	300	3000
9	W4	1000x1500	600	2100
10	W5	1200x3800	600	
11	V1	1200x1200	1800	3000
12	V2	600x1200	1800	3000

LEGEND FOR PLUMBING

1	100MM TRAP & VENT PIPE
2	100MM WASTE & VENT PIPE
3	75MM ANTI-SIPHON PIPE
4	COLD WATER SUPPLY
5	COLD WATER RISER
6	FLOOR WATER SUPPLY
7	FLUSH WATER RISER
8	100MM P.V.C. RAIN WATER PIPE
9	HOT WATER SUPPLY
FD	FLOOR DRAIN
FT	FLOOR TRAP
AW	APR. RAINFALL DRAIN
CSW	COLD WATER SUPPLY
FWS	FLUSH WATER SUPPLY
HWS	HOT WATER SUPPLY

PROJECT:-
 PROPOSED BUILDING PLAN OF COMMUNITY BUILDING PART OF GROUP HOUSING SITE MEASURING 9.23 ACRES FALLING IN THE RESIDENTIAL PLOTTED COLONY OF AREA MEASURING 165.5125 ACRES (LICENCE NO-25 OF 2012 DATED 29-03-2012 & LICENCE NO-19 OF 2014 DATED 11-06-2014) IN SECTOR 11 & 14, BEING DEVELOPED BY RAHEJA DEVELOPERS LTD. AND OTHER. AT *Sion*

DRAWING TITLE
COMMUNITY BUILDING FLOOR PLANS, ELEVATIONS & SECTIONS

OWNERS SIGNATURE ARCHITECT

 For Raheja Developers Limited
 Architectural Supervisor
 RAHEJA MATH
 Reg. No. RA/2014/1411

Community Building

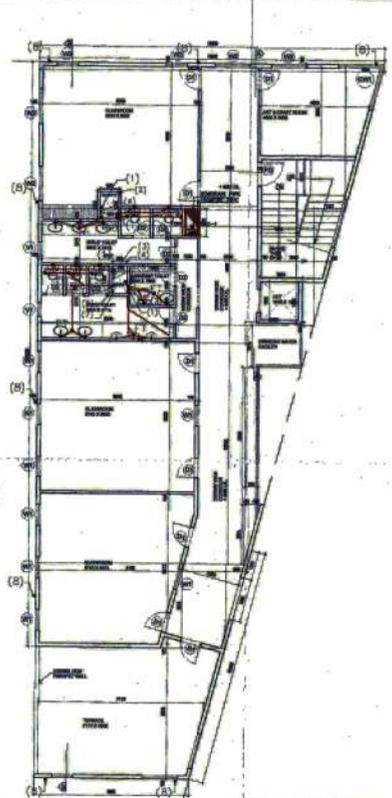
COVERED AREA ON GROUND FLOOR											
ADDITION											
A	5.300	X	7.230	1	=	38.419	SQ.M				
B	14.070	X	14.250	1	=	200.216	SQ.M				
C	3.000	X	7.230	1	=	21.690	SQ.M				
TOTAL					=	260.225	SQ.M				
INDUCTION					=	3.048	SQ.M				
TOTAL					=	257.177	SQ.M				
TOTAL COVERED AREA					=	260.225	-	3.048	=	257.177	SQ.M
F.A.R. AREA ON GROUND FLOOR											
ADDITION											
A	14.070	X	14.250	1	=	200.216	SQ.M				
TOTAL					=	200.216	SQ.M				
INDUCTION					=	3.048	SQ.M				
TOTAL					=	3.048	SQ.M				
TOTAL FAR AREA					=	200.216	-	3.048	=	197.168	SQ.M
COVERED AREA OF MUNTLY (NONE FAR)											
ADDITION											
A	5.330	X	5.130	1	=	27.343	SQ.M				
TOTAL					=	27.343	SQ.M				

SCALE DRAWN BY DRAWING NO
 1:100 S.B.RAWAT CB 01
DATE REVISION NORTH
 21.03.2018

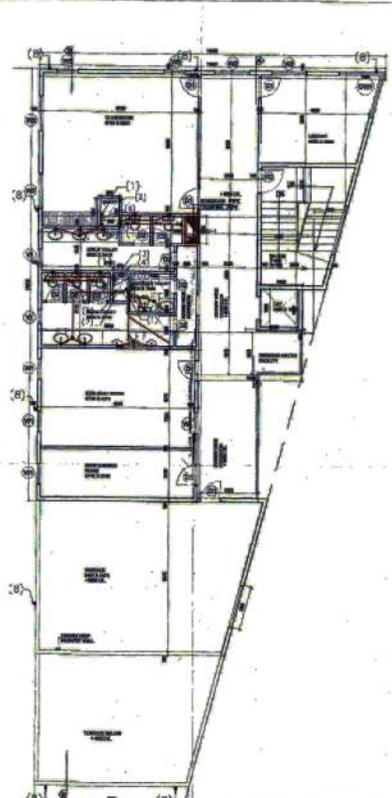
GRAPHICAL SCALE



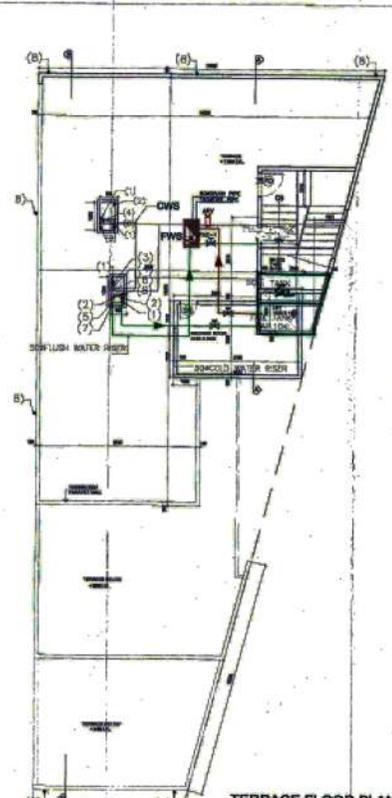
GROUND FLOOR PLAN



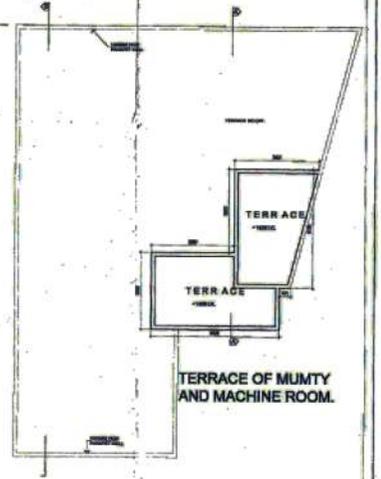
FIRST FLOOR PLAN



SECOND FLOOR PLAN



TERRACE FLOOR PLAN

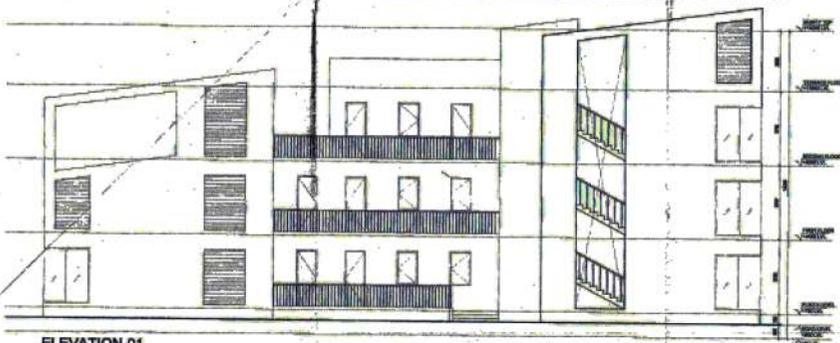


TERRACE OF MUMTY AND MACHINE ROOM.

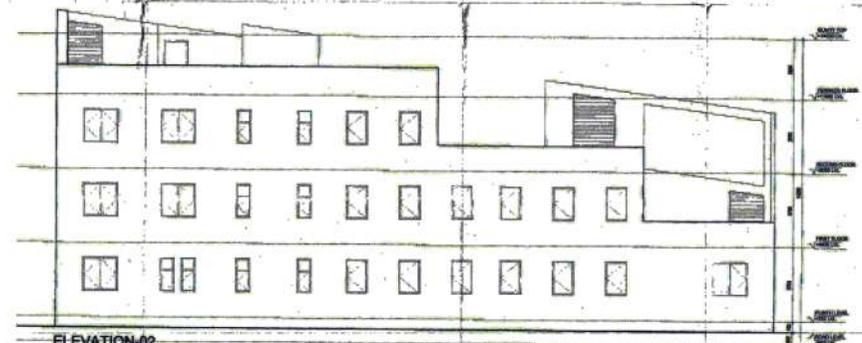
NOTE-1
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 3. DO NOT SCALE THE DRAWINGS, WORK TO
 DIMENSIONS DIMENSIONED ONLY.
 4. ALL STRUCTURAL MEMBERS ARE INDICATIVE.
 FOR EXACT SIZES REFER ST/3. DRAWINGS
 5. LEVELS OF S.S. PIPES SHOULD BE RECHECKED
 AGAINST FALL DATA
 6. FOR ALL SANITARY CONNECTION REFER SITE
 PLAN.

LEGEND FOR PLUMBING

1.	1000 SOIL & VENT PIPE
2.	1000 WASTE & VENT PIPE
3.	750C.I. WASTEWATER PIPE
4.	COLD WATER SUPPLY
5.	COLD WATER PIPER
6.	FLUSH WATER SUPPLY
7.	FLUSH WATER PIPER
8.	1500PVC RAIN WATER PIPE
FD	FLOOR DRAIN
FT	FLOOR TRAP
AWV	AIR RELEASE VALVE
CWS	COLD WATER SUPPLY
FWS	FLUSH WATER SUPPLY



ELEVATION-01



ELEVATION-02

PROJECT:
 PROPOSED BUILDING PLAN OF GROUP
 HOUSING SITE MEASURING 8.23 ACRES
 FALLING IN THE RESIDENTIAL PLOTTED
 COLONY OF AREA MEASURING
 168.53125 ACRES (LICENCE NO-26 OF
 2012 DATED 28-08-2012 & LICENCE
 NO-19 OF 2014 DATED 11-08-2014) IN
 SECTOR 11 & 14, BEING DEVELOPED BY
 RAHEJA DEVELOPERS LTD. AND
 OTHER.

DRAWING TITLE

**NURSERY SCHOOL
 PLANS & ELEVATION**

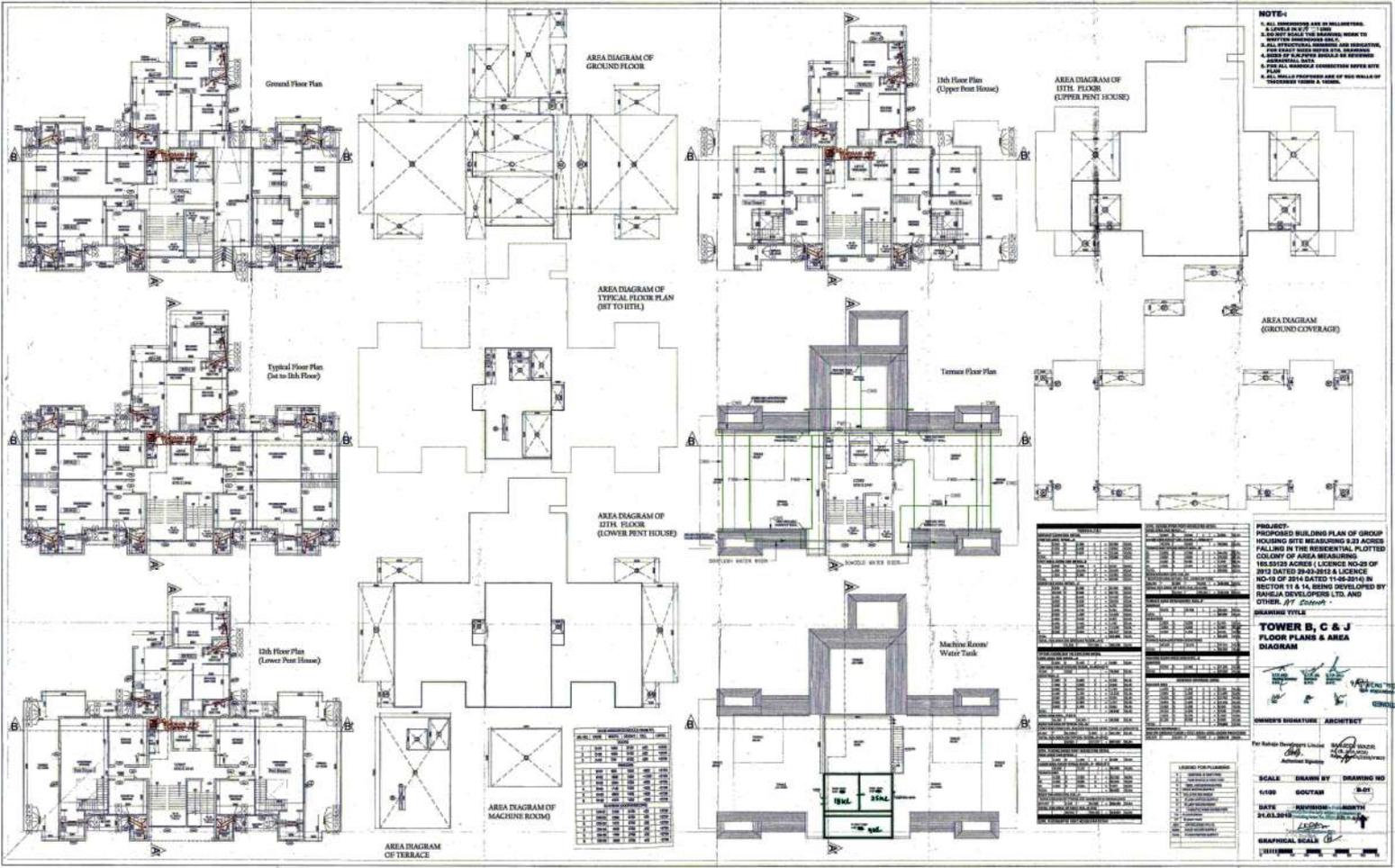
OWNERS SIGNATURE ARCHITECT

For Raheja Developers Limited
 Authorised Signatory

SCALE DRAWN BY DRAWING NO
 1/75 MALLIKRJUN NB
 DATE REVISION MONTH
 14.11.2014

GRAPHICAL SCALE

Sanctioned
 by the Govt. of Maharashtra
 No. 22311/2014



NOTE:
 1. ALL DIMENSIONS ARE IN METERS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODES.
 3. ALL STRUCTURAL MEMBERS AND CONNECTIONS SHALL BE DESIGNED BY A REGISTERED STRUCTURAL ENGINEER.
 4. ALL ELECTRICAL MEMBERS SHALL BE DESIGNED BY A REGISTERED ELECTRICAL ENGINEER.
 5. ALL MECHANICAL MEMBERS SHALL BE DESIGNED BY A REGISTERED MECHANICAL ENGINEER.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LOCAL BUILDING CODES.

PROJECT:
 PROPOSED BUILDING PLAN OF GROUP HOUSING SITE MEASURING 1.25 ACRES FALLING IN THE RESIDENTIAL PLOTTED COLONY OF AREA MEASURING 181.25125 ACRES (LICENCE NO-28 OF 2012 DATED 24-04-2014 & LICENCE NO-12 OF 2014 DATED 11-08-2014) IN SECTOR 11 & 14, BEING DEVELOPED BY BANGLA DEVELOPERS LTD. AND OTHERS BY *Engr. M. M. Hossain*

TOWER B, C & J FLOOR PLANS & AREA DIAGRAM

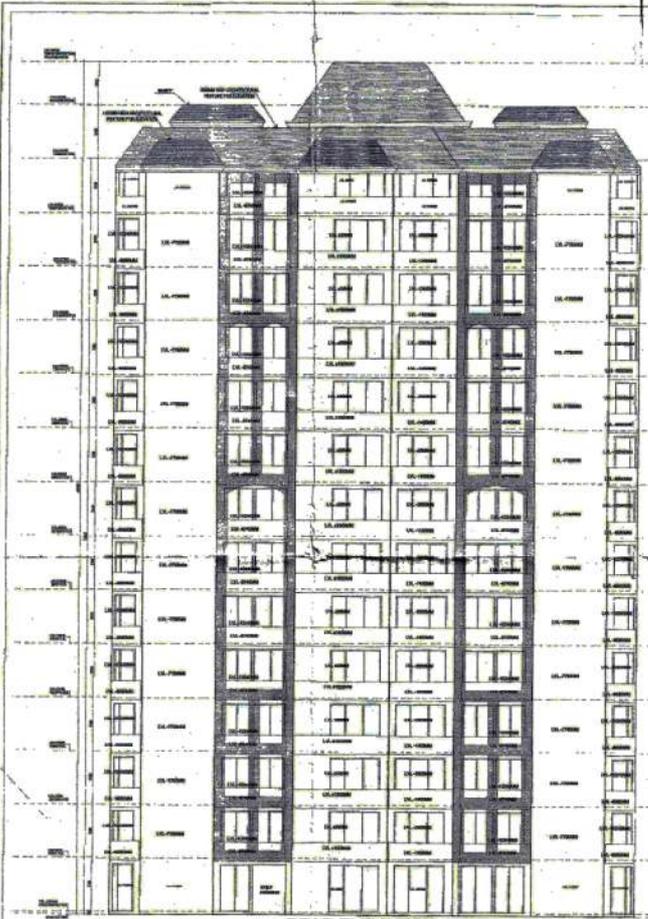
OWNER'S SIGNATURE: ARCHITECT

SCALE: DRAWN BY: DRAWING NO: 1/100
 GOUTAM: 10/10

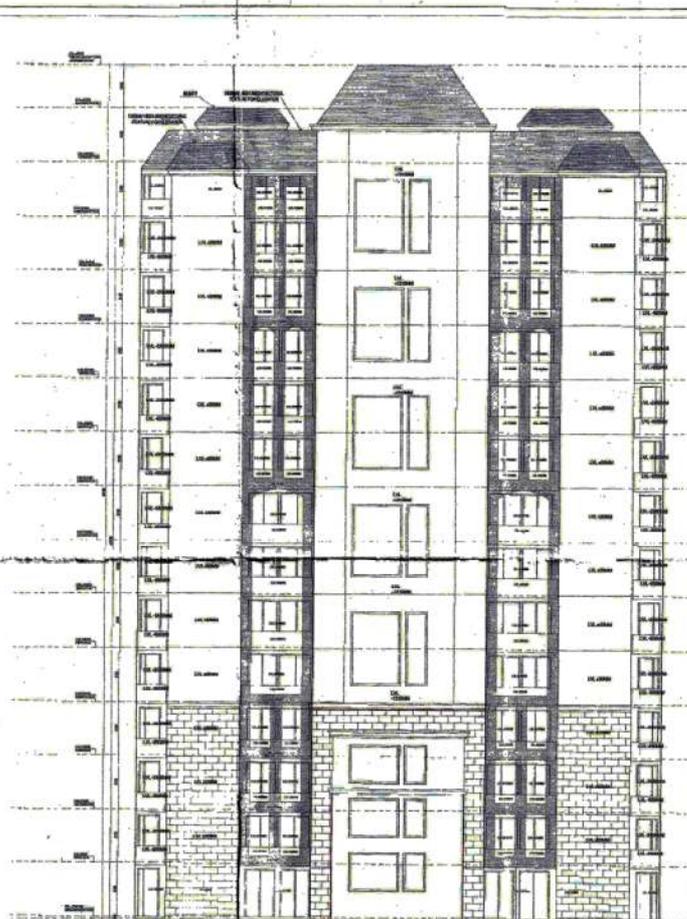
DATE: 10/10/2014

PLANNING SCALE: 1/100

MECHANICAL SCALE: 1/100



REAR ELEVATION



FRONT ELEVATION

- NOTE-**
1. ALL DIMENSIONS ARE IN MILLIMETERS, & LEVELS IN METERS.
 2. DO NOT SCALE THE GRAPHICAL WORK TO WRITE DIMENSIONS ONLY.
 3. ALL STRUCTURAL MEMBERS ARE INDICATIVE, FOR SPACE AND REFER SITE DRAWINGS FOR FINAL DATA.
 4. FOR ALL WALLS CONNECTION REFER SITE PLAN.
 5. ALL WALLS PROPOSED ARE OF RCC WALLS OF THICKNESS 100MM & 150MM.

PROJECT:
 PROPOSED BUILDING PLAN OF GROUP HOUSING SITE MEASURING 8.23 ACRES FALLING IN THE RESIDENTIAL PLOTTED COLONY OF AREA MEASURING 166.53125 ACRES (LICENCE NO-25 OF 2012 DATED 29-05-2012 & LICENCE NO-19 OF 2014 DATED 11-06-2014) IN SECTOR 11 & 14, BEING DEVELOPED BY RAHEJA DEVELOPERS LTD. AND OTHER.

DRAWING TITLE
TOWER D SECTIONS & ELEVATIONS

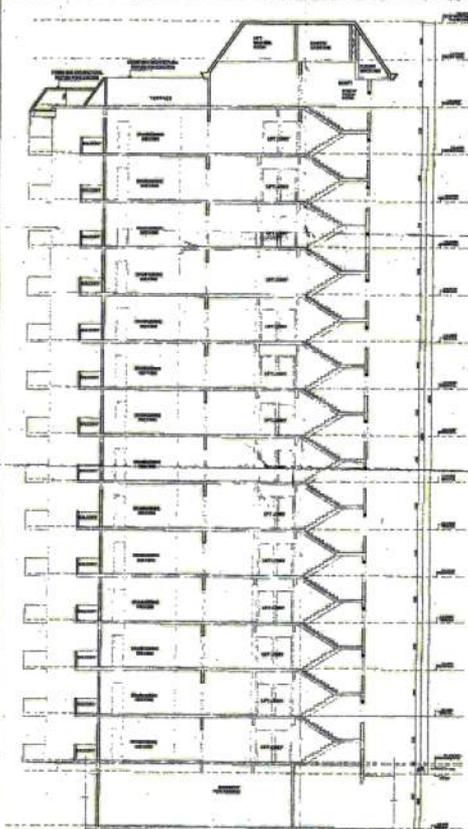
OWNER'S SIGNATURE ARCHITECT

For Raheja Developers (India) Pvt. Ltd.
 RAHEJA DEVELOPERS (INDIA) PVT. LTD.
 RAHEJA DEVELOPERS (INDIA) PVT. LTD.

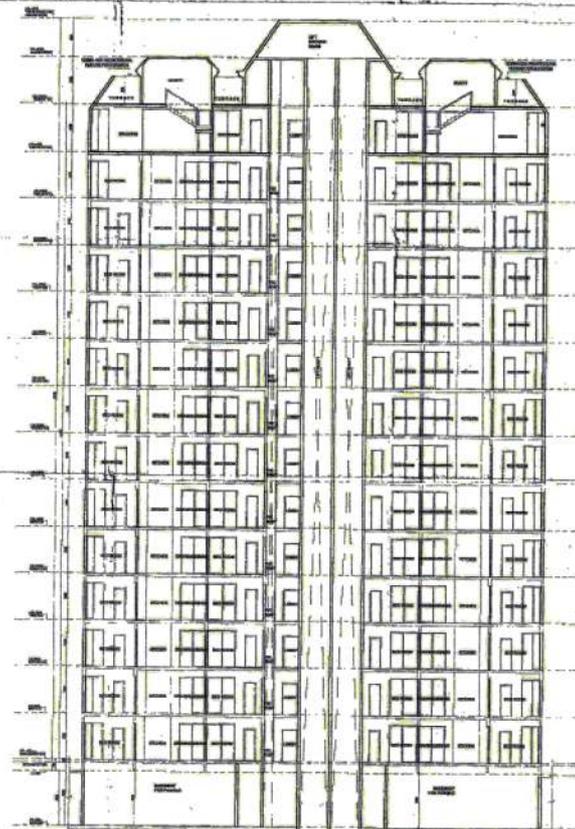
SCALE 1:100
 DRAWN BY GOUTAM
 DATE 21.03.2015

DRAWING NO. 0-02
 REVISION NORTH

GRAPHICAL SCALE

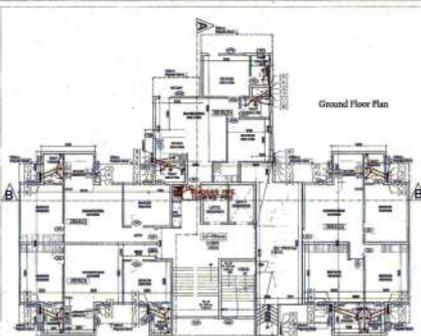


SECTION A-A'

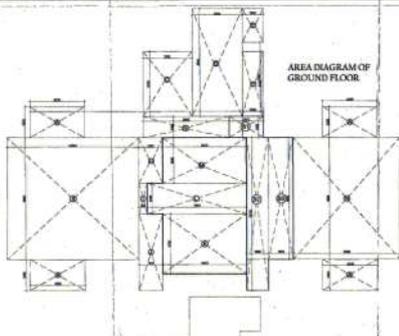


SECTION B-B'

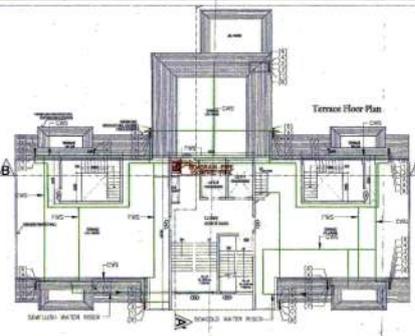
SANCTIONED
 To be used in accordance with
 version 2.02.03, ON 23/07/14



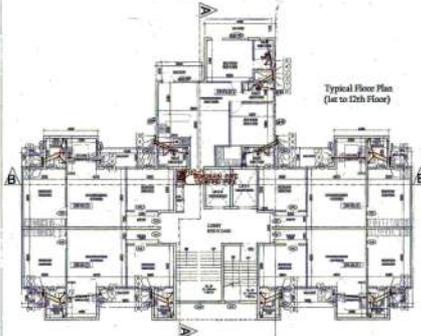
Ground Floor Plan



AREA DIAGRAM OF GROUND FLOOR



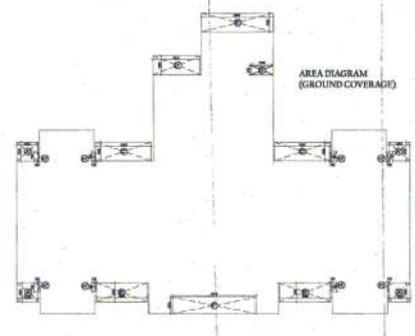
Terrace Floor Plan



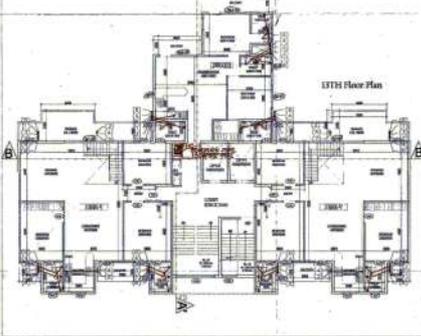
Typical Floor Plan (1st to 12th Floor)



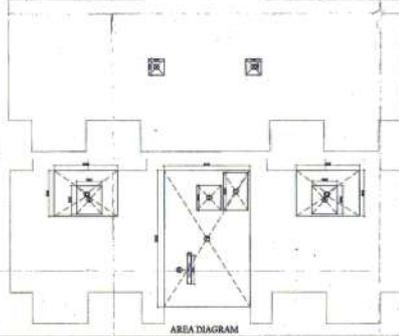
AREA DIAGRAM OF TYPICAL FLOOR PLAN (08T TO 11TH)



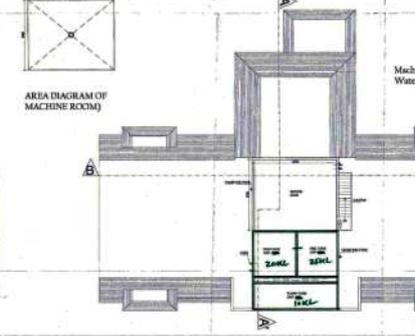
AREA DIAGRAM (GROUND COVERAGE)



13TH Floor Plan



AREA DIAGRAM OF 13TH FLOOR PLAN



AREA DIAGRAM OF MACHINE ROOM

Machine Room/ Water Tank

NOTE:

1. ALL DIMENSIONS ARE IN MILLIMETERS.
2. LEVEL IS IN METERS.
3. DO NOT SCALE THE DRAWING WORK TO SUIT THE DIMENSIONS ONLY.
4. ALL STRUCTURAL MEMBERS ARE INDICATED FOR SECTORS REFER TO THE DIMENSIONS AND AREA ALL DATA.
5. FOR ALL WALLS & CONSTRUCTION REFER SITE PLAN.
6. ALL WALLS PROPOSED ARE OF 200 WALLS OF THICKNESS UNLESS STATED.

APPROXIMATE MEASUREMENTS	
NO.	DESCRIPTION
1	1st Floor
2	2nd Floor
3	3rd Floor
4	4th Floor
5	5th Floor
6	6th Floor
7	7th Floor
8	8th Floor
9	9th Floor
10	10th Floor
11	11th Floor
12	12th Floor
13	13th Floor
14	14th Floor
15	15th Floor
16	16th Floor
17	17th Floor
18	18th Floor
19	19th Floor
20	20th Floor
21	21st Floor
22	22nd Floor
23	23rd Floor
24	24th Floor
25	25th Floor
26	26th Floor
27	27th Floor
28	28th Floor
29	29th Floor
30	30th Floor
31	31st Floor
32	32nd Floor
33	33rd Floor
34	34th Floor
35	35th Floor
36	36th Floor
37	37th Floor
38	38th Floor
39	39th Floor
40	40th Floor
41	41st Floor
42	42nd Floor
43	43rd Floor
44	44th Floor
45	45th Floor
46	46th Floor
47	47th Floor
48	48th Floor
49	49th Floor
50	50th Floor
51	51st Floor
52	52nd Floor
53	53rd Floor
54	54th Floor
55	55th Floor
56	56th Floor
57	57th Floor
58	58th Floor
59	59th Floor
60	60th Floor
61	61st Floor
62	62nd Floor
63	63rd Floor
64	64th Floor
65	65th Floor
66	66th Floor
67	67th Floor
68	68th Floor
69	69th Floor
70	70th Floor
71	71st Floor
72	72nd Floor
73	73rd Floor
74	74th Floor
75	75th Floor
76	76th Floor
77	77th Floor
78	78th Floor
79	79th Floor
80	80th Floor
81	81st Floor
82	82nd Floor
83	83rd Floor
84	84th Floor
85	85th Floor
86	86th Floor
87	87th Floor
88	88th Floor
89	89th Floor
90	90th Floor
91	91st Floor
92	92nd Floor
93	93rd Floor
94	94th Floor
95	95th Floor
96	96th Floor
97	97th Floor
98	98th Floor
99	99th Floor
100	100th Floor

LEGEND FOR PLUMBING

- 1. Cold Water
- 2. Hot Water
- 3. Sewer
- 4. Vent
- 5. Gas
- 6. Drain
- 7. Exhaust
- 8. Fire Alarm
- 9. Fire Sprinkler
- 10. Fire Alarm Control Panel
- 11. Fire Alarm Sounder
- 12. Fire Alarm Bell
- 13. Fire Alarm Horn
- 14. Fire Alarm Strobe
- 15. Fire Alarm Siren
- 16. Fire Alarm Speaker
- 17. Fire Alarm Bell
- 18. Fire Alarm Horn
- 19. Fire Alarm Strobe
- 20. Fire Alarm Siren
- 21. Fire Alarm Speaker

1:100 Scale - NOT TO BE USED FOR CONSTRUCTION

PROJECT: PROPOSED BUILDING PLAN OF GROUP HOUSING SITE MEASURING 5.23 ACRES FALLING IN THE RESIDENTIAL PLOTTED COLONY OF AREA MEASURING 185.8315 ACRES (LICENCE NO-25 OF 2012 DATED 28-03-2012 & LICENCE NO-19 OF 2014 DATED 11-05-2014) IN SECTOR 11 & 14, BEING DEVELOPED BY BANGLA DEVELOPERS LTD. AND OTHER AT Dhaka.

TOWER D FLOOR PLANS & AREA DIAGRAM



OWNER'S SIGNATURE ARCHITECT

SCALE: 1:100 DRAWN BY: GOUTAM DATE: 21.03.2015

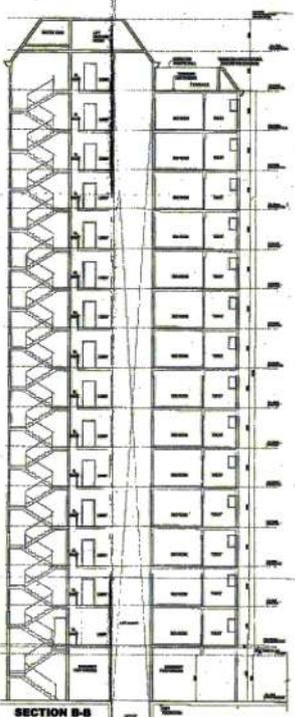
GRAPHICAL SCALE



FRONT ELEVATION



SIDE ELEVATION



SECTION B-B



SECTION A-A

SECTION "A-A"

NOTES:
 1. ALL DIMENSIONS ARE IN MILLIMETERS & UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
 2. ALL STRUCTURAL MEMBERS ARE TO BE CONCRETE UNLESS OTHERWISE SPECIFIED.
 3. ALL WALLS ARE TO BE CONCRETE UNLESS OTHERWISE SPECIFIED.
 4. ALL ROOFING IS TO BE AS SPECIFIED IN THE ARCHITECTURAL SPECIFICATION.
 5. ALL FINISHES ARE TO BE AS SPECIFIED IN THE ARCHITECTURAL SPECIFICATION.
 6. ALL MATERIALS TO BE USED ARE TO BE OF THE HIGHEST QUALITY AVAILABLE.
 7. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RELEVANT BUILDING CODES AND REGULATIONS.
 8. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE RELEVANT BUILDING CODES AND REGULATIONS.

PROJECT:
 PROPOSED BUILDING PLAN OF GROUP HOUSING SITE MEASURING 6.20 ACRES FALLING IN THE RESIDENTIAL PLOTTED COLONY OF AREA MEASURING 16.8725 ACRES (LICENSE NO-25 OF 2013 DATED 29-09-2013 & LICENSE NO-18 OF 2014 DATED 11-08-2014) IN SECTOR 11 & 14, BEING DEVELOPED BY KANVIA DEVELOPERS LTD. AND OTHER.

DRAWING TITLE:
TOWER E
 ELEVATION & SECTION

OWNER'S SIGNATURE / ARCHITECT:
 [Signature]

SCALE: DRAWN BY: DRAWING NO:
 1/100 DONTAM 0-02

DATE: REVISION: NORTH
 21.03.2015

GRAPHICAL SCALE:
 [Scale bar]

Microscopic
 To be used in order
 [Signature]



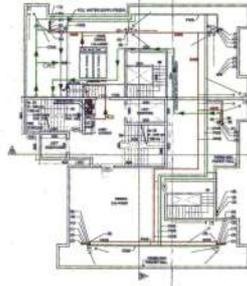
GROUND FLOOR PLAN



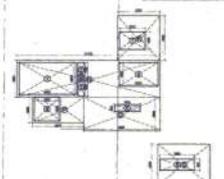
TYPICAL FLOOR PLAN (1ST TO 12TH FLOOR)



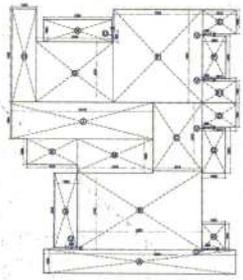
13TH FLOOR PLAN



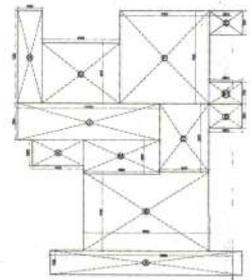
TERRACE FLOOR PLAN



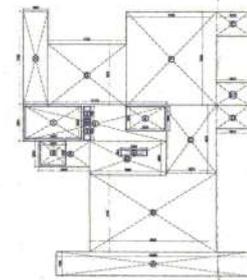
AREA DIAGRAM TERRACE FLOOR PLAN



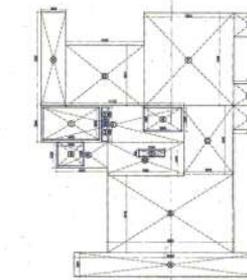
AREA DIAGRAM GROUND COVERAGE



AREA DIAGRAM TYPICAL FLOOR PLAN (1ST TO 12TH FLOOR)



AREA DIAGRAM TYPICAL FLOOR PLAN (13TH FLOOR)



AREA DIAGRAM TYPICAL FLOOR PLAN (13TH FLOOR)



MACHINE ROOM PLAN

AREA DIAGRAM MACHINE ROOM PLAN

NOTE:-
 1. ALL DIMENSIONS ARE IN MILLIMETERS.
 2. DIMENSIONS IN S.F. = 0.0254 METERS.
 3. ALL DIMENSIONS ARE TO BE TAKEN TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
 4. ALL DIMENSIONS ARE TO BE TAKEN TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
 5. ALL DIMENSIONS ARE TO BE TAKEN TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.
 6. ALL DIMENSIONS ARE TO BE TAKEN TO THE CENTERLINE OF THE MEMBER UNLESS OTHERWISE SPECIFIED.

PROJECT:-
 PROPOSED BUILDING PLAN OF GROUP HOUSING SITE MEASURING 8.20 ACRES FALLING IN THE RESIDENTIAL PLOTTED COLONY OF AREA MEASURING 165.8225 ACRES (LICENSE NO.28 OF 2013 DATED 28-03-2012 & LICENSE NO.18 OF 2014 DATED 11-06-2014) IN SECTOR 11 & 14, BEING DEVELOPED BY RAJNHA DEVELOPERS LTD. AND OTHERS. At Delhi.

DRAWING TITLE
 TOWER E FLOOR PLANS & AREA DIAGRAM



OWNER'S SIGNATURE ARCHITECT
 For Purposes of Registration Limited
 Architect Registered

SCALE DRAWN BY DRAWING NO.
 1/400 GAUTAM D-01
DATE REVISION NORTH
 21.03.2015

GRAPHICAL SCALE

TOWER E

GROUND FLOOR PLAN DETAIL	AREA (SQ.M)	PERIMETER (M)
1. 15.00 X 15.00	225.00	108.00
2. 15.00 X 15.00	225.00	108.00
3. 15.00 X 15.00	225.00	108.00
4. 15.00 X 15.00	225.00	108.00
5. 15.00 X 15.00	225.00	108.00
6. 15.00 X 15.00	225.00	108.00
7. 15.00 X 15.00	225.00	108.00
8. 15.00 X 15.00	225.00	108.00
9. 15.00 X 15.00	225.00	108.00
10. 15.00 X 15.00	225.00	108.00
11. 15.00 X 15.00	225.00	108.00
12. 15.00 X 15.00	225.00	108.00
13. 15.00 X 15.00	225.00	108.00
14. 15.00 X 15.00	225.00	108.00
15. 15.00 X 15.00	225.00	108.00
16. 15.00 X 15.00	225.00	108.00
17. 15.00 X 15.00	225.00	108.00
18. 15.00 X 15.00	225.00	108.00
19. 15.00 X 15.00	225.00	108.00
20. 15.00 X 15.00	225.00	108.00
21. 15.00 X 15.00	225.00	108.00
22. 15.00 X 15.00	225.00	108.00
23. 15.00 X 15.00	225.00	108.00
24. 15.00 X 15.00	225.00	108.00
25. 15.00 X 15.00	225.00	108.00
26. 15.00 X 15.00	225.00	108.00
27. 15.00 X 15.00	225.00	108.00
28. 15.00 X 15.00	225.00	108.00
29. 15.00 X 15.00	225.00	108.00
30. 15.00 X 15.00	225.00	108.00
31. 15.00 X 15.00	225.00	108.00
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34. 15.00 X 15.00	225.00	108.00
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38. 15.00 X 15.00	225.00	108.00
39. 15.00 X 15.00	225.00	108.00
40. 15.00 X 15.00	225.00	108.00
41. 15.00 X 15.00	225.00	108.00
42. 15.00 X 15.00	225.00	108.00
43. 15.00 X 15.00	225.00	108.00
44. 15.00 X 15.00	225.00	108.00
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48. 15.00 X 15.00	225.00	108.00
49. 15.00 X 15.00	225.00	108.00
50. 15.00 X 15.00	225.00	108.00
51. 15.00 X 15.00	225.00	108.00
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93. 15.00 X 15.00	225.00	108.00
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96. 15.00 X 15.00	225.00	108.00
97. 15.00 X 15.00	225.00	108.00
98. 15.00 X 15.00	225.00	108.00
99. 15.00 X 15.00	225.00	108.00
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101. 15.00 X 15.00	225.00	108.00
102. 15.00 X 15.00	225.00	108.00
103. 15.00 X 15.00	225.00	108.00
104. 15.00 X 15.00	225.00	108.00
105. 15.00 X 15.00	225.00	108.00
106. 15.00 X 15.00	225.00	108.00
107. 15.00 X 15.00	225.00	108.00
108. 15.00 X 15.00	225.00	108.00
109. 15.00 X 15.00	225.00	108.00
110. 15.00 X 15.00	225.00	108.00
111. 15.00 X 15.00	225.00	108.00
112. 15.00 X 15.00	225.00	108.00
113. 15.00 X 15.00	225.00	108.00
114. 15.00 X 15.00	225.00	108.00
115. 15.00 X 15.00	225.00	108.00
116. 15.00 X 15.00	225.00	108.00
117. 15.00 X 15.00	225.00	108.00
118. 15.00 X 15.00	225.00	108.00
119. 15.00 X 15.00	225.00	108.00
120. 15.00 X 15.00	225.00	108.00
121. 15.00 X 15.00	225.00	108.00
122. 15.00 X 15.00	225.00	108.00
123. 15.00 X 15.00	225.00	108.00
124. 15.00 X 15.00	225.00	108.00
125. 15.00 X 15.00	225.00	108.00
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144. 15.00 X 15.00	225.00	108.00
145. 15.00 X 15.00	225.00	108.00
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185. 15.00 X 15.00	225.00	108.00
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189. 15.00 X 15.00	225.00	108.00
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192. 15.00 X 15.00	225.00	108.00
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195. 15.00 X 15.00	225.00	108.00
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197. 15.00 X 15.00	225.00	108.00
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NOTE:-
 1. ALL DIMENSIONS ARE IN MILLIMETERS.
 2. DIMENSIONS IN M.
 3. DO NOT SCALE THE DRAWING, REFER TO NOTES DIMENSIONS ONLY.
 4. ALL STRUCTURAL MEMBERS ARE SHOWN IN GRAY.
 5. FOR ALL MATERIALS REFER TO SPECIFICATIONS.
 6. FOR ALL MATERIALS REFER TO SPECIFICATIONS.



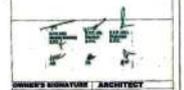
FRONT ELEVATION



REAR ELEVATION

PROJECT:
 PROPOSED BUILDING PLAN OF GROUP HOUSING SITE MEASURING 8.22 ACRES FALLING IN THE RESIDENTIAL PLOTTED COLONY OF AREA MEASURING 165.8126 ACRES (LICENSE NO. OF 2013 DATED 29-03-2013 & LICENSE NO-15 OF 2014 DATED 15-08-2014) IN SECTION 11 & 14, BEING DEVELOPED BY RAJAJA DEVELOPERS LTD. AND OTHERS.

DRAWING TITLE
TOWER A & K ELEVATIONS

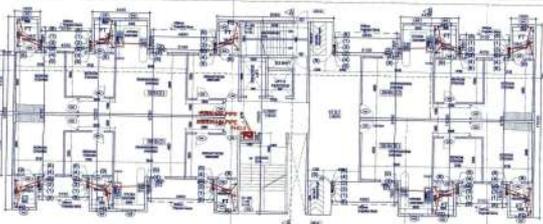


OWNER'S SIGNATURE ARCHITECT
 For Owner: [Signature]
 For Architect: [Signature]

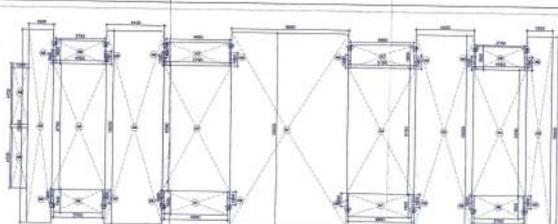
SCALE DRAWN BY **DR** DRAWING NO. **ADD**
DATE **REVISION** **NORTH**
21.03.2015 **↑**



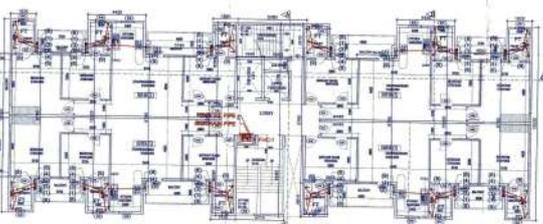
APPROVED
 IN THE NAME OF RAJAJA DEVELOPERS LTD.
 PROJECT NO. RAJAJA/2015/001



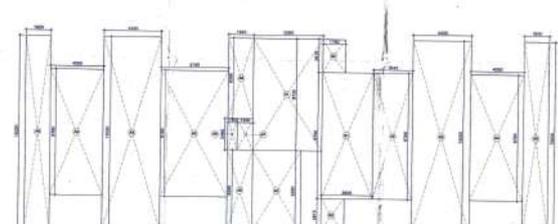
Ground Floor Plan



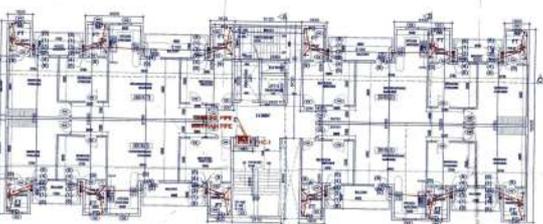
GROUND COVERAGE AREA DIAGRAM



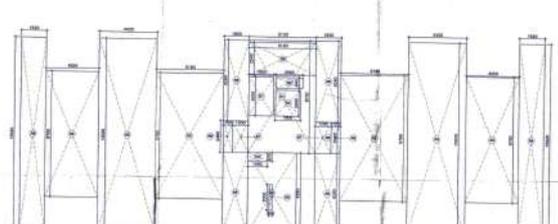
Typical Floor Plan (1st to 7th floor)



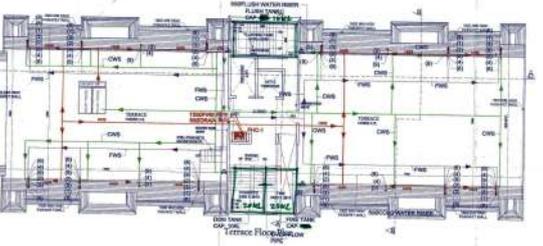
GROUND FLOOR AREA DIAGRAM



Typical Floor Plan (8th to 11th floor)



TYPICAL FLOOR AREA DIAGRAM (1st to 11th floor)



Machine Room/Water tank Plan

TABLE 1.1

NO.	DESCRIPTION	UNIT	QTY	REMARKS
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NOTE:-

1. ALL DIMENSIONS ARE IN MILLIMETERS.
2. LEVELS IN R/F.C. - 100.
3. DO NOT SCALE THE DRAWINGS. REFER TO THE DIMENSIONS ONLY.
4. ALL STRUCTURAL MEMBERS ARE IMAGINATIVE. FOR EXACT QUOTE REFER THE STRUCTURAL ARCHITECTURAL DRAWING.
5. REFER ALL WORKING CONNECTIONS REFER SITE PLAN.
6. ALL WALLS PROVIDED ARE OF 100mm THICKNESS UNLESS OTHERWISE SPECIFIED.

LEGEND FOR PLUMBING

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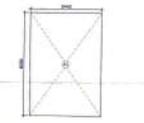
PROJECT:
 PROPOSED BUILDING PLAN OF GROUP HOUSING SITE MEASURING 8.23 ACRES FALLING IN THE RESIDENTIAL PLOTTED COLONY OF AREA MEASURING 169.53125 ACRES (LICENCE NO-24 OF 2012 DATED 29-03-2012 & LICENCE NO-18 OF 2014 DATED 11-08-2014) IN SECTOR 11 & 14, BEING DEVELOPED BY RAHEJA DEVELOPERS LTD. AND OTHER AT *South*

DRAWING TITLE:
TOWER A & K FLOOR PLANS & AREA DIAGRAM

OWNER'S SIGNATURE ARCHITECT

DATE 21.03.2018 **REVISION** NORTH

GRAPHICAL SCALE



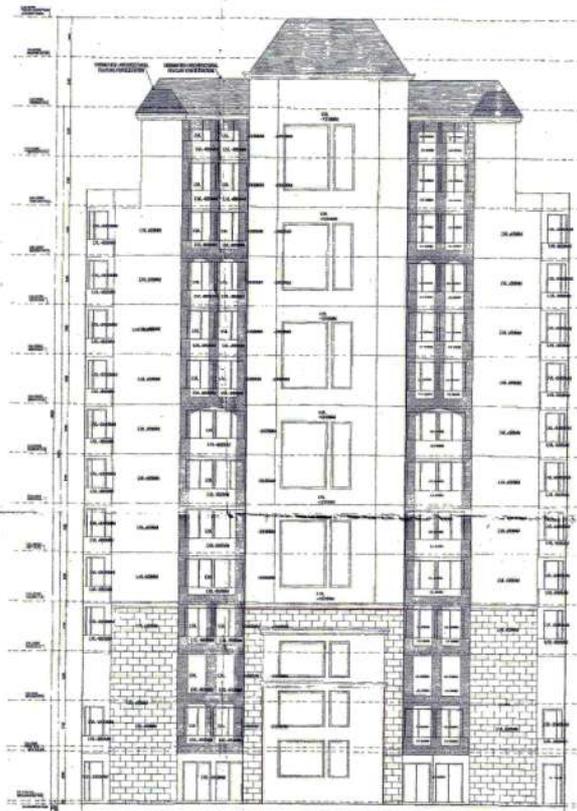
MACHINE ROOM/ WATER TANK AREA DIAGRAM



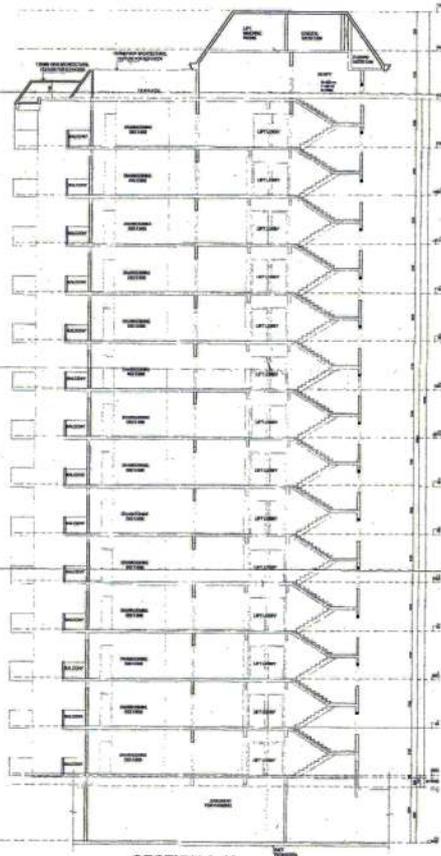
TERRACE AREA DIAGRAM



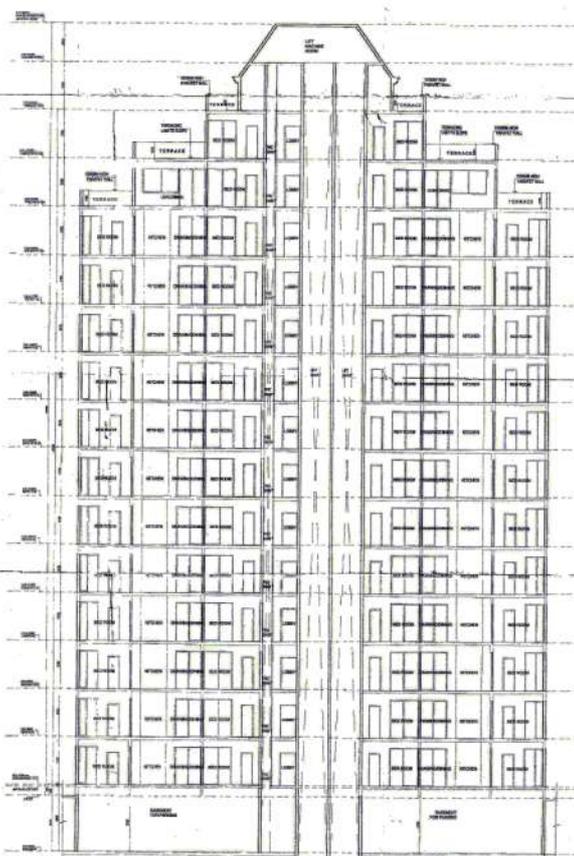
REAR ELEVATION



FRONT ELEVATION



SECTION A-A'



SECTION B-B'

- NOTE-**
1. ALL DIMENSIONS ARE IN MILLIMETERS, & LEVELS IN M. - 1.000
 2. DO NOT SCALE THE DRAWING, WORK TO WRITTEN DIMENSIONS ONLY.
 3. ALL STRUCTURAL MEMBERS ARE INDICATIVE, FOR EXACT SIZES REFER SITE DRAWINGS
 4. SIZES OF R.P.PIPES SHOULD BE REVIEWED AGAINST P.A. DATA
 5. FOR ALL MANHOLE CONNECTION REFER SITE PLAN
 6. ALL WALLS PROPOSED ARE OF RCC WALLS OF THICKNESS 200MM & 100MM.

PROJECT-
 PROPOSED BUILDING PLAN OF GROUP HOUSING SITE MEASURING 8.23 ACRES FALLING IN THE RESIDENTIAL PLOTTED COLONY OF AREA MEASURING 166.53126 ACRES (LICENCE NO-26 OF 2012 DATED 29-03-2012 & LICENCE NO-19 OF 2014 DATED 11-06-2014) IN SECTOR 11 & 14, BEING DEVELOPED BY RAHEJA DEVELOPERS LTD. AND OTHER.

DRAWING TITLE
TOWER B, C, I & J
SECTIONS & ELEVATIONS



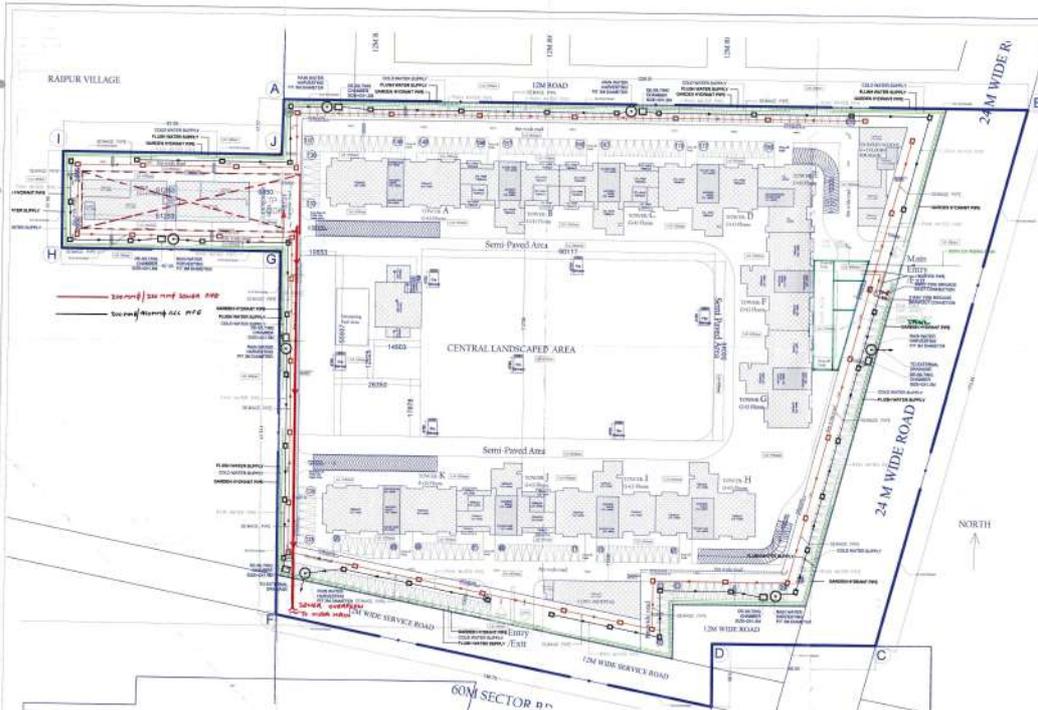
OWNER'S SIGNATURE ARCHITECT

For Raheja Developers Limited
 RAHEJA DEVELOPERS LIMITED
 Authorised Signatory

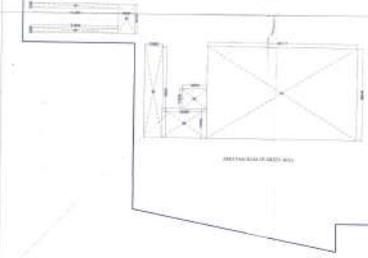
SCALE DRAWN BY DRAWING NO
 1:100 GOUTAM 9-02
DATE REVISION NORTH
 21.03.2015

GRAPHICAL SCALE
 1:1000

SANCTIONED
 To be used in accordance with
 section no. 1, LOCAL Act 23 of 1964



60M SECTOR D
SITE PLAN (SCALE 1:400)



GREEN AREA

NO.	DESCRIPTION	AREA (SQ.M)
1	GREEN AREA	1000
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GREEN AREA CALCULATION (SCALE 1:1000)

AREA SUMMARY

NO.	DESCRIPTION	PERMISSIBLE AREA (SQ.M)	PROPOSED AREA (SQ.M)	UNIT	REMARKS
1	TOTAL PLOT AREA OF THE SCHEME (IN SQ. METERS)	17332.420		SG.M	
2	GROUND COVERAGE	13073.344	6718.533	SG.M	39.0% OF THE TOTAL SITE AREA
3	PAV. (P.F)	8506.742	6441.727	SG.M	1.0% OF THE TOTAL SITE AREA
4	TOTAL DWELLING UNIT		772	NO.	
5	SEMI UNIT	118	117	NO.	100% OF THE TOTAL DWELLING UNIT
6	DOMESTIC SERVANT UNIT	66	66	NO.	100% OF THE TOTAL DWELLING UNIT
7	CAR PARKING	553	1000	NO.	1.8 CAR PER UNIT
8	TOTAL POPULATION		3641	NO.	
9	PERMISSIBLE DENSITY	100 - 400	384.47	PPA	94% POPULA. DENS. IN AREA
10	DOMESTIC SHOPPING AREA	188.78	188.102	SG.M	0.00108 OF THE TOTAL SITE AREA
11	COMUNITY AREA		187.172	SG.M	
12	PUBLIC SCHOOL AREA	809.375	301.376	SG.M	0.01726 OF THE TOTAL SITE AREA
13	PROPOSED BALCONY AREA		3508.580	SG.M	
14	PROPOSED BALCONY AREA		734.040	SG.M	
15	UNPAVED GREEN SPACE 10% OF PLOT AREA	3602.884	6774.613	SG.M	39.0% OF THE TOTAL SITE AREA (ON THIS REGULATION BOUNDARY)
	TOTAL BUILT UP AREA		8828.185	SG.M	

SANCTIONED
 To be used in accordance with the provisions of 2019 - 2024/2016

NOTE:-

1. ALL DIMENSIONS ARE IN MM.
2. LINES BY DOTTED AND
3. DO NOT SCALE THE DIMENSIONS TO OBTAIN DIMENSIONS ONLY.
4. ALL STRUCTURAL MEMBERS ARE INDICATIVE FOR READY REINFORCED STEEL BEARING.
5. ALL DIMENSIONS SHOULD BE REVIEWED AGAINST THE DATA.
6. FOR ALL NECESSARY CONNECTIONS REFER TO THE PLAN.

PROJECT:
 PROPOSED BUILDING PLAN OF GROUP HOUSING SITE MEASURING 8.23 ACRES FALLING IN THE RESIDENTIAL PLOTTED COLONY OF AREA MEASURING 166.83125 ACRES (LICENCE NO-26 OF 2012 DATED 28-09-2012 & LICENCE NO-18 OF 2014 DATED 15-08-2014) IN SECTOR 11 & 14, BEING DEVELOPED BY RAJESH DEVELOPERS LTD. AND OTHER AT SOHNA

SITE PLAN & GREEN AREA PLAN

OWNER'S SIGNATURE: ARCHITECT

SCALE: DRAWN BY: DRAWING NO: 1:400 GOUTAM A1 01

DATE: REVISION: NORTH 21.03.2015

GRAPHICAL SCALE