

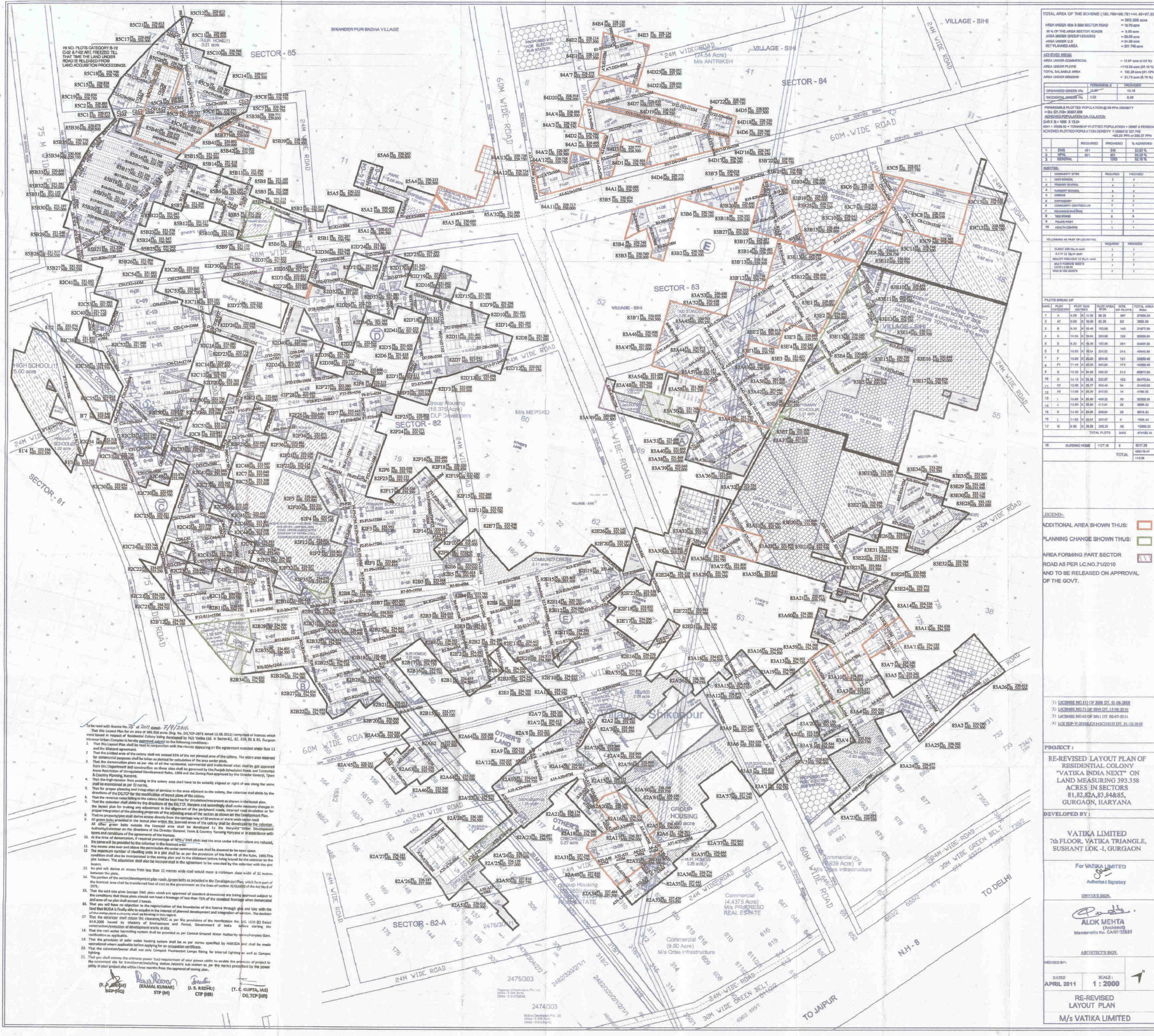
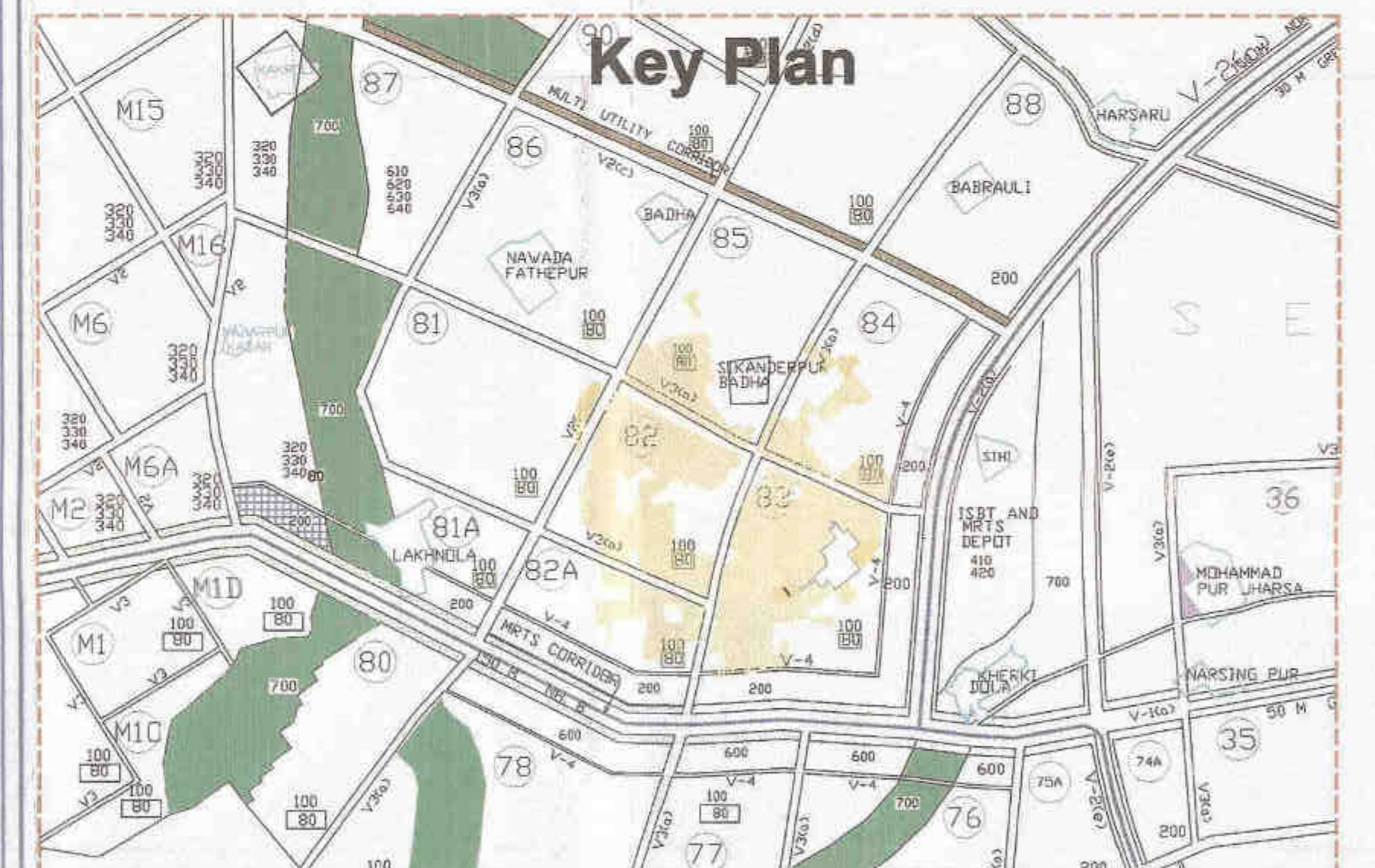
M/S Vatika Limited Road Layout Plan

Note:-

- 1. All Dimension are in Meters.
- 2. Dimensions shall not be measured.
- 3. Any drawing error or divergences be brought to the notice.

LEGEND:-

	COMMERCIAL
	GREEN
	COMMUNITY FACILITIES
	UNDETERMINED USE
	SITE BOUNDARY
	ROAD CENTER LINE



TOTAL AREA OF THE SCHEME (180,784.42 Sq. Mtr)

AREA UNDER A&B SECTOR ROAD	18,700.00 Sq. Mtr
95% OF THE AREA UNDER ROAD	17,765.00 Sq. Mtr
AREA UNDER OTHER SERVICES	250.00 Sq. Mtr
AREA UNDER U/LD	49.42 Sq. Mtr
NET PLANNED AREA	201,784.42 Sq. Mtr

PERMISSIBLE PLANNED POPULATION @ 100 PERSONS PER ACRE

NO. OF HOUSES	NO. OF HOUSES	NO. OF HOUSES	% OF HOUSES
1	10	100	10.00
2	20	200	20.00
3	30	300	30.00
4	40	400	40.00
5	50	500	50.00
6	60	600	60.00
7	70	700	70.00
8	80	800	80.00
9	90	900	90.00
10	100	1000	100.00

PLOTS BREAK UP

NO.	AREA (Sq. Mtr)	% OF TOTAL
1	100	100.00
2	200	200.00
3	300	300.00
4	400	400.00
5	500	500.00
6	600	600.00
7	700	700.00
8	800	800.00
9	900	900.00
10	1000	1000.00
11	1100	1100.00
12	1200	1200.00
13	1300	1300.00
14	1400	1400.00
15	1500	1500.00
16	1600	1600.00
17	1700	1700.00
18	1800	1800.00
19	1900	1900.00
20	2000	2000.00
21	2100	2100.00
22	2200	2200.00
23	2300	2300.00
24	2400	2400.00
25	2500	2500.00
26	2600	2600.00
27	2700	2700.00
28	2800	2800.00
29	2900	2900.00
30	3000	3000.00

ADDITIONAL AREA SHOWN THIS: [Symbol]

PLANNING CHANGE SHOWN THIS: [Symbol]

AREA FORMING PART SECTOR ROAD AS PER L.C.No.71/2010 AND TO BE RELEASED ON APPROVAL OF THE GOVT.

1) LICENSE NO.111 OF 2011 DT. 01-08-2011
 2) LICENSE NO.71 OF 2010 DT. 14-09-2010
 3) LICENSE NO.42 OF 2011 DT. 04-07-2011
 4) LICENSE NO.78 OF 2011 DT. 17-12-2011

PROJECT :- RE-REVISIT LAYOUT PLAN OF RESIDENTIAL COLONY "VATIKA INDIA NEXT" ON LAND MEASURING 393.358 ACRES IN SECTORS 81,82,83,84&85, GURGAON, HARYANA

DEVELOPED BY: VATIKA LIMITED, 7th Floor Vatika Triangle, Sushant Lok - I, GURGAON.

For VATIKA LIMITED
 Authorized Signatory: [Signature]

OWNER'S SIGN: [Signature]

ALOK MEHTA (Architect)
 Member No. No. CA/10-2681

ARCHITECT'S SIGN: [Signature]

DATE: APRIL 2011 SCALE: 1 : 2000

RE-REVISIT LAYOUT PLAN
 M/S VATIKA LIMITED

1. The site is bounded by the following roads... [Detailed site description]

2. The proposed area of the colony shall be used for residential purposes... [Zoning regulations]

3. The proposed area of the colony shall be used for residential purposes... [Zoning regulations]

4. The proposed area of the colony shall be used for residential purposes... [Zoning regulations]

5. The proposed area of the colony shall be used for residential purposes... [Zoning regulations]

6. The proposed area of the colony shall be used for residential purposes... [Zoning regulations]

7. The proposed area of the colony shall be used for residential purposes... [Zoning regulations]

8. The proposed area of the colony shall be used for residential purposes... [Zoning regulations]

9. The proposed area of the colony shall be used for residential purposes... [Zoning regulations]

10. The proposed area of the colony shall be used for residential purposes... [Zoning regulations]

Drawing No.
W-2

M/S Vatika Limited

Rising Main Layout Plan

Checked subject to comments in letter No. 842/2011 dated 21/11/11 and notes attached with the estimate.

Executive Engineer
for Chief Engineer
HUDA Panchkula

Director General
Town and Country Planning
Haryana, Chandigarh

- Note:-
1. All Dimension are in Meters.
 2. Dimensions shall not be measured.
 3. Any drawing error or divergences be brought to the notice.

LEGEND:-

	COMMERCIAL
	GREEN
	COMMUNITY FACILITIES
	UNDETERMINED USE
	SITE BOUNDARY
	RISING MAIN LINE

TOTAL AREA OF THE SCHEME (188.798+88.781+44.46+87.301)
= 309.340 ACRES

AREA UNDER 40M & 60M SECTOR ROAD	= 18.70 ACRES
8% OF THE AREA SECTOR ROADS	= 6.58 ACRES
AREA UNDER GROUP HOUSING	= 10.00 ACRES
AREA UNDER L.P.D.	= 3.00 ACRES
NET AVAILABLE AREA	= 231.06 ACRES

APPROXIMATE POPULATION @ 100 PER ACRE

AREA UNDER 40M & 60M SECTOR ROAD	= 18.70 ACRES	POPULATION	1870
8% OF THE AREA SECTOR ROADS	= 6.58 ACRES	POPULATION	658
AREA UNDER GROUP HOUSING	= 10.00 ACRES	POPULATION	1000
AREA UNDER L.P.D.	= 3.00 ACRES	POPULATION	300
TOTAL AVAILABLE AREA	= 231.06 ACRES	POPULATION	2328

PERMISSIBLE POPULATION @ 100 PER ACRE

AREA UNDER 40M & 60M SECTOR ROAD	= 18.70 ACRES	POPULATION	1870
8% OF THE AREA SECTOR ROADS	= 6.58 ACRES	POPULATION	658
AREA UNDER GROUP HOUSING	= 10.00 ACRES	POPULATION	1000
AREA UNDER L.P.D.	= 3.00 ACRES	POPULATION	300
TOTAL AVAILABLE AREA	= 231.06 ACRES	POPULATION	2328

PERMISSIBLE POPULATION @ 100 PER ACRE

AREA UNDER 40M & 60M SECTOR ROAD	= 18.70 ACRES	POPULATION	1870
8% OF THE AREA SECTOR ROADS	= 6.58 ACRES	POPULATION	658
AREA UNDER GROUP HOUSING	= 10.00 ACRES	POPULATION	1000
AREA UNDER L.P.D.	= 3.00 ACRES	POPULATION	300
TOTAL AVAILABLE AREA	= 231.06 ACRES	POPULATION	2328

REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	21/11/11
2	REVISIONS AS PER COMMENTS	21/11/11
3	REVISIONS AS PER COMMENTS	21/11/11
4	REVISIONS AS PER COMMENTS	21/11/11
5	REVISIONS AS PER COMMENTS	21/11/11
6	REVISIONS AS PER COMMENTS	21/11/11
7	REVISIONS AS PER COMMENTS	21/11/11
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46	REVISIONS AS PER COMMENTS	21/11/11
47	REVISIONS AS PER COMMENTS	21/11/11
48	REVISIONS AS PER COMMENTS	21/11/11
49	REVISIONS AS PER COMMENTS	21/11/11
50	REVISIONS AS PER COMMENTS	21/11/11

PROJECT:
RE-REVISED LAYOUT PLAN OF RESIDENTIAL COLONY "VATIKA INDIA NEXT" ON LAND MEASURING 309.340 ACRES IN SECTORS 81, 82, 83, 84, 85, GURGAON, HARYANA

DEVELOPED BY:
VATIKA LIMITED
7th Floor Vatika Triangle,
Sushant Lok-1, Gurgaon

FOR VATIKA LIMITED:
Authorized Signatory

ARCHITECT'S SEAL:
ALOK MENTA
Member No. CA/2009

DATE: APRIL 2011
SCALE: 1 : 2000

RE-REVISED LAYOUT PLAN
M/S VATIKA LIMITED

CLIENT :- VATIKA LIMITED 7th Floor Vatika Triangle, Sushant Lok-1, Gurgaon.	Executive Engineer HUDA Division No. 1, Gurgaon
Title: Rising Main Layout Plan	
Director Infrastructure for ky Consultants Pvt. Ltd.	11 P, Sector 30 Gurgaon- 122001 Ph: 0124-4034716 Fax: 0124-4034714
Drawn by: T. Alam	Checked by: R. Mathur
Drawing No.: W-2	Revision: Date: 28-11-2011

Services Planned & Designed by:
Consultants Pvt. Ltd.



REVISIONS:

NO.	DESCRIPTION	DATE
1	ISSUED FOR APPROVAL	21/11/11
2	REVISIONS AS PER COMMENTS	21/11/11
3	REVISIONS AS PER COMMENTS	21/11/11
4	REVISIONS AS PER COMMENTS	21/11/11
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48	REVISIONS AS PER COMMENTS	21/11/11
49	REVISIONS AS PER COMMENTS	21/11/11
50	REVISIONS AS PER COMMENTS	21/11/11

M/S Vatika Limited Sewer System Layout Plan

Note:-
1. All Dimension are in Meters.
2. Dimensions shall not be measured.
3. Any drawing error or divergences be brought to the notice.

TOTAL AREA OF THE SCHEME (182.760-188.781+44.45+47.351)	
AREA UNDER HIGH & BHM SECTION ROAD	= 392.268 HECTARE
AREA UNDER GROUP HOUSING	= 12.52 HECTARE
AREA UNDER GROUP HOUSING	= 3.28 HECTARE
AREA UNDER U/D	= 18.28 HECTARE
NET PLANNED AREA	= 351.748 HECTARE

PERMITTED	PROVIDED
ORGANIZED GREEN 4%	13.1%
PROVIDED GREEN 1%	8.6%

PERMITTED & PLANNED POPULATION BY PHASE			
PHASE	REQUIRE	PROVIDED	% ACHIEVED
1	481	549	222.7%
2	921	1153	125.1%
3	1351	1653	122.3%

PLANNED POPULATION BY PHASE			
PHASE	REQUIRE	PROVIDED	% ACHIEVED
1	481	549	222.7%
2	921	1153	125.1%
3	1351	1653	122.3%

PLANNED POPULATION BY PHASE			
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PLANNED POPULATION BY PHASE			
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PLANNED POPULATION BY PHASE			
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1	481	549	222.7%
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3	1351	1653	122.3%

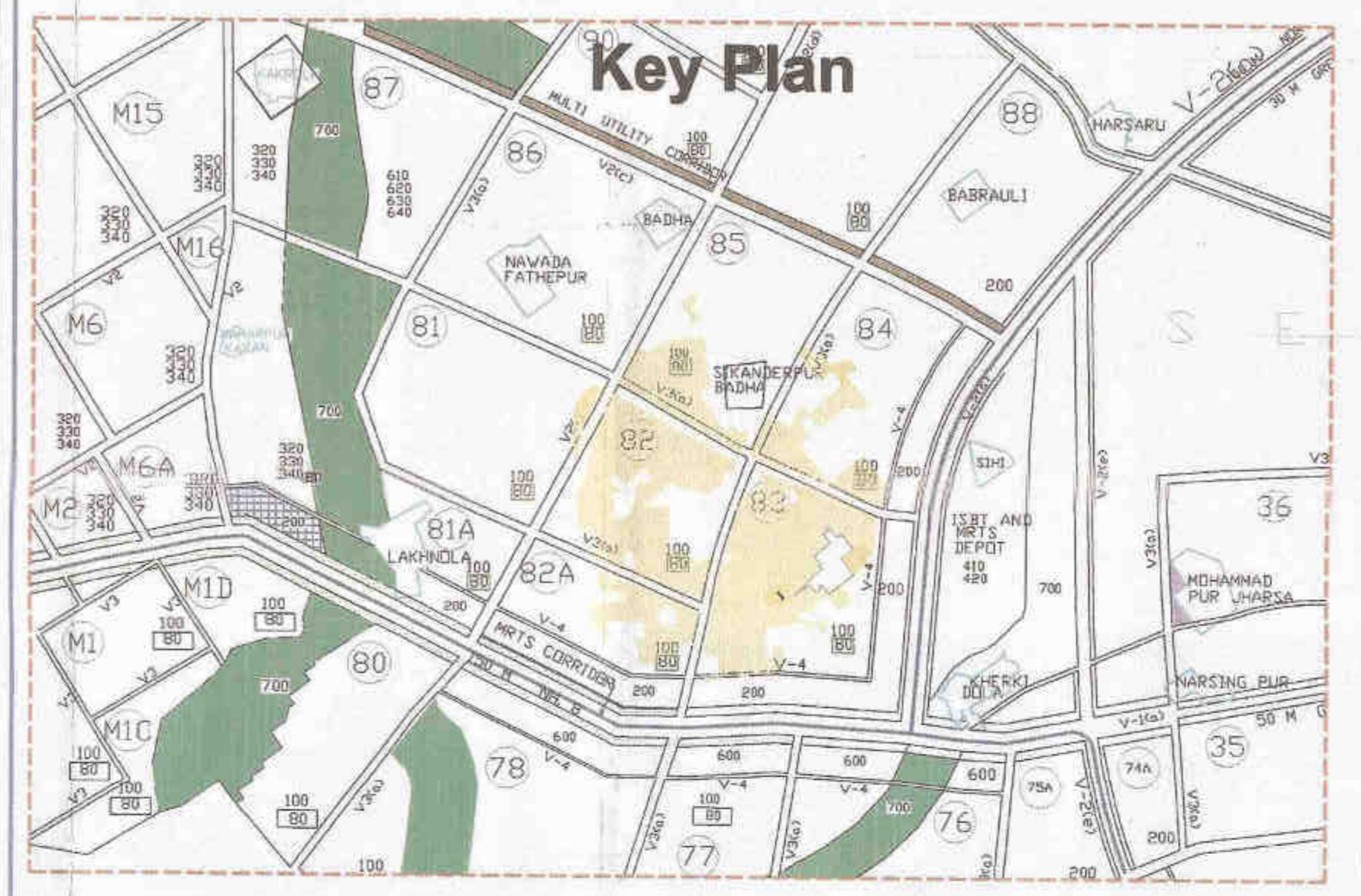
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PLANNED POPULATION BY PHASE			
PHASE	REQUIRE	PROVIDED	% ACHIEVED
1	481	549	222.7%
2	921	1153	125.1%
3	1351	1653	122.3%

LEGEND:-

- COMMERCIAL
- GREEN
- COMMUNITY FACILITIES
- UNDETERMINED USE
- SITE BOUNDARY
- SEWER LINE



CLIENT :- VATIKA LIMITED 7th Floor Vatika Triangle, Sushant Lok-I, Gurgaon.	
Title: Sewer System Layout Plan	
Director Infrastructure for ky Consultants Pvt.Ltd	11 P, Sector 30, Gurgaon-122001 Ph: 0124-4034715 Fax:0124-4034714
Drawn by: T. Alam	Checked by: R. Mathur
Drawing No. S-1	Revision: Date 28-11-2011

Services Planned & Designed by:
Consultants Pvt. Ltd.



To be read with license No. 72/2011 dated 12.08.2011 issued by the Government of Haryana in respect of the provision of water supply and sewerage services in the area of Sector 85, 84, 83, 82, 82-A, 81 & 80, Gurgaon. The layout plan shall be read in conjunction with the bye-laws of the Government of Haryana under Rule 11 and the bye-laws of the Government of Haryana under Rule 12.

1. The layout plan shall be read in conjunction with the bye-laws of the Government of Haryana under Rule 11 and the bye-laws of the Government of Haryana under Rule 12.

2. The sewerage system shall be constructed in accordance with the bye-laws of the Government of Haryana under Rule 11 and the bye-laws of the Government of Haryana under Rule 12.

3. The sewerage system shall be constructed in accordance with the bye-laws of the Government of Haryana under Rule 11 and the bye-laws of the Government of Haryana under Rule 12.

4. The sewerage system shall be constructed in accordance with the bye-laws of the Government of Haryana under Rule 11 and the bye-laws of the Government of Haryana under Rule 12.

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11. The sewerage system shall be constructed in accordance with the bye-laws of the Government of Haryana under Rule 11 and the bye-laws of the Government of Haryana under Rule 12.

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18. The sewerage system shall be constructed in accordance with the bye-laws of the Government of Haryana under Rule 11 and the bye-laws of the Government of Haryana under Rule 12.

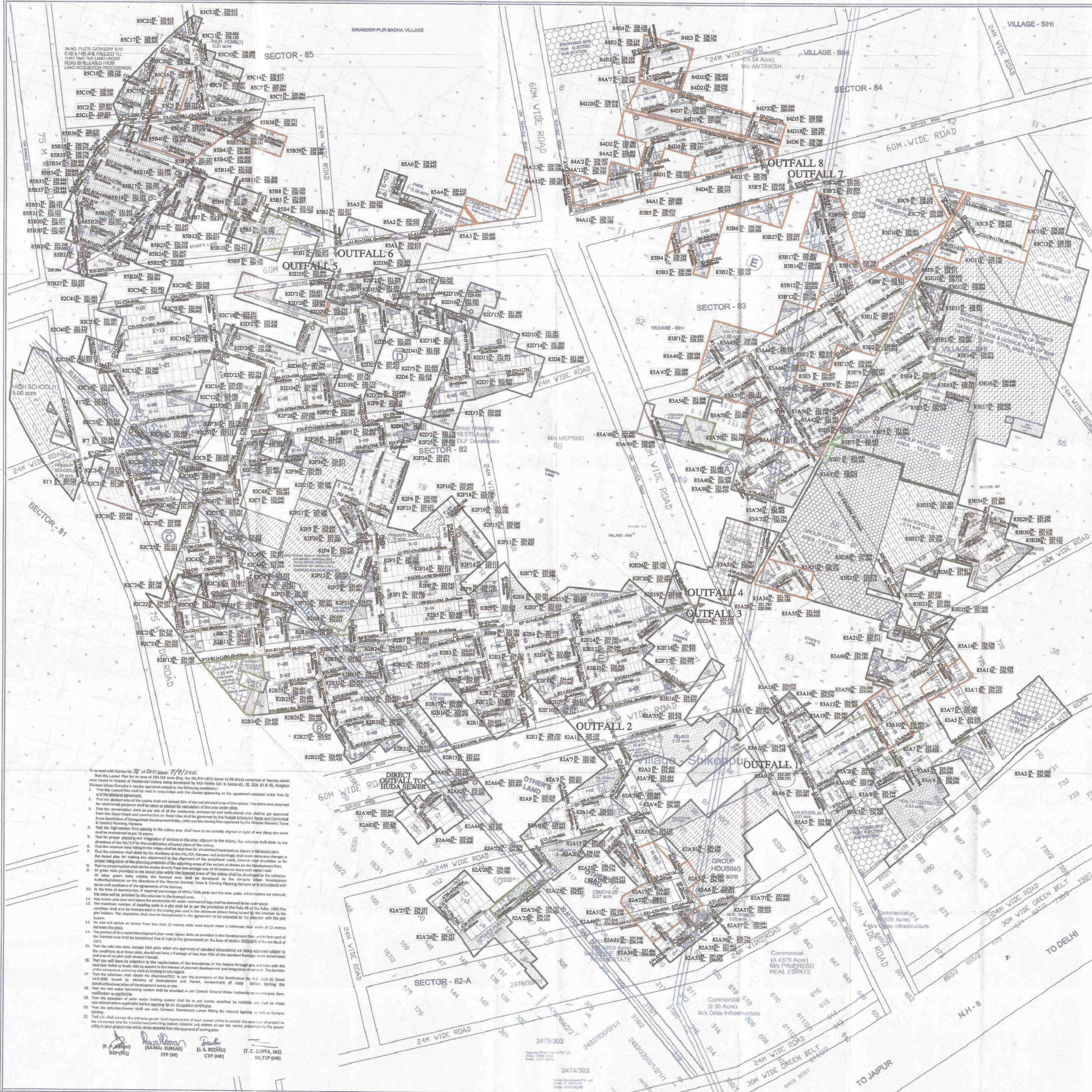
19. The sewerage system shall be constructed in accordance with the bye-laws of the Government of Haryana under Rule 11 and the bye-laws of the Government of Haryana under Rule 12.

20. The sewerage system shall be constructed in accordance with the bye-laws of the Government of Haryana under Rule 11 and the bye-laws of the Government of Haryana under Rule 12.

(P. SINGH) (RAMESH KUMAR) (U. S. REDH) (T. C. GUPTA, IAS) (G. TOP) (S. P. SINGH)

M/S Vatika Limited Storm Water Layout Plan

Note:-
1. All Dimension are in Meters.
2. Dimensions shall not be measured.
3. Any drawing error or divergences be brought to the notice.



AREA UNDER AREA 3 SECTOR ROAD	= 16.79 Acres
AREA UNDER AREA 3 SECTOR ROAD	= 0.80 Acres
AREA UNDER CHOPRA ROAD	= 0.80 Acres
AREA UNDER CHOPRA ROAD	= 0.80 Acres
AREA UNDER CHOPRA ROAD	= 0.80 Acres
AREA UNDER CHOPRA ROAD	= 0.80 Acres
TOTAL AREA	= 21.79 Acres

Category	Required	Provided	% Served
1. Residential	1743	1743	100%
2. Commercial	1743	1743	100%
3. Industrial	1743	1743	100%
4. Public	1743	1743	100%
5. Total	6972	6972	100%

Plot No.	Plot Area (Sq. M)	Total Area (Sq. M)
1	100	100
2	200	200
3	300	300
4	400	400
5	500	500
6	600	600
7	700	700
8	800	800
9	900	900
10	1000	1000
11	1100	1100
12	1200	1200
13	1300	1300
14	1400	1400
15	1500	1500
16	1600	1600
17	1700	1700
18	1800	1800
19	1900	1900
20	2000	2000
21	2100	2100
22	2200	2200
23	2300	2300
24	2400	2400
25	2500	2500
26	2600	2600
27	2700	2700
28	2800	2800
29	2900	2900
30	3000	3000

LEGEND:-

- COMMERCIAL
- GREEN
- COMMUNITY FACILITIES
- UNDETERMINED USE
- SITE BOUNDARY
- STORM WATER LINE
- RECHARGE WELL

ADDITIONAL AREA SHOWN THIS: [Symbol]

PLANNING CHANGE SHOWN THIS: [Symbol]

AREA FORMING PART SECTOR ROAD AS PER L.O. No. 71/2010 AND TO BE RELEASED ON APPROVAL OF THE GOVT.

- 1. This plan is prepared in accordance with the provisions of the Urban Planning Act, 1973 and the Urban Planning Rules, 1974.
- 2. The area shown in this plan is the area reserved for the use of the colony.
- 3. The area shown in this plan is the area reserved for the use of the colony.
- 4. The area shown in this plan is the area reserved for the use of the colony.
- 5. The area shown in this plan is the area reserved for the use of the colony.
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- 29. The area shown in this plan is the area reserved for the use of the colony.
- 30. The area shown in this plan is the area reserved for the use of the colony.

RE-VISITED LAYOUT PLAN OF RESIDENTIAL COLONY "VATIKA INDIA NEXT" ON LAND MEASURING 393.358 ACRES IN SECTORS 81, 82, 83, 84, 85, GURGAON, HARYANA

DEVELOPED BY:

VATIKA LIMITED
7th Floor, Vatika Triangle,
Sushant Lok - I, Gurgaon

For VATIKA LIMITED
Authorized Signatory

Architect's Box:
ALOK MEHTA (Architect)
Membership No. CA/2008

DATE: APRIL 2011 SCALE: 1:2000

RE-VISITED LAYOUT PLAN
M/S VATIKA LIMITED

CLIENT :- **VATIKA LIMITED**
7th Floor Vatika Triangle,
Sushant Lok - I, Gurgaon.

yatika
Executive Engineer (W)
for Civil Engineer
HUDA, Panchajanya

Director General
Town and Country Planning
Haryana, Chandigarh

Title: **Storm Water Layout Plan**

Director Infrastructure
for ky Consultants Pvt.Ltd

11 P, Sector 30,
Gurgaon- 122001
Ph: 0124-4034715
Fax: 0124-4034714

Drawn by: **T. Alam** Checked by: **R. Mathur** Drawing No. **D-1** Revision: **Date**

28-11-2011

Executive Engineer
HUDA District Office
Gurgaon

Superintending Engineer
HUDA Circle No. 1,
Gurgaon

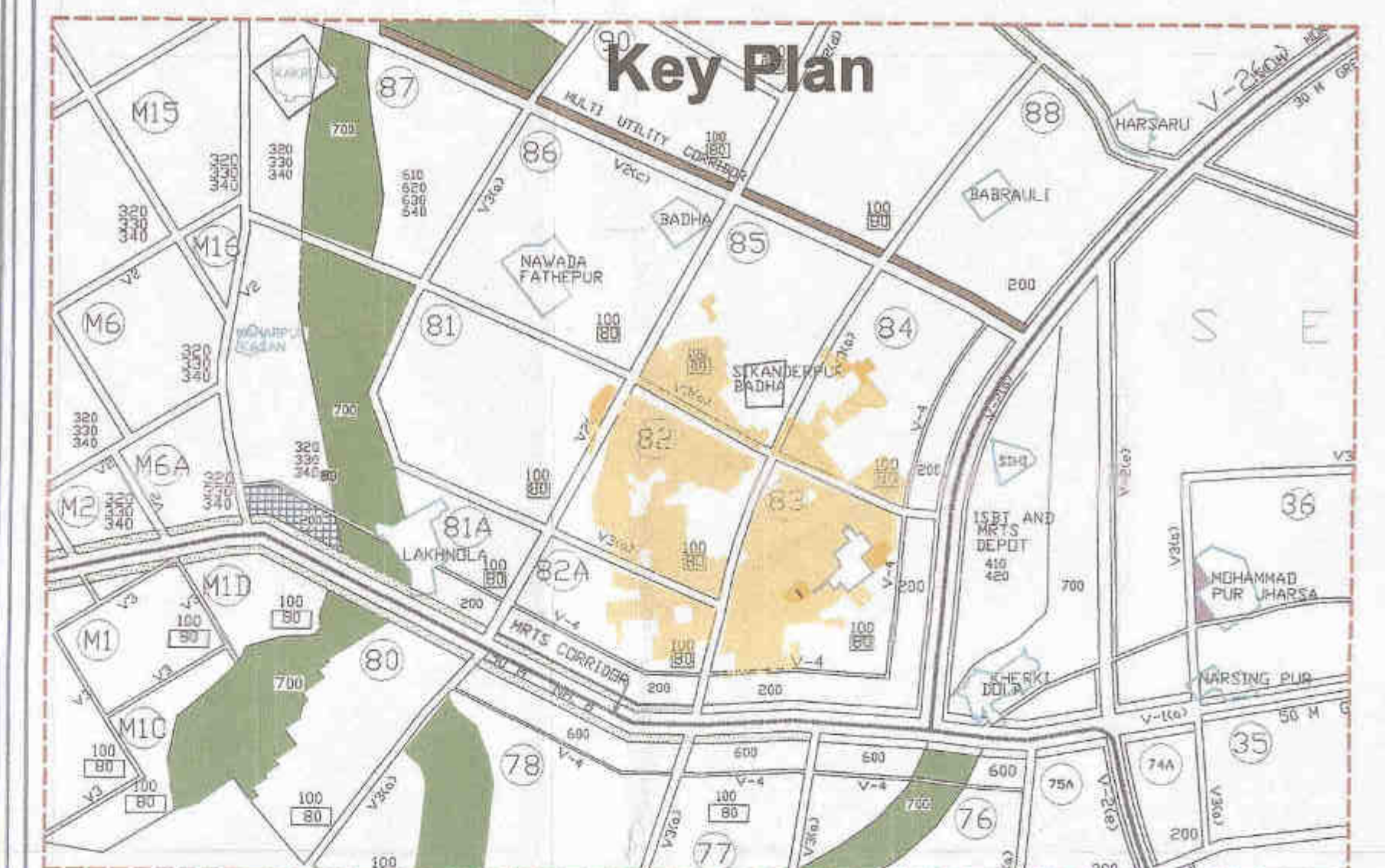
Services Planned & Designed by:
Consultants Pvt. Ltd.

M/S Vatika Limited Recycled Water Layout Plan

- Note:-
1. All Dimension are in Meters.
 2. Dimensions shall not be measured.
 3. Any drawing error or divergences be brought to the notice.

LEGEND:-

	COMMERCIAL
	GREEN
	COMMUNITY FACILITIES
	UNDETERMINED USE
	SITE BOUNDARY
	RECYCLING WATER LINE
	LAWN HYDRANT



TOTAL AREA OF THE SCHEME (102.7664 HECT. 781.44 SQ. MET. 9.831)

AREA UNDER 40M & 60M SECTOR ROAD	= 393.388 acre
AREA UNDER 24M SECTOR ROAD	= 18.70 acre
AREA UNDER GROUP ROAD	= 8.30 acre
AREA UNDER U/D	= 24.24 acre
NET PLANNED AREA	= 201.78 acre

AREA UNDER COMMERCIAL	= 12.87 acre (6.37%)
AREA UNDER PLANT	= 11.53 acre (5.71%)
TOTAL BALANCE AREA	= 152.38 acre (75.19%)
AREA UNDER OPEN SPACE	= 21.78 acre (11.14%)

PROPOSED PLANNED POPULATION @ 100 PPS CAPACITY	= 20178
PROPOSED PLANNED POPULATION @ 50 PPS CAPACITY	= 10089
PROPOSED PLANNED POPULATION @ 25 PPS CAPACITY	= 5044
PROPOSED PLANNED POPULATION @ 12.5 PPS CAPACITY	= 2522

PLANNED POPULATION @ 100 PPS CAPACITY	20178
PLANNED POPULATION @ 50 PPS CAPACITY	10089
PLANNED POPULATION @ 25 PPS CAPACITY	5044
PLANNED POPULATION @ 12.5 PPS CAPACITY	2522
TOTAL	47833

PLANNING CHANGE SHOWN THIS:

ADDITIONAL AREA SHOWN THIS:	
PLANNING CHANGE SHOWN THIS:	
AREA FORMING PART SECTOR ROAD AS PER LC NO. 71/2010 AND TO BE RELEASED ON APPROVAL OF THE GOVT.	

PROJECT:
RE-REVISED LAYOUT PLAN OF RESIDENTIAL COLONY "VATIKA INDIA NEXT" ON LAND MEASURING 393.358 ACRES IN SECTORS 81, 82, 83, 84 & 85, GURGAON, HARYANA

DEVELOPED BY:
VATIKA LIMITED
7th Floor, VATIKA TRIANGLE, SUSHANT LOK-1, GURGAON

FOR VATIKA LIMITED:
Authorized Signatory

ARCHITECT'S SEAL:
ALOK MEHTA (Architect)
Membership No. CA/31/2001

RECKED BY:
DATE: APRIL 2011
SCALE: 1 : 2000

RE-REVISED LAYOUT PLAN
M/s VATIKA LIMITED



To be read with Record No. 7/2010 dated 7/1/2010.

This Revised Plan for an area of 393.358 acres (Fig. No. 02/707-2071 dated 12.02.2010) is a revision of the plan for an area of 393.358 acres (Fig. No. 02/707-2071 dated 12.02.2010) of the area of the Residential Colony being developed in Sector 81, 82, 83, 84 & 85, Gurgaon, Haryana. The plan is being revised to incorporate the following changes:

1. That the Revised Plan shall be read in conjunction with the terms appearing in the agreement entered into between the Developer and the Government of Haryana.
2. That the Revised Plan shall be read in conjunction with the terms appearing in the agreement entered into between the Developer and the Government of Haryana.
3. That the Revised Plan shall be read in conjunction with the terms appearing in the agreement entered into between the Developer and the Government of Haryana.
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19. That the Revised Plan shall be read in conjunction with the terms appearing in the agreement entered into between the Developer and the Government of Haryana.
20. That the Revised Plan shall be read in conjunction with the terms appearing in the agreement entered into between the Developer and the Government of Haryana.

(P. P. JAIN) (S. P. JAIN) (R. S. JAIN) (T. C. GUPTA) (D. G. T. JAIN)