

BR-III
(See Code 14 (III))
Form of Sanction

From

Director General,
Town & Country Planning Department,
Haryana, Chandigarh.
SCO-71-75, Sector-17-C, Chandigarh.
Tele-Fax: 0172-2548475; Tel.: 0172-2549851,
E-mail: tcpharyana2@gmail.com
Website www.tcpharyana.gov.in

To

Smt. Ajit Kaur & others,
C/o Raheja Developers Ltd.,
#406, 4th Floor, Rectangle One,
D-4, District Centre, Saket,
New Delhi-110017.

Memo No. ZP-1051/SD(BS)/2016/ 114. Dated:- 02-01-2017

Subject: Approval of building plans of Tower-A, B, C, D, EWS, Commercial, Community & Changing Room, Community (Tower-A, B, C & D) & Nursery School-1 in Group Housing Colony measuring 12.48675 acres (Licence No. 64 of 2013 dated 20.07.2013 & Licence No. 72 of 2014 dated 01.08.2014) in Sector-99-A, Gurgaon Manesar Urban Complex being developed by Smt. Ajit Kaur & others in collaboration with Raheja Developers Pvt. Ltd.

Reference your application dated 19.11.2014 & 10.10.2016 for permission to erect the buildings in Group Housing Colony measuring 12.48675 acres (Licence No. 64 of 2013 dated 20.07.2013 & Licence No. 72 of 2014 dated 01.08.2014) in Sector-99-A, Gurgaon Manesar Urban Complex being developed by Smt. Ajit Kaur & others in collaboration with Raheja Developers Pvt. Ltd. in accordance with the plans submitted with it.

Permission is hereby granted for the aforesaid construction subject to the provisions of the respective Acts and Haryana Building Code-2016 subject to the following amendments, terms and conditions:-

1. The plans are valid for a period of 2 years of the buildings less than 15.00 meters in height and 5 years for the multistoried buildings from the date of issuance of sanction, subject to validity of licenses granted for this scheme.
2. The structural responsibility of the construction shall be entirely of the owner/ supervising architect/ Engineer of the scheme.

Further that: -

- a) The building shall be constructed in accordance to the Structure Design by Structure Engineer and certified by Proof Consultant on prescribed FORM BR-V(A2).
- b) All material to be used for erection of building shall conform to I.S.I. and N.B.C. standards.

- c) No walls/ceiling shall be constructed of easily inflammable material and staircases shall be built of the fire resisting material as per standard specification.
- d) The roof slab of the basement external to the buildings if any shall be designed/ constructed to take the load of fire tender up to 45 tones.

3. FIRE SAFETY:

- (i) The colonizer and the Supervising Architect of the project shall be entirely responsible for making provisions of fire safety and fire fighting measures and shall abide by all fire safety bye laws.
- (ii) That you shall get approved the fire fighting scheme in accordance with the section 15 of The Haryana Fire Safety Act 2009 and directions issued by the Director, Haryana Fire Services, Haryana, before starting the construction work at site.


- 4. The provision of letter boxes for each dwelling unit shall be made at the ground floor of each building.
- 5. No addition and alteration in the building plans/ layout plan shall be made without the prior approval of DG,TCP. Further only figured dimensions shall be followed and in case of any variation in the plans, prior approval of DG,TCP shall be pre-requisite.
- 6. That you shall furnish the service plan/ estimate of this scheme in accordance with approved building plans.
- 7. Based on the actual estimated cost of internal development of the commercial colony you shall furnish additional bank guarantee, if required.
- 8. The revenue Rasta if any passing through the site shall be kept unobstructed.
- 9. If any infringement of byelaws remains unnoticed, the Department reserves the right to amend the plan as and when any such infringement comes to its notice after giving an opportunity of being heard and the Department shall stand indemnified against any claim on this account.
- 10. The layout showing the electric installation shall have to be got approved from the competent authority before execution of work at site.
- 11. No person shall occupy or allow any other person to occupy any new building and before grant of occupation certificate, you shall apply for occupation certificate as per the provisions of Code 23 (1) of the Haryana Building Code-2016 which shall be accompanied by certificates regarding completion of works described in the plans and it shall be accompanied by:
 - (i) DPC certificate issued by DTP.
 - (ii) Structural stability certificate duly signed by the recognized Architect & Structural Engineer.
 - (iii) A clearance from Fire Safety point of view from the competent authority.

12. The basements shall be used for parking and services as prescribed in the approved zoning plan and building plans. The parking lots proposed in the scheme shall be exclusively for the use of flat owners/residents of the group housing scheme. The parking lot shall not be leased out /transferred to any person who is not a flat owners /residents of the group housing complex.
13. You shall comply with the conditions laid down in the Memo No. 127067 dated 07.12.2016 of Superintending Engineer (HQ), HUDA, Panchkula (copy enclosed).
14. GENERAL: -
 - (i) That the coloniser/owner shall obtain the clearance/NOC as per the provisions of the Notification No. S.O. 1533 (E) Dated 14.9.2006 issued by Ministry of Environment and Forest, Government of India before starting the construction/execution of development works at site.
 - (ii) That the rain water harvesting system shall be provided as per Central Ground Water Authority norms/Haryana Govt. notification as applicable.
 - (iii) That the coloniser/owner shall use only Light-Emitting Diode lamps (LED) fitting for internal lighting as well as Campus lighting.
 - (iv) That the coloniser/owner shall strictly comply with the directions issued vide Notification No. 19/6/2016-5P dated 31.03.2016 issued by Haryana Government Renewable Energy Department.
 - (v) That coloniser/owner shall ensure the installation of Solar Power Plant as per provisions of Haryana Solar Power Policy, 2016 issued by Haryana Government Renewable Energy Department vide Notification No. 19/4/2016-5 Power dated 14.03.2016.
 - (vi) That the coloniser/owner shall ensure the installation of Solar Photovoltaic Power Plant as per the provisions of order No. 22/52/2005-5Power dated 21.03.2016 issued by Haryana Government Renewable Energy Department.
 - (vii) That you shall submit the scanned copy of the approved building plans of this scheme to this office from the issuance of this letter.
 - (viii) That you shall deposit the labour cess in future, time to time as per construction of work done at site.
 - (ix) That if any, site for Electric Sub Station is required, same will be provided by you in the colony.
 - (x) That you shall abide by the policies issued by the Department regarding allotment of EWS flats from time to time.
 - (xi) That provision of parking shall be made within the area earmarked /designated for parking in the colony and no vehicle shall be allowed to park outside the premises.

- (xii) That you shall follow provisions of section 46 of 'The Persons with Disabilities (Equal Opportunities, protection of Rights and full Participation) Act, 1995' which includes construction of Ramps in public buildings, adaption of toilets for wheel chair users, Braille symbols and auditory signals in elevators or lifts and other relevant measures for Hospitals, Primary Health Centre and other medical care and rehabilitation units.
15. That you shall strictly comply with the directions of MOEF Guidelines, 2010 while raising construction and comply with the instructions of Director General, Town & Country Planning, Haryana, Chandigarh issued vide order dated 14.05.2015 and is also available on the Departmental Website www.tcpharyana.gov.in.
16. That the Service Plans/Estimates for electrical infrastructure shall be submitted to the concerned authority and submit the approval of the same to the Department before applying the completion certificate of the colony under Rule-16 of the Haryana Development and Regulation of Urban Areas Rules, 1976.

This sanction will be void abnatio, if any of the conditions mentioned above are not complied with.

DA/One set of Building Plans



(Ravi Sihag)
District Town Planner (HQ),
Member Secretary,
For: Chief Town Planner, Haryana-cum- Chairman,
Building Plan Approval Committee.

Memo No. ZP-1051/SD(BS)/2016/_____ Dated:-_____

A copy is forwarded to the following for information: -

1. Haryana State Pollution Control Board, Panchkula with the request that the compliance of the instructions issued by NGT shall be monitored and strict compliance to be ensured.
2. Administrator, HUDA, Gurgaon.
3. Senior Town Planner, Gurgaon.
4. Superintending Engineer (HQ) HUDA, Panchkula.
5. District Town Planner, Gurgaon, along with one set of Building Plans.
6. District Town Planner (Enf.), Gurgaon.
7. Nodal Officer, Website Updation.

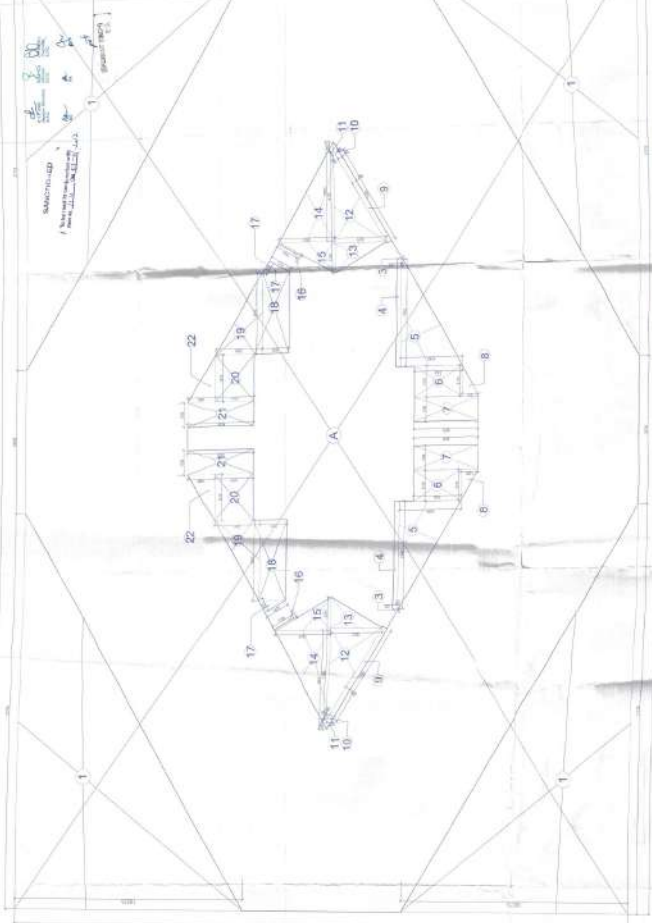
Encl: as above


(Ravi Sihag)
District Town Planner (HQ),
Member Secretary,
For: Chief Town Planner, Haryana-cum- Chairman,
Building Plan Approval Committee.

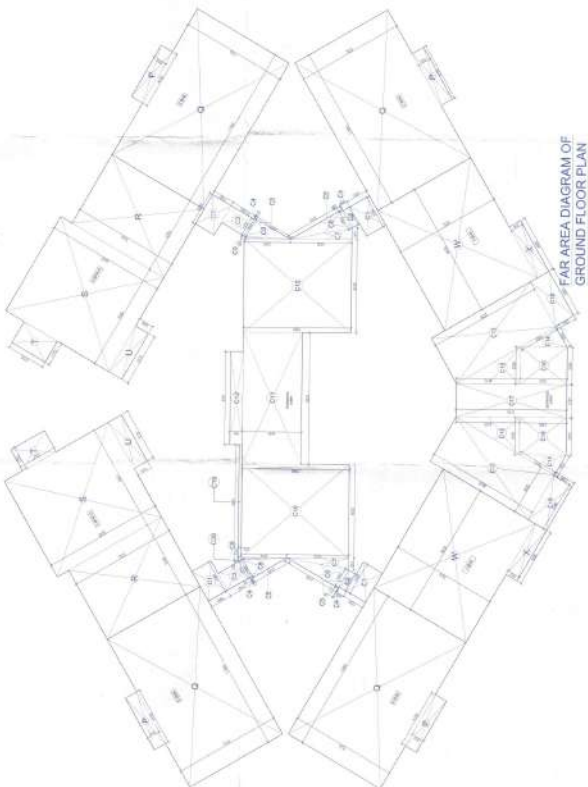
NOTES:

- 1. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE SPECIFIED.
- 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
- 3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.
- 4. DIMENSIONS OF WALLS SHOULD BE REVIEWED AS PER THE ARCHITECTURAL DRAWINGS.
- 5. FOR ALL DIMENSIONS, CONNECTION REFER TO THE PLAN.

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	10/10/2018	...	...
2	ISSUED FOR PERMIT	10/10/2018	...	...
3	ISSUED FOR PERMIT	10/10/2018	...	...
4	ISSUED FOR PERMIT	10/10/2018	...	...
5	ISSUED FOR PERMIT	10/10/2018	...	...
6	ISSUED FOR PERMIT	10/10/2018	...	...
7	ISSUED FOR PERMIT	10/10/2018	...	...
8	ISSUED FOR PERMIT	10/10/2018	...	...
9	ISSUED FOR PERMIT	10/10/2018	...	...
10	ISSUED FOR PERMIT	10/10/2018	...	...
11	ISSUED FOR PERMIT	10/10/2018	...	...
12	ISSUED FOR PERMIT	10/10/2018	...	...
13	ISSUED FOR PERMIT	10/10/2018	...	...
14	ISSUED FOR PERMIT	10/10/2018	...	...
15	ISSUED FOR PERMIT	10/10/2018	...	...
16	ISSUED FOR PERMIT	10/10/2018	...	...
17	ISSUED FOR PERMIT	10/10/2018
18	ISSUED FOR PERMIT	10/10/2018
19	ISSUED FOR PERMIT	10/10/2018
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21	ISSUED FOR PERMIT	10/10/2018
22	ISSUED FOR PERMIT	10/10/2018



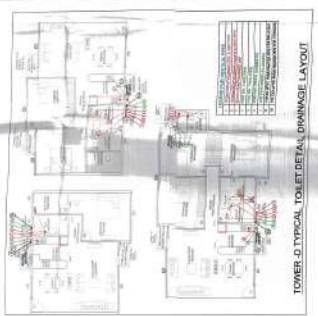
GROUND FLOOR PLAN



AREA DIAGRAM OF GROUND FLOOR PLAN

AREA DIAGRAM OF GROUND COVERAGE

NO.	DESCRIPTION	DATE	BY	CHECKED
1	ISSUED FOR PERMIT	10/10/2018
2	ISSUED FOR PERMIT	10/10/2018
3	ISSUED FOR PERMIT	10/10/2018
4	ISSUED FOR PERMIT	10/10/2018
5	ISSUED FOR PERMIT	10/10/2018
6	ISSUED FOR PERMIT	10/10/2018
7	ISSUED FOR PERMIT	10/10/2018
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14	ISSUED FOR PERMIT	10/10/2018
15	ISSUED FOR PERMIT	10/10/2018
16	ISSUED FOR PERMIT	10/10/2018
17	ISSUED FOR PERMIT	10/10/2018
18	ISSUED FOR PERMIT	10/10/2018
19	ISSUED FOR PERMIT	10/10/2018
20	ISSUED FOR PERMIT	10/10/2018
21	ISSUED FOR PERMIT	10/10/2018
22	ISSUED FOR PERMIT	10/10/2018



TOWER 0 TYPICAL TOILET DETAIL DRAINAGE LAYOUT

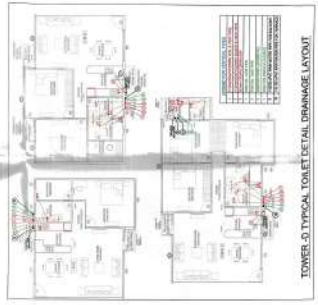
PROJECT
 PROPOSED BUILDING PLAN OF ADDITIONAL LAND...
 MANDATED BY THE LOCAL AUTHORITY...
 GRANTED AREA OF GROUND COVERAGE NO. 04 OF...
 2018 DATED 30/07/2018 TOTAL AREA 12,497.75 ACRES...
 IN RESPECT OF THE LAND...
 IN COLLABORATION WITH PARSIA DEVELOPERS LTD

OWNER'S SIGNATURE ARCHITECT
 [Signature]
DATE 11/10/2018
REVISION
DRAWING NO 1018/01/01
SCALE 1:100
DATE 11/10/2018
REVISION
DRAWING NO 1018/01/01

NOTE:

1. ALL DIMENSIONS ARE IN MILLIMETERS & LEVELS IN METERS.
2. DO NOT SCALE THE DRAWING. WORK TO WRITTEN DIMENSIONS.
3. ALL STRUCTURAL NUMBERS ARE INDICATIVE FOR EXACT SIZES REFER TO THE SPECIFICATIONS FOR EACH PART.
4. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

NO.	SYMBOL	DESCRIPTION	MARKING
1	1	UPPER FLOOR	UPPER FLOOR
2	2	LOWER FLOOR	LOWER FLOOR
3	3	RAILING	RAILING
4	4	DOOR	DOOR
5	5	WINDOW	WINDOW
6	6	CEILING	CEILING
7	7	FLOOR	FLOOR
8	8	STAIR	STAIR
9	9	ELEVATOR	ELEVATOR
10	10	POWERS	POWERS
11	11	PLUMBING	PLUMBING
12	12	MECHANICAL	MECHANICAL
13	13	DRINKING WATER	DRINKING WATER
14	14	SEWER	SEWER
15	15	VENTILATION	VENTILATION
16	16	TELEPHONE	TELEPHONE
17	17	TV	TV
18	18	REFRIGERATION	REFRIGERATION
19	19	AIR CONDITIONING	AIR CONDITIONING
20	20	HEATING	HEATING
21	21	COOLING	COOLING
22	22	FIRE PROTECTION	FIRE PROTECTION
23	23	SMOKE EXHAUST	SMOKE EXHAUST
24	24	FIRE ESCAPE	FIRE ESCAPE
25	25	STAIRCASE	STAIRCASE
26	26	ELEVATOR	ELEVATOR
27	27	MECHANICAL	MECHANICAL
28	28	PLUMBING	PLUMBING
29	29	DRINKING WATER	DRINKING WATER
30	30	SEWER	SEWER
31	31	VENTILATION	VENTILATION
32	32	TELEPHONE	TELEPHONE
33	33	TV	TV
34	34	REFRIGERATION	REFRIGERATION
35	35	AIR CONDITIONING	AIR CONDITIONING
36	36	HEATING	HEATING
37	37	COOLING	COOLING
38	38	FIRE PROTECTION	FIRE PROTECTION
39	39	SMOKE EXHAUST	SMOKE EXHAUST
40	40	FIRE ESCAPE	FIRE ESCAPE
41	41	STAIRCASE	STAIRCASE
42	42	ELEVATOR	ELEVATOR
43	43	MECHANICAL	MECHANICAL
44	44	PLUMBING	PLUMBING
45	45	DRINKING WATER	DRINKING WATER
46	46	SEWER	SEWER
47	47	VENTILATION	VENTILATION
48	48	TELEPHONE	TELEPHONE
49	49	TV	TV
50	50	REFRIGERATION	REFRIGERATION
51	51	AIR CONDITIONING	AIR CONDITIONING
52	52	HEATING	HEATING
53	53	COOLING	COOLING
54	54	FIRE PROTECTION	FIRE PROTECTION
55	55	SMOKE EXHAUST	SMOKE EXHAUST
56	56	FIRE ESCAPE	FIRE ESCAPE
57	57	STAIRCASE	STAIRCASE
58	58	ELEVATOR	ELEVATOR
59	59	MECHANICAL	MECHANICAL
60	60	PLUMBING	PLUMBING
61	61	DRINKING WATER	DRINKING WATER
62	62	SEWER	SEWER
63	63	VENTILATION	VENTILATION
64	64	TELEPHONE	TELEPHONE
65	65	TV	TV
66	66	REFRIGERATION	REFRIGERATION
67	67	AIR CONDITIONING	AIR CONDITIONING
68	68	HEATING	HEATING
69	69	COOLING	COOLING
70	70	FIRE PROTECTION	FIRE PROTECTION
71	71	SMOKE EXHAUST	SMOKE EXHAUST
72	72	FIRE ESCAPE	FIRE ESCAPE
73	73	STAIRCASE	STAIRCASE
74	74	ELEVATOR	ELEVATOR
75	75	MECHANICAL	MECHANICAL
76	76	PLUMBING	PLUMBING
77	77	DRINKING WATER	DRINKING WATER
78	78	SEWER	SEWER
79	79	VENTILATION	VENTILATION
80	80	TELEPHONE	TELEPHONE
81	81	TV	TV
82	82	REFRIGERATION	REFRIGERATION
83	83	AIR CONDITIONING	AIR CONDITIONING
84	84	HEATING	HEATING
85	85	COOLING	COOLING
86	86	FIRE PROTECTION	FIRE PROTECTION
87	87	SMOKE EXHAUST	SMOKE EXHAUST
88	88	FIRE ESCAPE	FIRE ESCAPE
89	89	STAIRCASE	STAIRCASE
90	90	ELEVATOR	ELEVATOR
91	91	MECHANICAL	MECHANICAL
92	92	PLUMBING	PLUMBING
93	93	DRINKING WATER	DRINKING WATER
94	94	SEWER	SEWER
95	95	VENTILATION	VENTILATION
96	96	TELEPHONE	TELEPHONE
97	97	TV	TV
98	98	REFRIGERATION	REFRIGERATION
99	99	AIR CONDITIONING	AIR CONDITIONING
100	100	HEATING	HEATING



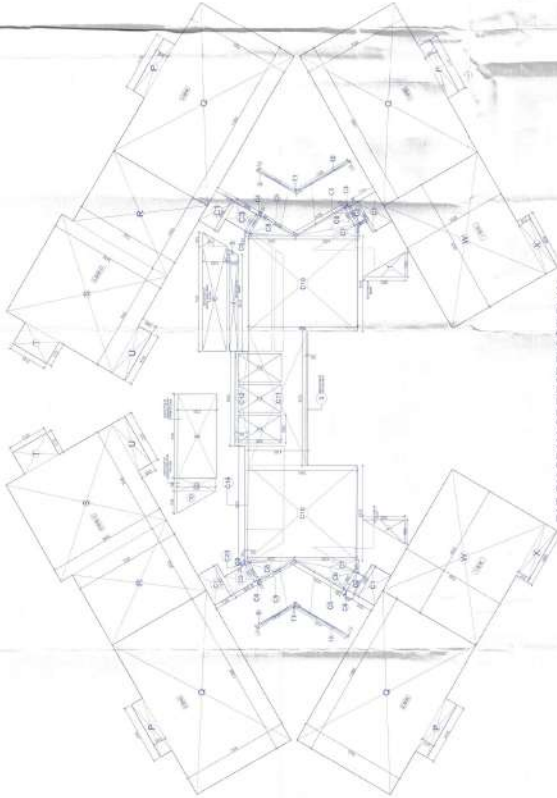
TOWER 01 TYPICAL TOILET DETAIL DRAINAGE LAYOUT

PROJECT: PROPOSED BUILDING PLAN OF ADDITIONAL LAND MEASURING 2.883 ACRES LICENSE 72 OF JOHN F. BURNETT ACT OF 1958. PROJECT AREA OF 3.25 ACRES. GRANTED AREA OF 3.25 ACRES. TOTAL AREA OF 6.133 ACRES. 2020 LOTS 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100. IN SEC. 88A, JERIKON MANEER URBAN COMPLEX IN COLLABORATION WITH FARMER AND BROTHER LTD. TO CONSIDER THE PROPOSED PROJECT VILL.

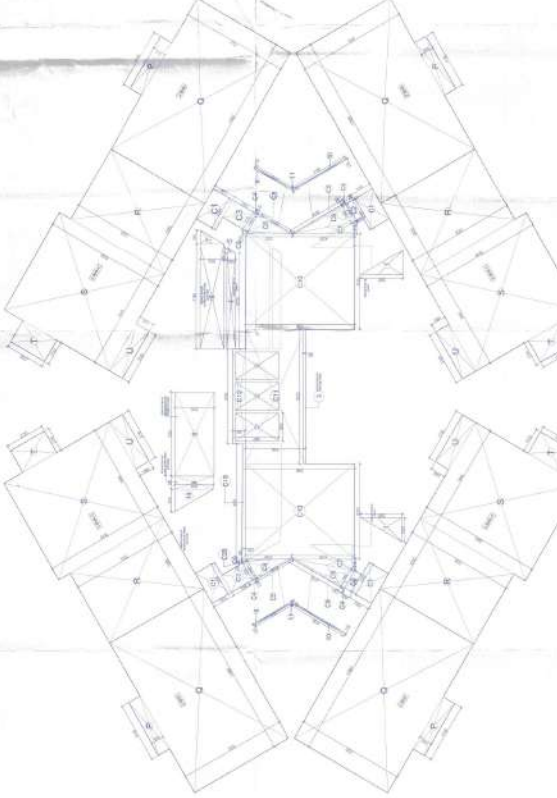
DRAWN BY: S.S. RAJAT

DATE	28.10.2019
REVISION	
SCALE	1:100
DRAWN BY	S.S. RAJAT
DRAWING NO	
DATE	

DRAWING TITLE:
 (VI) FIRST FLOOR PLAN
 (VII) FAR AREA DIAGRAM OF F. FLOOR
 (VIII) TYPICAL FLOOR PLAN
 (IX) FAR AREA DIAGRAM OF 2ND TO 4TH FLOORS.



FAR DIAGRAM OF FIRST FLOOR PLAN



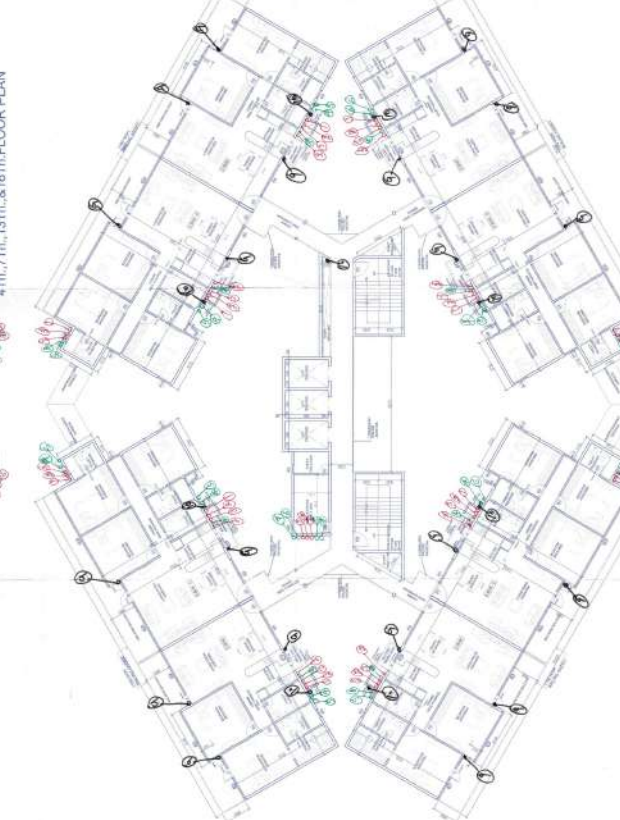
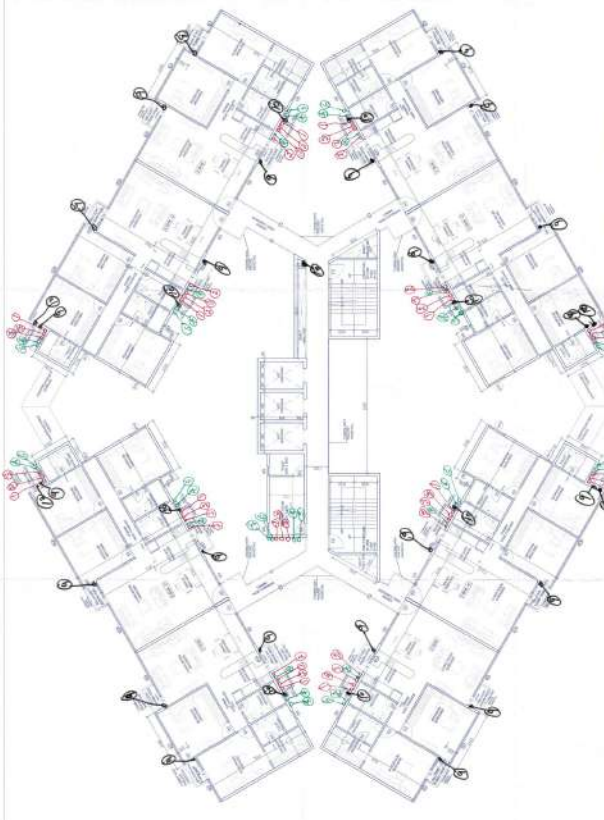
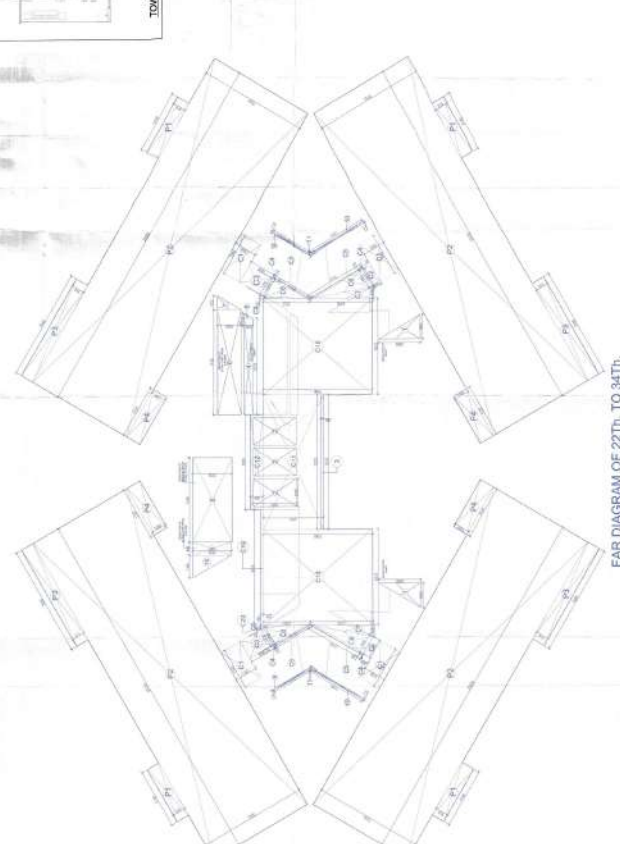
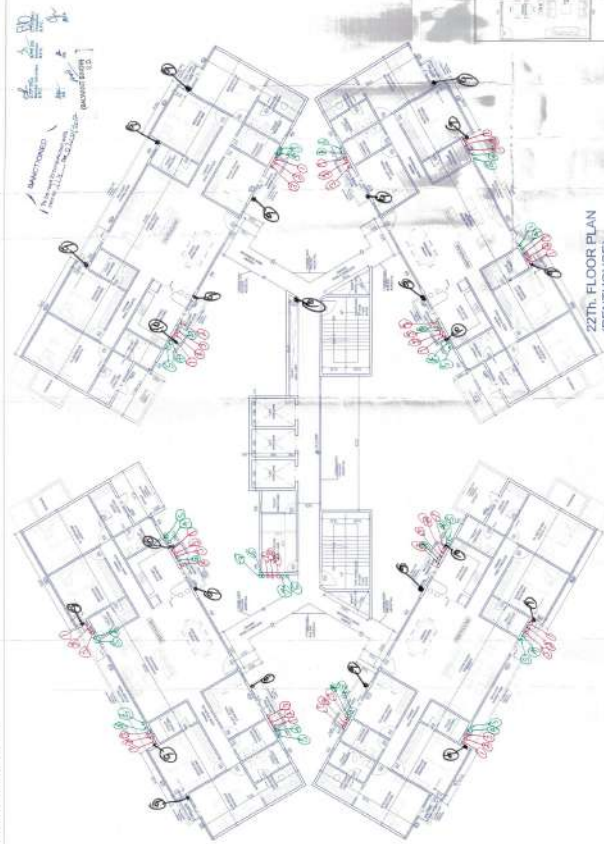
FAR DIAGRAM OF TYPICAL FLOOR PLAN (2ND TO 4TH)



FIRST FLOOR PLAN



TYPICAL FLOOR PLAN (2nd., 3rd., 5th., 6th., 8th., 9th., 11th., 12th., 14th., 15th., 17th., 18th., 19th., & 21st.)



NOTE 4:

1. ALL DIMENSIONS ARE IN MILLIMETERS & LEVELS IN METERS. DIMENSIONS OF THE DRAWING WORK TO WRITEN DIMENSIONS ONLY.
2. ALL STRUCTURAL MEMBERS ARE INDICATIVE FOR DIMENSIONS ONLY.
3. ALL STRUCTURAL MEMBERS ARE INDICATIVE FOR DIMENSIONS ONLY.
4. SIZES OF R/W PIPES SHOULD BE REVIEWED AS PER SANITARY CONNECTION REFER SITE PLAN.



PROJECT: PROPOSED BUILDING PLAN OF ADDITIONAL LAND MEASURING 3.5880 ACRES (147TH, 137TH, 137TH, AND 167TH FLOOR (11)TH, 10TH, & 20TH FLOOR PLAN (10)TH & 20TH FLOOR PLAN (10)TH TO 34TH FLOOR (PENTHOUSE) IN SEC-20A, COCHIN INTERNATIONAL COMPLEX IN WEST COAST DEVELOPMENT AREA (WCD), COCHIN CITY CORPORATION, COCHIN.

ARCHITECT: ARCHITECT'S SIGNATURE

DRAWING TITLE: FAR AREA DIAGRAM OF 22TH TO 34TH FLOOR PLAN (PENTHOUSE)

SCALE: 1:100

DATE: JAN 13, 2019

DRAWN BY: B. B. RAWAT

REVISION:

DRAWING NO: 22P

NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS & LEVELS IN METERS. SCALE THE DRAWING WORK TO APPROPRIATE DIMENSIONS ONLY.
2. ALL DIMENSIONS ARE TO FACE UNLESS SPECIFIED OTHERWISE.
3. ALL DIMENSIONS ARE TO FACE UNLESS SPECIFIED OTHERWISE.
4. DIMENSIONS OF WALLS SHOULD BE REVIEWED AS PER ALL MANUFACTURE CONNECTION REFER SITE PLAN.

TABLE OF CONTENTS

NO.	DESCRIPTION	PAGE NO.
1	GENERAL NOTES	1
2	23RD TO 34TH FLOOR PLAN (PENTHOUSE)	2
3	MUMITY AND TERRACE PLAN	3
4	AREA DIAGRAM OF MULTIPURPOSE HALL	4
5	AREA DIAGRAM OF MUMITY AND MACHINE ROOM	5
6	TERRACE PLAN OF MUMITY AND MACHINE ROOM	6
7	FRONT ELEVATION	7
8	MACHINE ROOM PLAN	8

GENERAL INFORMATION

PROJECT NAME	23RD TO 34TH FLOOR PLAN (PENTHOUSE)
CLIENT	UNIVERSITY OF KENYA
LOCATION	NAIROBI, KENYA
DATE	25.10.2015
SCALE	1:100
DRAWN BY	S. R. RAVI
CHECKED BY	S. R. RAVI
DATE	25.10.2015

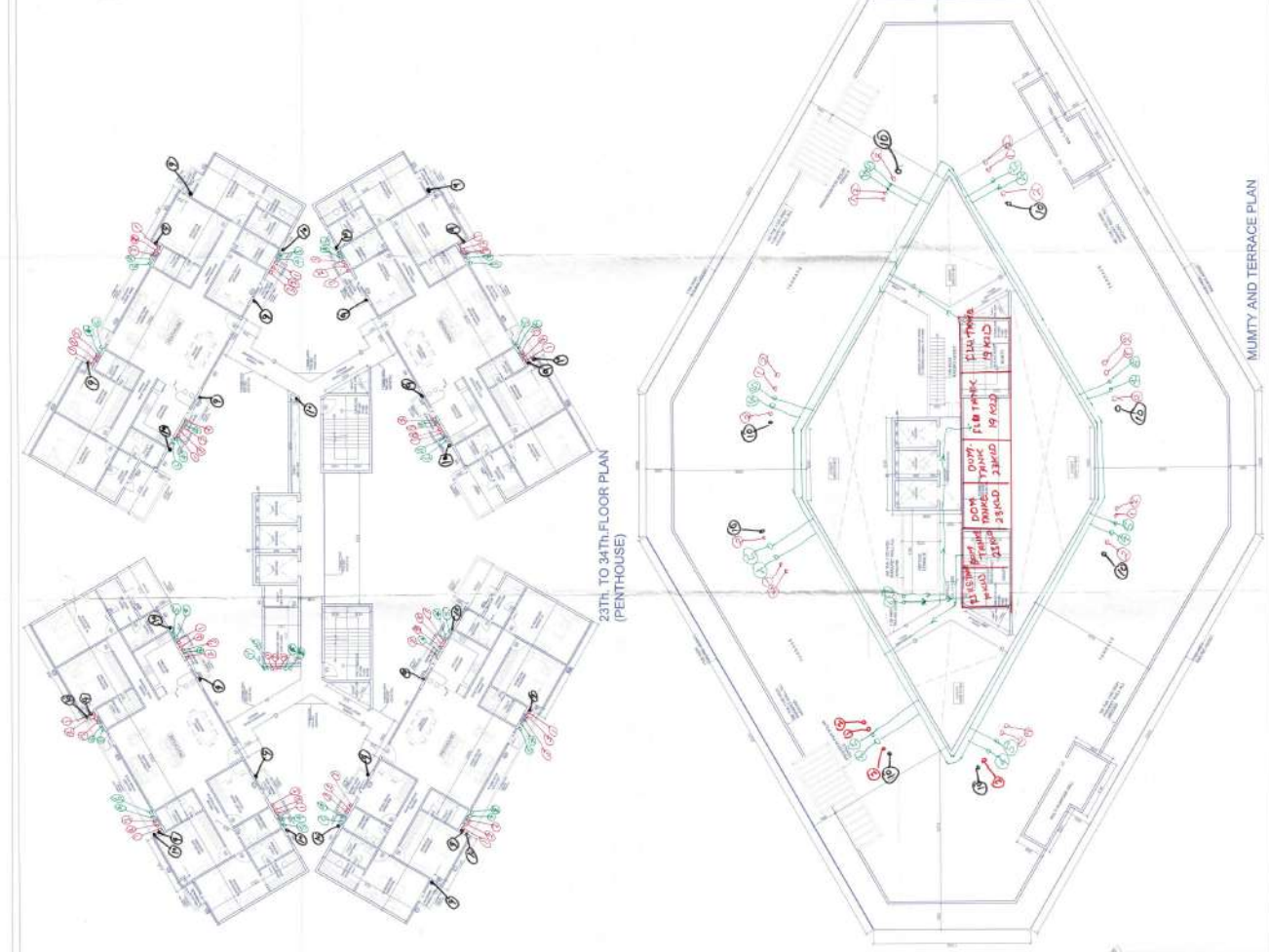
PROJECT SUMMARY

PROJECT	PROPOSED BUILDING FOR MULTIPURPOSE HALL (MUMITY AND TERRACE PLAN) AND MACHINE ROOM (MUMITY AND TERRACE PLAN).
CLIENT	UNIVERSITY OF KENYA
LOCATION	NAIROBI, KENYA
DATE	25.10.2015
SCALE	1:100
DRAWN BY	S. R. RAVI
CHECKED BY	S. R. RAVI
DATE	25.10.2015

OWNER'S SIGNATURE ARCHITECT

DRAWING TITLE
 023 TO 34 FLOOR PLAN (PENTHOUSE)
 MUMITY AND TERRACE PLAN.
 (MUMITY AND TERRACE PLAN).
 (MUMITY AND TERRACE PLAN).
 (MUMITY AND TERRACE PLAN).

SCALE	1:100
DRAWN BY	S. R. RAVI
DATE	25.10.2015
REVISION	
DRAWING NO.	



NOTE:
 1. ALL DIMENSIONS ARE IN MILLIMETERS & LEVELS IN METERS
 2. DO NOT SCALE THE DRAWING WORK TO WRITTEN DIMENSIONS ONLY
 3. ALL STRUCTURAL MEMBERS ARE INDICATIVE FOR EXACT SIZES REFER STR DRAWINGS
 4. SIZES OF R/W PIPES SHOULD BE REVIEWED AS PER RAINFALL DATA
 5. TYPICAL MANHOLE CONNECTION REFER SITE PLAN



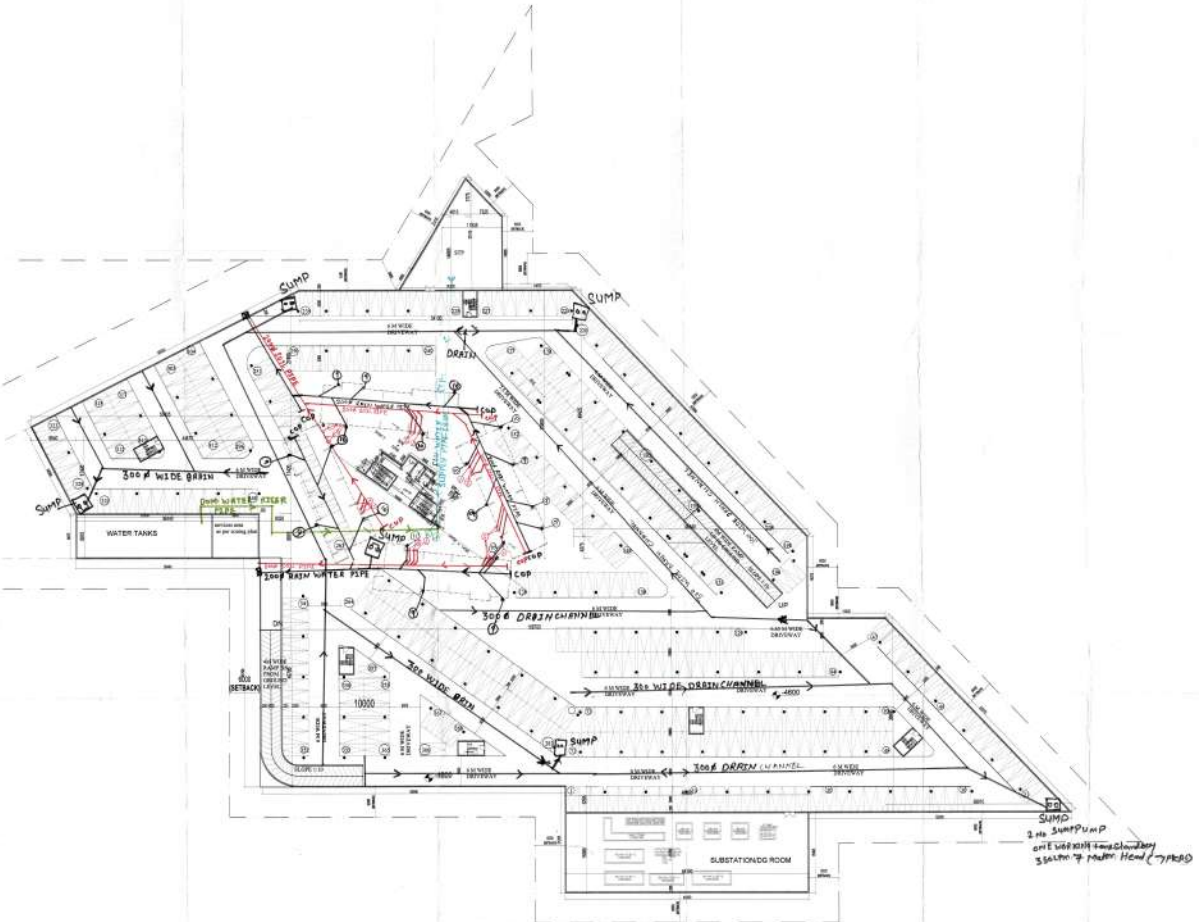
1	200# SOIL PIPE
2	200# RAIN WATER PIPE
3	300# DRAIN CHANNEL

PROJECT
 PROPOSED BUILDING PLAN OF ADDITIONAL LAND MEASURING 2.3658 ACRES LICENSE 72 OF 2014 DATED 01-26-2017 ACCORDING TO ALREADY LICENSED GRANTED AREA OF GROUP HOUSING SCHEME MEASURING 10.7082 ACRES LICENSE NO. 84 OF 2013 DATED 20-05-2013 TOTAL AREA 12.884 ACRES IN SEC-26-A, GUNDAON MANESAR URBAN COMPLEX BEHIND DEVELOPED BY SMT. AJIT KUMAR AND OTHERS IN COLLABORATION WITH RAJAJIA DEVELOPERS LTD

OWNER'S SIGNATURE ARCHITECT
 FOR AREA DEVELOPER/CLIENT: [Signature]

DRAWING TITLE
BASEMENT PLAN (PART-B)

SCALE	DRAWN BY	NORTH
1:250	MALLIKARJUN	
DATE	REVISION	DRAWING NO
25.10.2018		11



PROVIDED PARKING	389
SINGLE PARKING=	389

PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

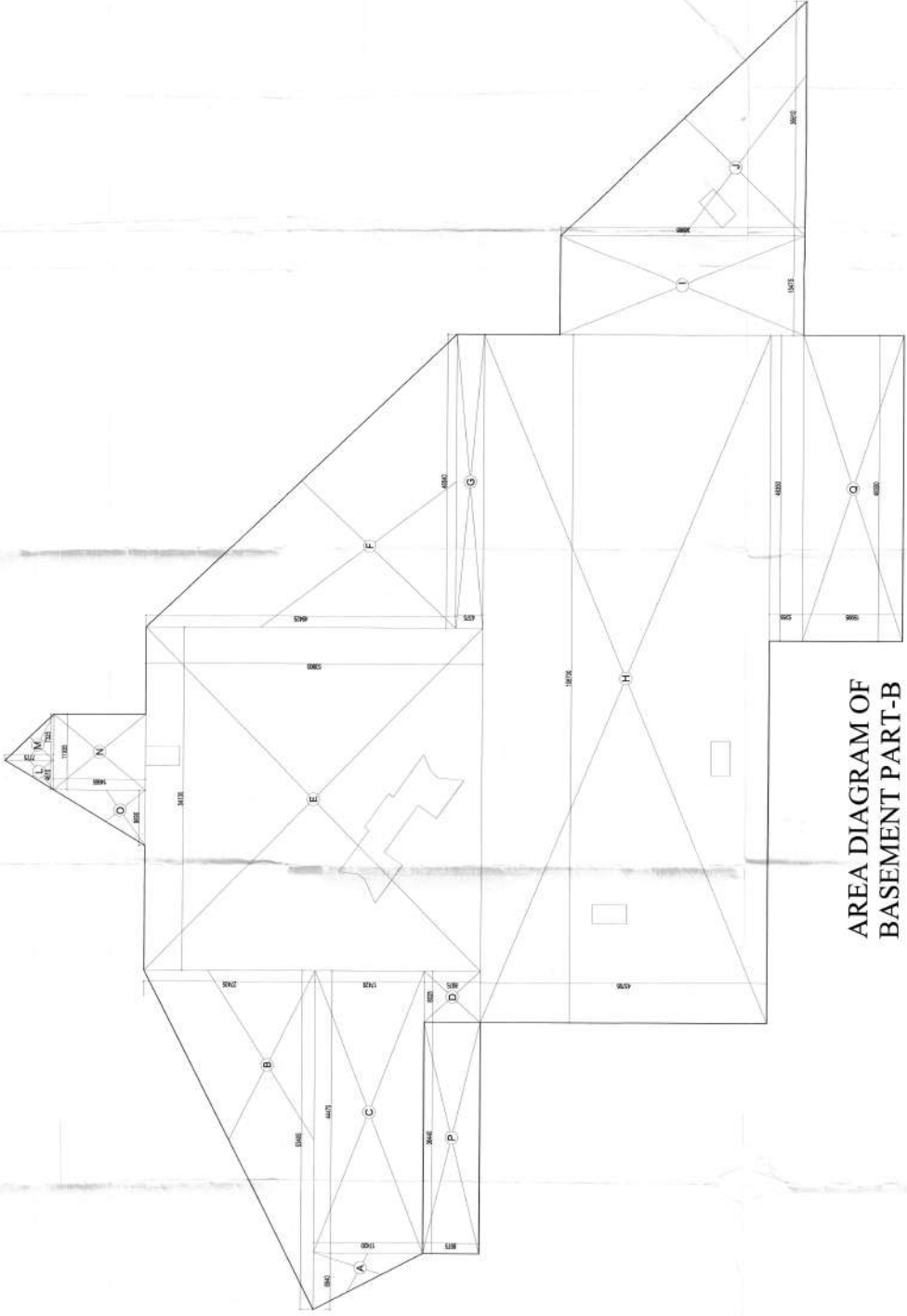
PRODUCED BY AN AUTODESK EDUCATIONAL PRODUCT

NOTE-1

- 1. ALL DIMENSIONS ARE IN MILLIMETERS & LEVELS IN METERS. SCALE THE DRAWING. WORK TO WRITTEN DIMENSIONS ONLY.
- 2. ALL STRUCTURAL MEMBERS ARE INDICATIVE FOR EXACT SIZES REFER STR. DRAWINGS PER RAINFALL DATA. THIS SHOULD BE REVIEWED AS PER RAINFALL DATA.
- 3. FOR ALL MANHOLE CONNECTION REFER SITE PLAN.

NO.	DESCRIPTION	UNIT	AMOUNT
1	CONCRETE	CUM	12.50
2	BRICK	SQ. M	150.00
3	ROOFING	SQ. M	150.00
4	PAINT	SQ. M	150.00
5	WATERPROOFING	SQ. M	150.00
6	GLASS	SQ. M	150.00
7	STEEL	KG	1500.00
8	WOOD	CUM	15.00
9	CEMENT	MT	150.00
10	SAND	CUM	15.00
11	GRAVEL	CUM	15.00
12	AGGREGATE	CUM	15.00
13	CONCRETE	CUM	15.00
14	BRICK	SQ. M	150.00
15	ROOFING	SQ. M	150.00
16	PAINT	SQ. M	150.00
17	WATERPROOFING	SQ. M	150.00
18	GLASS	SQ. M	150.00
19	STEEL	KG	1500.00
20	WOOD	CUM	15.00
21	CEMENT	MT	150.00
22	SAND	CUM	15.00
23	GRAVEL	CUM	15.00
24	AGGREGATE	CUM	15.00
25	CONCRETE	CUM	15.00
26	BRICK	SQ. M	150.00
27	ROOFING	SQ. M	150.00
28	PAINT	SQ. M	150.00
29	WATERPROOFING	SQ. M	150.00
30	GLASS	SQ. M	150.00
31	STEEL	KG	1500.00
32	WOOD	CUM	15.00
33	CEMENT	MT	150.00
34	SAND	CUM	15.00
35	GRAVEL	CUM	15.00
36	AGGREGATE	CUM	15.00
37	CONCRETE	CUM	15.00
38	BRICK	SQ. M	150.00
39	ROOFING	SQ. M	150.00
40	PAINT	SQ. M	150.00
41	WATERPROOFING	SQ. M	150.00
42	GLASS	SQ. M	150.00
43	STEEL	KG	1500.00
44	WOOD	CUM	15.00
45	CEMENT	MT	150.00
46	SAND	CUM	15.00
47	GRAVEL	CUM	15.00
48	AGGREGATE	CUM	15.00
49	CONCRETE	CUM	15.00
50	BRICK	SQ. M	150.00

MANPOWER
 1. 1000 HRS
 2. 1000 HRS
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 43. 1000 HRS
 44. 1000 HRS
 45. 1000 HRS
 46. 1000 HRS
 47. 1000 HRS
 48. 1000 HRS
 49. 1000 HRS
 50. 1000 HRS



**AREA DIAGRAM OF
 BASEMENT PART-B**

PROJECT
 PROPOSED BUILDING PLAN OF ADDITIONAL LAND MEASURING 2.3855 ACRES/LIASE 22 OF 2014 DATED 01-08-2014/ADJOINING TO ALREADY LICENSED GRANTED AREA OF GROUP HOUSING SCHEME OF 2013 DATED 20-07-2013 TOTAL AREA 12.48673 ACRES IN SEC-85/A, GURGAON MANESAR URBAN COMPLEX. PROJECT NOT DESIGNATED AS A PROJECT UNDER IN-COLLABORATION WITH PAVELA DEVELOPERS LTD.

OWNER'S SIGNATURE
 ARCHITECT
 For PAVLA DEVELOPERS (P) LTD
 PROJECTS SECTION
 PAVLA DEVELOPERS (P) LTD
 201, NCT OF DELHI

DRAWING TITLE
**BASEMENT PLAN (PART-B)
 AREA DIAGRAM**

SCALE	DRAWN BY	NORTH
1:250	MALLIKARJUN	
DATE	REVISION	DRAWING NO
28.10.2016		