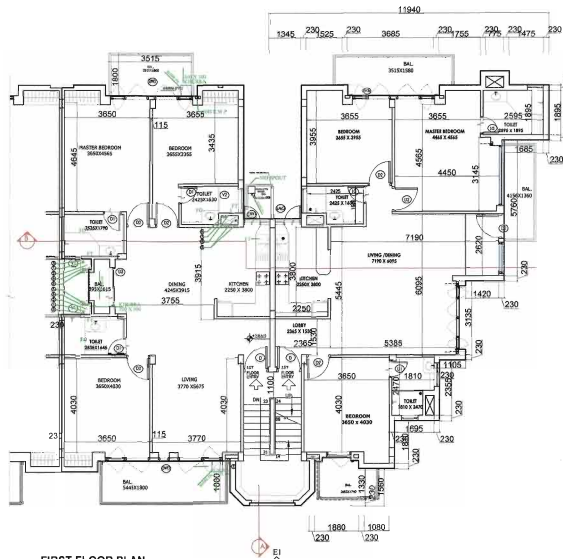
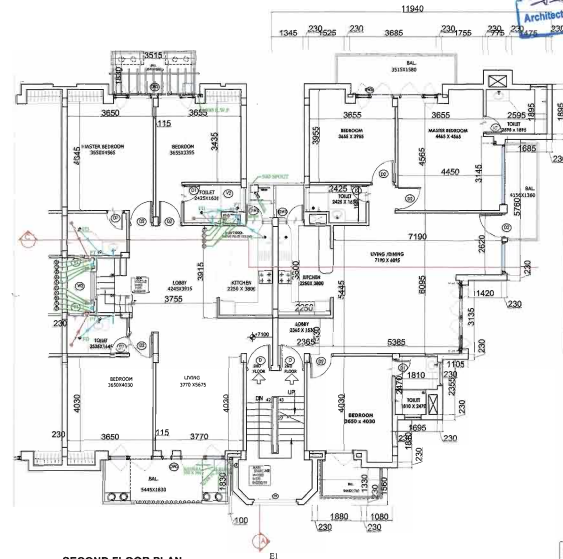


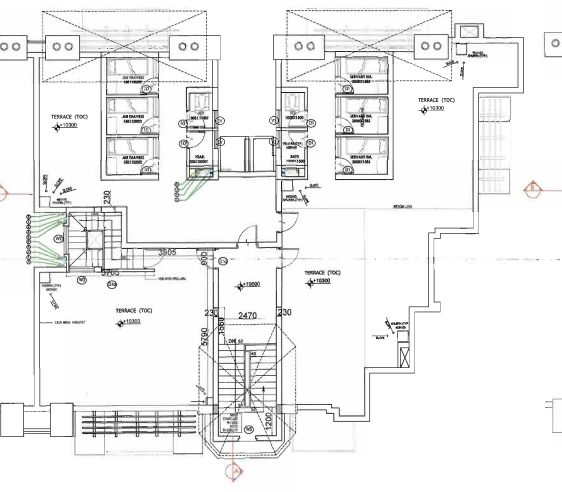
GROUND FLOOR PLAN



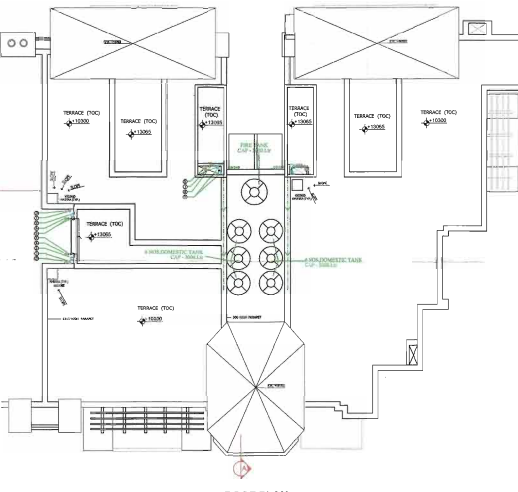
FIRST FLOOR PLAN



SECOND FLOOR PLAN



TERRACE PLAN

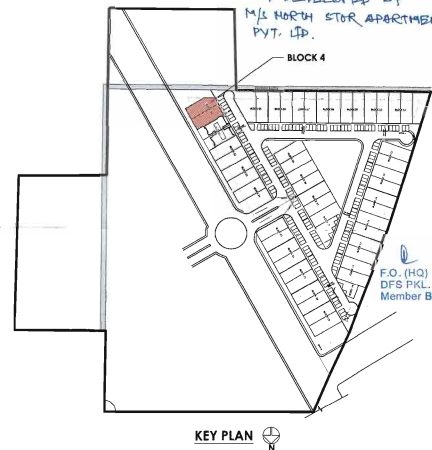


ROOF PLAN

DOOR-WINDOW SCHEDULE

S.NO.	TYPE	WIDTH	HEIGHT
1	D	1050	2100
2	D1	750	2100
3	D1a	900	2100
4	D2	1000	2100
5	D3	1615	2775
6	DW1	1120	2675
7	DW2	5005	AS/DESIGN
8	DW2A	5005	AS/DESIGN
9	DW3	3515	AS/DESIGN
10	DW3A	3515	AS/DESIGN
11	DW4	1500	AS/DESIGN
12	DW5	1550	AS/DESIGN
13	DW6	1900	AS/DESIGN
14	W2	1185	1135
15	W3	1085	1200
16	W4	1500	AS/DESIGN
17	J2	700	AS/DESIGN
18	V1	700	975
19	V2	1035	975
20	V3	955	600
21	V4	530	600

REVISED BUILDING PLAN OF GROUP HOUSING SCHEME MEASURINGS 15.275 ACRES (LICENCE NO.59 OF 2008 DATED 13.03.2008) IN SECTOR-84, GURGAON, MAHESAR URBAN COMPLEX BEING DEVELOPED BY M/S HURH STAR APARTMENT PVT. LTD.



KEY PLAN

Architect (HQ)
 Checked and found ok for Public Health (National) Services by subject to compliance in force of Lic. No. 55107-DL-24/1/17
 Supporting Engineer (HQ) HUDA, Panchkula
 8/1/17

DI(A) OF PIPES FOR PLUMBING SYSTEM

1.	WASH BASIN TO FLOOR TRAP	320
2.	FLOOR DRAIN TO FLOOR TRAP	500
3.	URINAL TRAP TO VERTICAL PIPE	1000
4.	FLOOR TRAP TO VERTICAL PIPE	1000
5.	WC TO VERTICAL PIPE	1000

LEGEND FOR PLUMBING

S.NO.	SYMBOL	DESCRIPTION
1.	---	SEWERAGE LINE
2.	---	DRAINAGE LINE
3.	[Symbol]	DRAINAGE CHAMBER 450X450MM
4.	[Symbol]	INSPECTION CHAMBER 600X600MM
5.	[Symbol]	GULLY TRAP 300X300MM

LEGEND FOR PLUMBING SYSTEM

S.NO.	SYMBOL	DESCRIPTION
1.	[Symbol]	1000 SOIL PIPE
2.	[Symbol]	1000 WASTE PIPE
3.	[Symbol]	1000 RAIN WATER PIPE
4.	[Symbol]	C.W.S
5.	[Symbol]	FLUSHING WATER SUPPLY
6.	[Symbol]	320 DOMESTIC RISER PIPE
7.	[Symbol]	320 FLUSHING RISER PIPE
8.	[Symbol]	FT FLOOR TRAP
9.	[Symbol]	FD FLOOR DRAIN
10.	[Symbol]	COP CLEAN OUT PLUG
11.	[Symbol]	FV FULL WAY VALVE

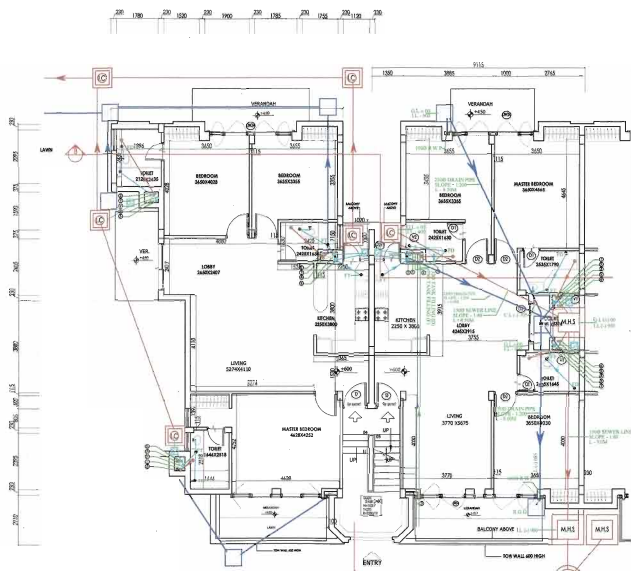
REVISED SUBMISSION FLOORS BLOCK - 04 FLOOR PLANS
 GROUP HOUSING COMPLEX AT VILLAGE - SIHI, SECTOR-84, GURGAON, HARYANA.

M/S SS GROUP PVT. LTD.

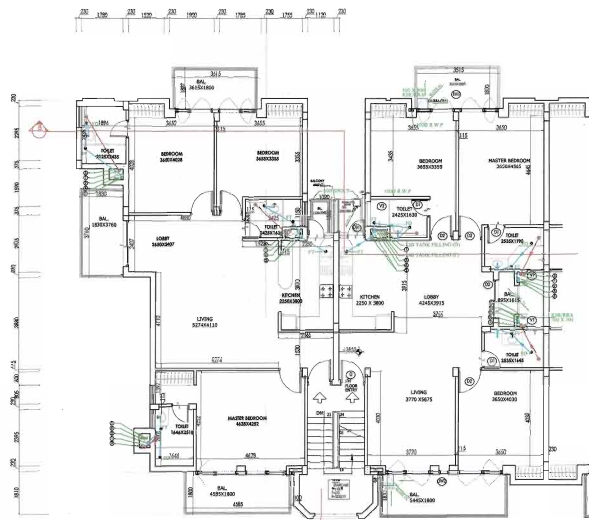
ARCHITECTS SAA
 sika associates architects project management

CWNER: F/S SS GROUP PVT. LTD.
 ARCHITECT: raman sika

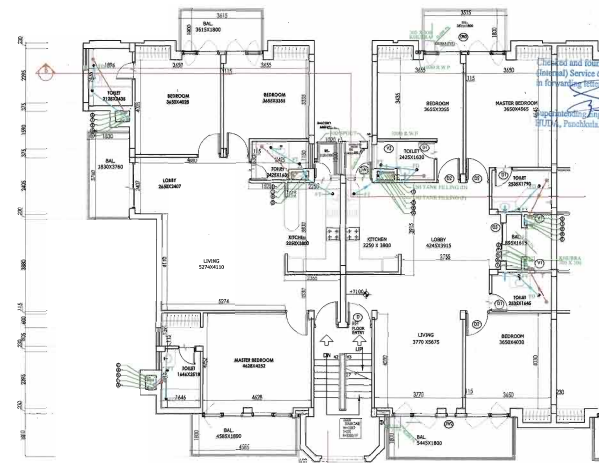
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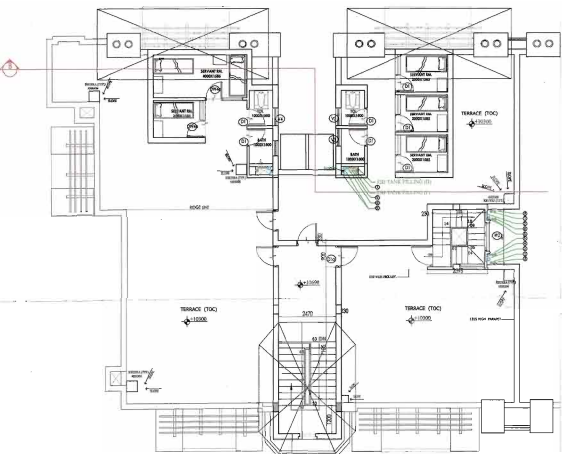
GROUND FLOOR PLAN



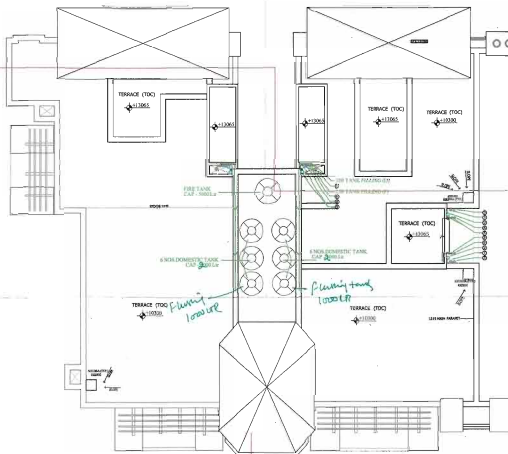
FIRST FLOOR PLAN



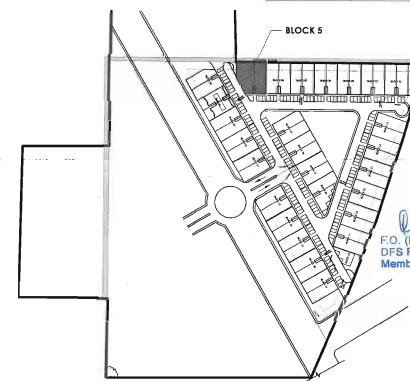
SECOND FLOOR PLAN



TERRACE PLAN



ROOF PLAN



KEY PLAN

DIAGRAM OF PIPES FOR PLUMBING SYSTEM

1. WASH BASIN TO FLOOR TRAP	3020
2. FLOOR DRAIN TO FLOOR TRAP	5020
3. URINAL DRAIN TO VERTICAL PIPE	10020
4. FLOOR TRAP TO VERTICAL PIPE	10020
5. WC TO VERTICAL PIPE	10020

LEGEND FOR PLUMBING

S.NO.	SYMBOL	DESCRIPTION
1.		SEWERAGE LINE
2.		DRAINAGE LINE
3.		DRAINAGE CHAMBER 450X300MM
4.		INSPECTION CHAMBER 600X400MM
5.		GULLY TRAP 300X300MM

LEGEND FOR PLUMBING SYSTEM

S.N.	SYMBOL	DESCRIPTION
1.		100MM SOIL PIPE
2.		100MM WASTE PIPE
3.		100MM RAIN WATER PIPE
5.		C.W.S. COLD WATER SUPPLY
6.		F.W.S. FLUSHING WATER SUPPLY
7.		32MM DOMESTIC RISER PIPE
8.		32MM FLUSHING RISER PIPE
9.		FT FLOOR TRAP
10.		FD FLOOR DRAIN
11.		COP CLEAN OUT PLUG
12.		D4 EV TELL WAY VALVE

REvised BUILDING PLAN OF GROUP HOUSING SCHEME MEASURING 15.257 ACRES (LICENSE NO. 59 OF 2008 DATED 07.02.2008) IN SECTOR-84, GURGAON, HARYANA URBAN COMPLEX BEING DEVELOPED BY THE NORTH STAR APARTMENT PVT. LTD.

REVISED SUBMISSION FLOORS BLOCK - 05 FLOOR PLANS

GROUP HOUSING COMPLEX AT VILLAGE - SIHI, SECTOR-84, GURGAON, HARYANA.

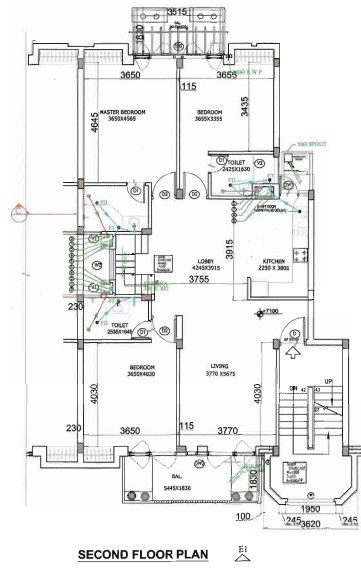
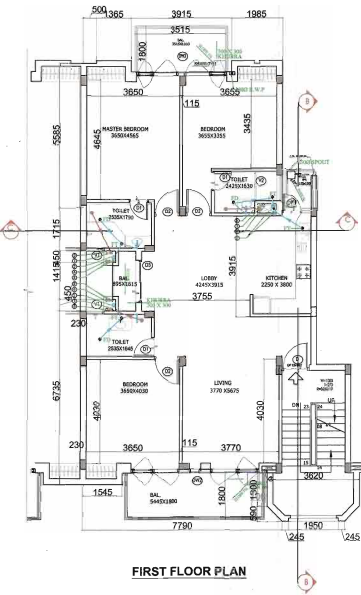
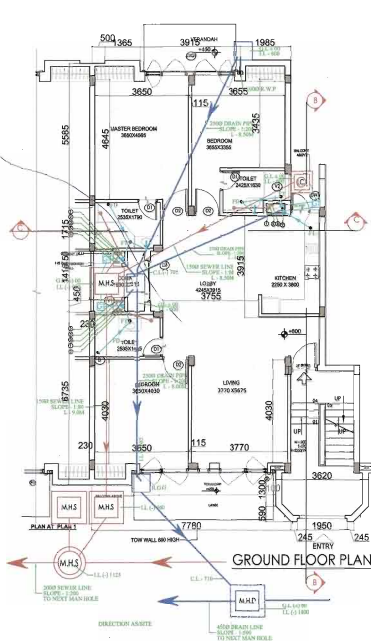
M/S SS GROUP PVT. LTD

ARCHITECTS SAA architecture interior design interior designing sika associates architects project management

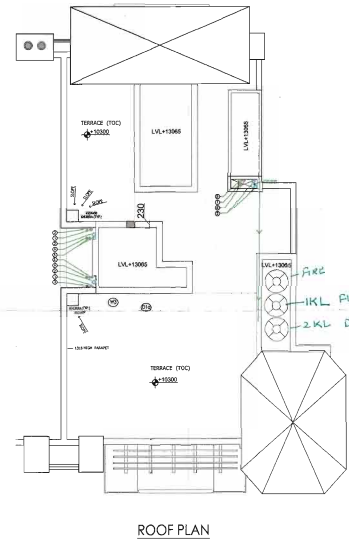
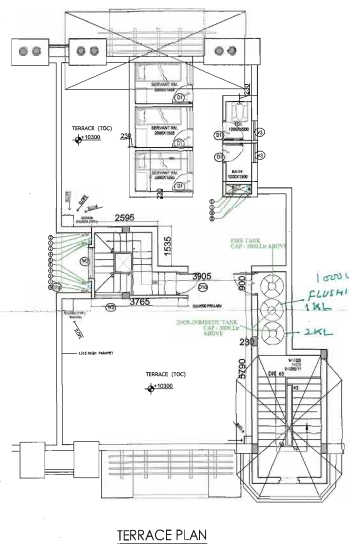
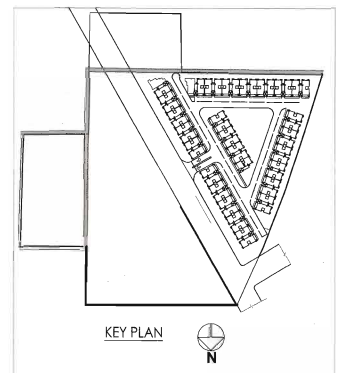
OWNER ARCHITECT For SS GROUP PVT. LTD.

Authorized Signatory *Raman Sikka* *Raman Sikka* REGN. No. 03/16497

scale: 1:100 date: 02/01/2017 sheet: CW/SUB/FL-05/01



Architect (HQ)
 Checked and found ok for Public Health (General) Service and is subject to comments in forwarding to the S.E.P.C. (16/4/09)
 Superintending Engineer (P) HUDA, Faridkot
 F.O. (HQ) DFS PKL Member B.P.C.



DATA OF CP PIPES FOR PLUMBING SYSTEM

1. WASH BASIN TO FLOOR TRAP 5000
2. FLOOR DRAIN TO FLOOR TRAP 5000
3. URINAL TRAP TO VERTICAL PIPE 10000
4. FLOOR TRAP TO VERTICAL PIPE 10000
5. WC TO VERTICAL PIPE 10000

LEGEND FOR PLUMBING

S.NO.	SYMBOL	DESCRIPTION
1.	—	SEWERAGE LINE
2.	—	DRAINAGE LINE
3.	—	DRAINAGE CHAMBER
4.	⊠	INSPECTION CHAMBER
5.	⊠	CHULLY TRAP

LEGEND FOR PLUMBING SYSTEM

S.N.	SYMBOL	DESCRIPTION
1.	—	1000 SOIL PIPE
2.	—	1000 WASTE PIPE
3.	—	1000 RAIN WATER PIPE
4.	—	C.W.S. COLD WATER SUPPLY
5.	—	F.W.S. FRESHING WATER SUPPLY
6.	—	300 DOMESTIC HEAVY PIPE
7.	—	300 PLUMBING HEAVY PIPE
8.	●	FLOOR TRAP
9.	●	FLOOR DRAIN
10.	⊙	CLEAN OUT PLUG
11.	⊙	CP
12.	TV	FULL WAY VALVE

DOOR-WINDOW SCHEDULE

S.NO.	TYPE	WIDTH	HEIGHT
1.	D1	1000	2100
2.	D1	750	2100
3.	D1a	800	2100
4.	D2	1000	2100
5.	D3	1815	2775
6.	D2W	1135	2815
7.	D2C	5005	ASDESIGN
8.	D2GA	5005	ASDESIGN
9.	D2G	3815	ASDESIGN
10.	D2GA	3815	ASDESIGN
11.	D2W	1200	ASDESIGN
12.	D2C	1200	ASDESIGN
13.	D2W	1200	ASDESIGN
14.	W2	1185	1135
15.	W2	1085	1200
16.	W4	1500	ASDESIGN
17.	F2	700	ASDESIGN
18.	V1	700	975
19.	V2	1035	975
20.	V3	955	600
21.	V4	530	600

REVISED BUILDING PLAN OF GROUP HOUSING SCHEME MEASURING 15.275 ACRES (LICENSE NO. 59 OF 2000 DATED 13.03.2000) IN SECTOR-84, GURGAON MAHENDRA URBAN COMPLEX BEING DEVELOPED BY M/S NORTH STAR APARTMENTS PVT. LTD.

REVISED SUBMISSION
 FLOORS BLOCK- 28
 FLOOR PLANS

PROJECT
 GROUP HOUSING COMPLEX AT VILLAGE - SIHL, SECTOR-84, GURGAON, HARYANA

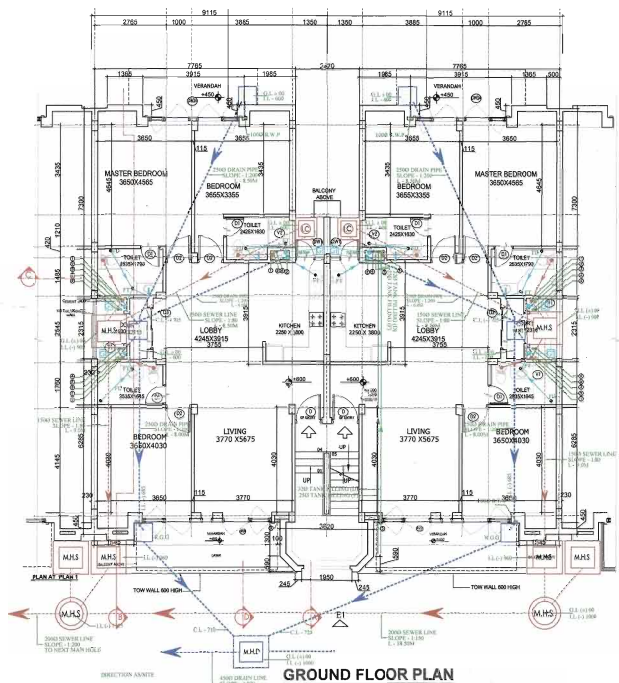
CLIENT
M/S SS GROUP PVT.LTD.

ARCHITECTS
SAA sika associates architects project management
 • architecture
 • masterplanning
 • urban design
 • interior designing

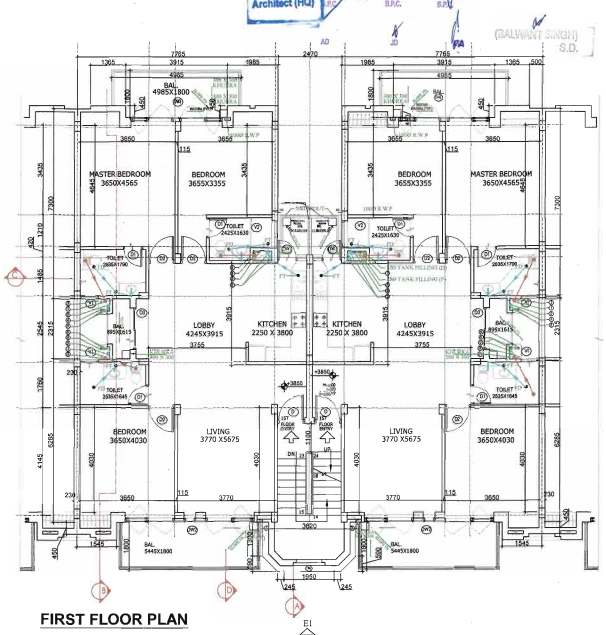
OWNER
 For SS GROUP PVT. LTD.
 Authorized Signatory
 Raman Sikka
 REGN. No. 5375497

SCALE: 1:100
 date: 02/01/2017
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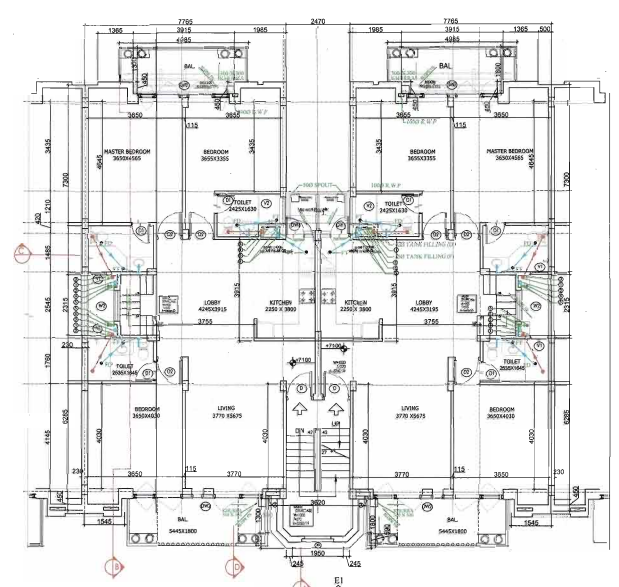
Architect (HQ)
 S.D.
 (BALWANT SINGH)



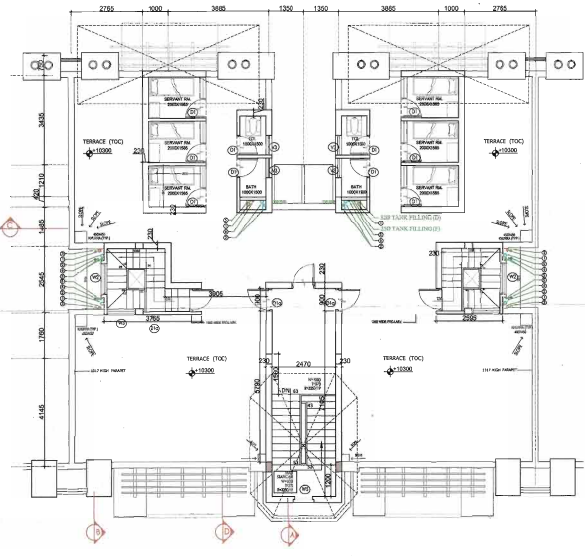
GROUND FLOOR PLAN



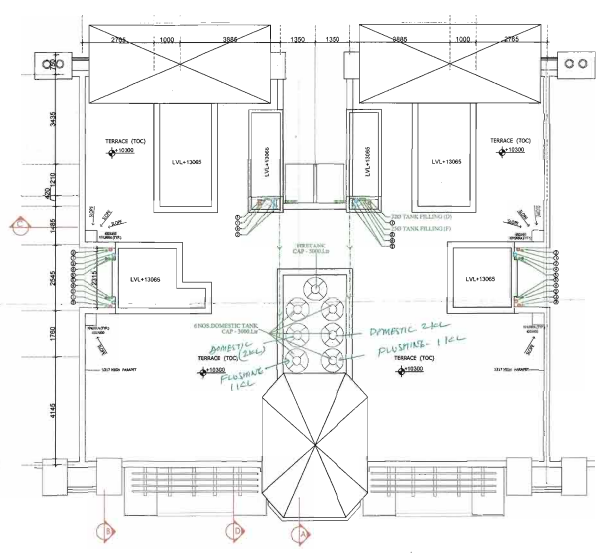
FIRST FLOOR PLAN



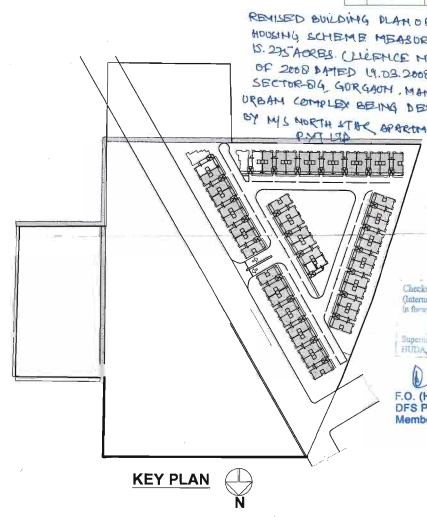
SECOND FLOOR PLAN



TERRACE PLAN



ROOF PLAN



KEY PLAN

DIA (Ø) OF PIPES FOR PLUMBING SYSTEM		LEGEND FOR PLUMBING SYSTEM	
1.	WASH BASIN TO FLOOR TRAP	32Ø	S.F.L. SYMBOL DESCRIPTION
2.	FLOOR DRAIN TO FLOOR TRAP	50Ø	1. 100Ø SOIL PIPE
3.	URINAL TRAP TO VERTICAL PIPE	100Ø	2. 100Ø WASTE PIPE
4.	FLOOR TRAP TO VERTICAL PIPE	100Ø	3. 100Ø BAIN WATER PIPE
5.	WC TO VERTICAL PIPE	100Ø	4. C.W.S. COLD WATER SUPPLY
LEGEND FOR PLUMBING		6. F.W.S. FLUSHING WATER SUPPLY	7. 32Ø DOMESTIC RISER PIPE
S.NO.	SYMBOL	DESCRIPTION	8. 32Ø FLUSHING RISER PIPE
1.	—	SEWERAGE LINE	9. F.F. FLOOR TRAP
2.	—	DRAINAGE LINE	10. F.D. FLOOR DRAIN
3.	—	DRAINAGE CHAMBER 450X450MM	11. C.O.P. CLEAN OUT PLUG
4.	—	INSPECTION CHAMBER 600X600MM	12. P.W.V. ROLL UP VALVE
5.	—	GULLY TRAP 300X300MM	

REVISED BUILDING PLAN OF GROUP HOUSING SCHEME MEASURING 15.235 ACRES LICENSE NO. ST OF 2008 DATED 19.02.2009 IN SECTOR-84, GURGAON, HARYANA URBAN COMPLEX BEING DEVELOPED BY M/S NORTH AT&C APARTMENT, PVT. LTD.

REVISED SUBMISSION

TYPICAL BLOCK FLOOR PLANS VALID FOR BLOCK-1, 2, 3, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 19, 20, 21, 22, 23, 24, 25, 26, 27

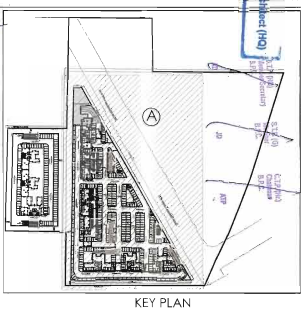
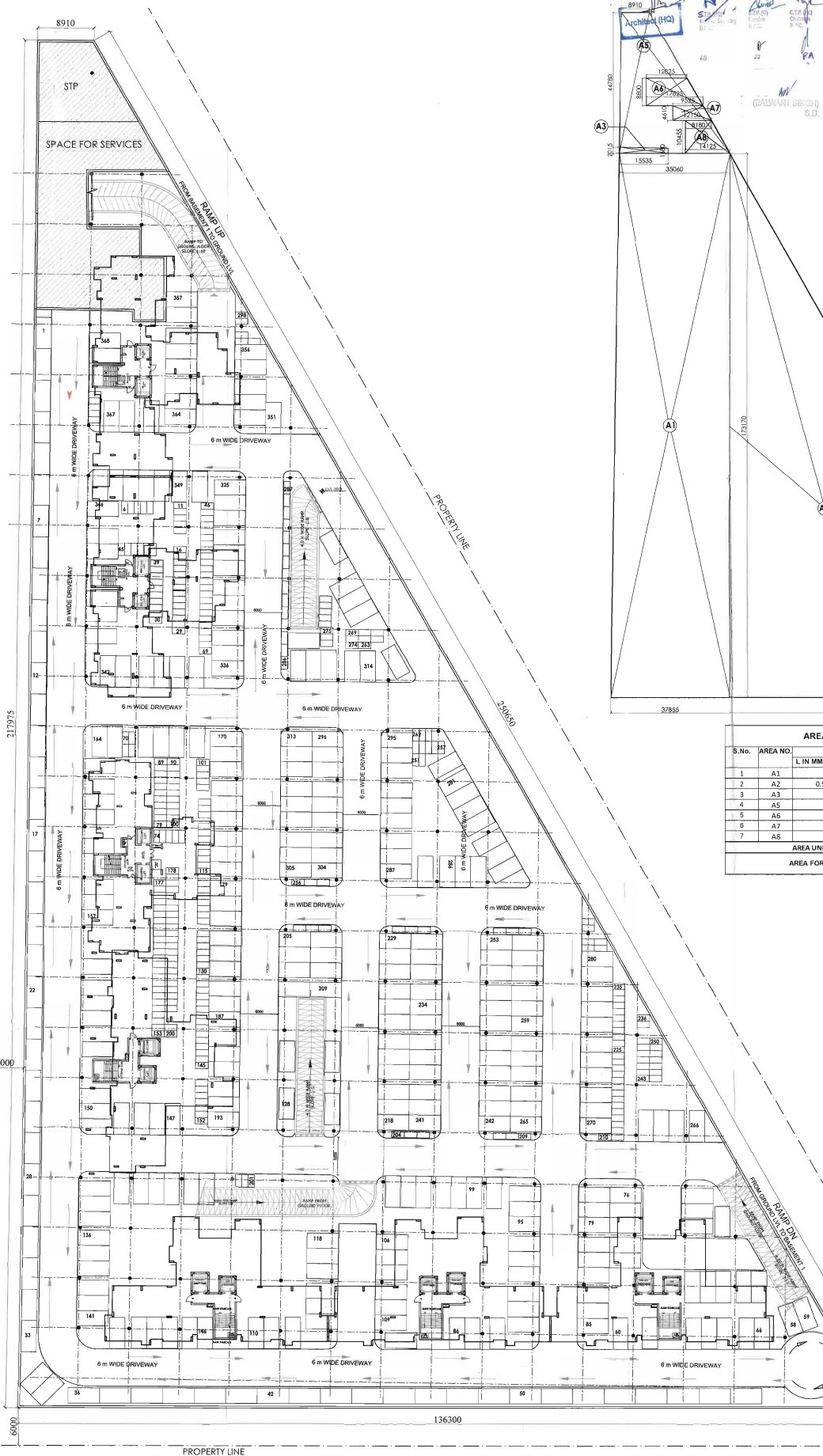
GROUP HOUSING COMPLEX AT VILLAGE - SIHI, SECTOR-84, GURGAON, HARYANA

M/S SS GROUP PVT.LTD.

ARCHITECTS SAA
 architecture • masterplanning • urban design • interior designing
 project management

OWNER For SS GROUP PVT. LTD.
 ARCHITECT raman sikka
 REGN. No. 9316497

scale: 1:100
 date: 02/01/2017
 sheet: CW/SUB/FL/01



NOTES:
 1. ALL FIGURES EXCLUDING BASEMENT
 2. ALL FIGURES INCLUDING BASEMENT
 3. ALL FIGURES INCLUDING BASEMENT
 4. ALL FIGURES INCLUDING BASEMENT

AREA CALCULATION FOR BASEMENT 1 (A)

S.No.	AREA NO.	L IN MM	B IN MM	QTY.	AREA IN SQ.M
1	A1	0.5X173170(37855+35060)	X	1	6313.35
2	A2	0.5X15535(1680+2015)	X	1	28.70
3	A3	0.5X44780(8910+35060)	X	1	984.49
4	A5	0.5X8800(12825+17825)	X	1	134.86
5	A6	0.5X4610(9525+12150)	X	1	43.96
6	A7	0.5X10455(8180+14125)	X	1	116.60
AREA UNDER SERVICES = A5+A6+A7+A8					654.37
AREA FOR PARKING = A1+A2+A3+A6+A7+A8					15167.33

TOTAL BASEMENT AREA = 15821.70 SQ.M.
 AREA UNDER SERVICES = 654.37 SQ.M.
 NO. OF TWO-WHEELERS = 298
 AREA UNDER TWO-WHEELER PARKING = 298 X 5
 NET AREA FOR PARKING = 15167.33 + 1490
 = 13677.33 SQ.M.
 NO. OF CARS = 368
 AREA PER CAR = 13677.33/368 = 37.16 SQ.M.

REVISED ROUNING PLAN
 OF GROUP HOUSING SCHEME
 MEASURING 15.275 ACRES
 (LICENSE NO. 19 OF 2008 DATED
 19.3.2008) IN SECTION 8A, GOVERNMENT
 RESERVE DEHRA DUKHRI
 BEING DEVELOPED BY M/S
 NORTH STAR APARTMENTS
 PVT. LTD.

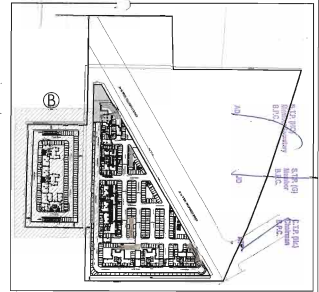
REVISED SUBMISSION
 BASEMENT - 1(A) PLAN
 GROUP HOUSING SCHEME 117
 COMPLEX AT VILLAGE - SHIL
 SECTOR-84, GURGAON, HARYANA.

M/S SS GROUP
 PVT.LTD.
 ARCHITECTS
 ARCHITECTURE
 MASTERPLANNING
 INTERIOR DESIGN
 INTERIOR DESIGNING
 PROJECT MANAGEMENT

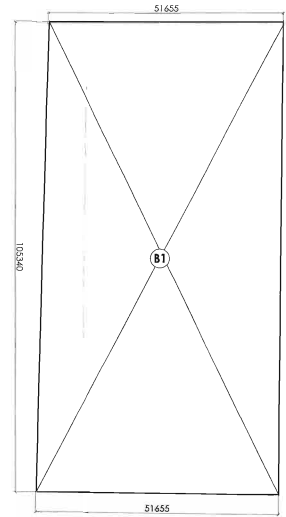
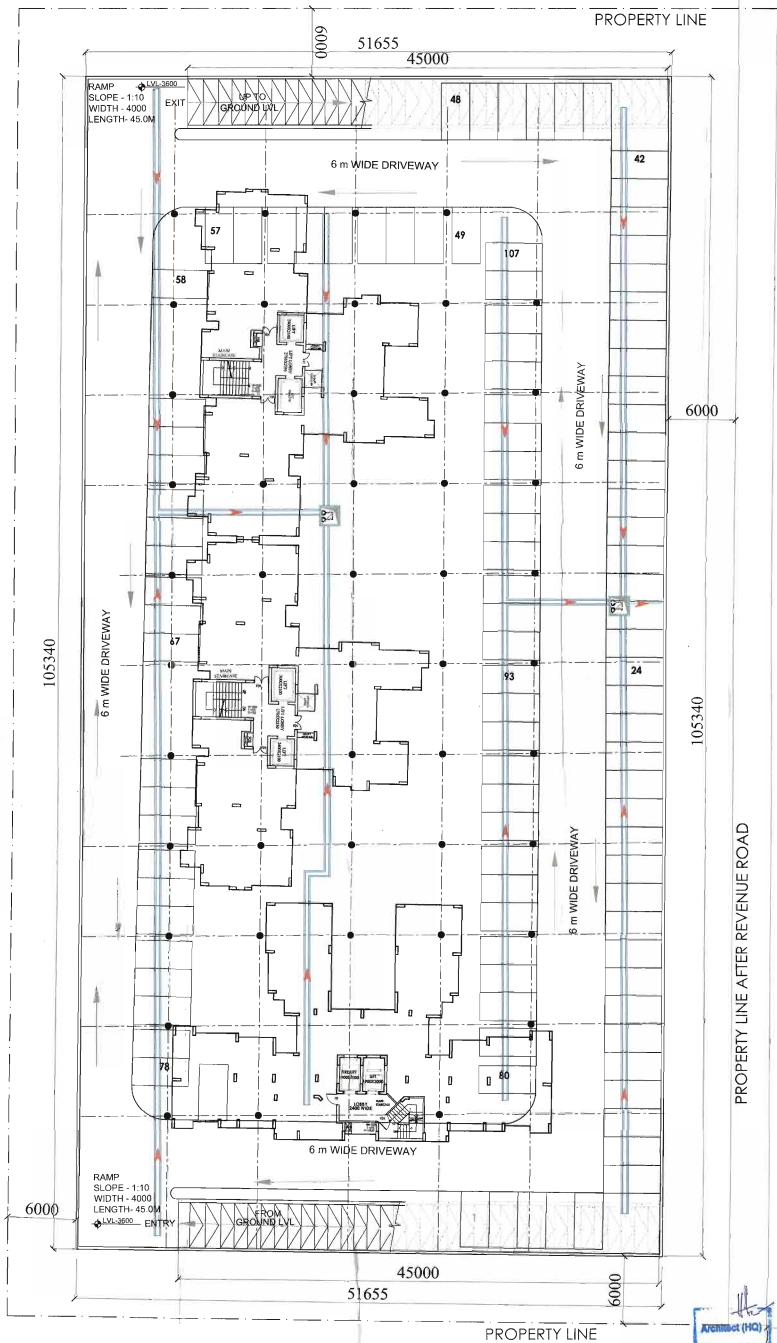
OWNER ARCHITECT
 For: **raman sikka**
 REGN. NO. 9315497
 scale: 1:200
 date: 05/01/2017
 sheet: CW/SUB - B-01



- NOTES:-
1. ALL BUILDING EXCLUDING BASEMENTS FULLY AIR - CONDITIONED AS PER N.B.C. NORMS.
 2. ALL BASEMENTS ARE MECHANICALLY LIGHTED AND VENTILATED AS PER N.B.C. NORMS.
 3. ALL BUILDING INCLUDING BASEMENT FULLY SPRINKLERED AS PER N.B.C. NORMS.



KEY PLAN



AREA CALCULATION FOR BASEMENT 1(B)

S.NO.	AREA NO.	AREA CALCULATION (S.B IN MM)	QTY.	AREA IN SQ.M
	B1	51655 X 105340	01	5441.34
		AREA UNDER SERVICES		0.00
		AREA FOR PARKING		5441.34

TOTAL BASEMENT AREA = 5441.34 SQ.M.
 AREA UNDER SERVICES = 0.00
 NO. OF TWO-WHEELERS = 0.00
 NET AREA FOR PARKING = 5441.34 SQ.M.
 NO. OF CARS = 107
 AREA PER CAR = 5441.34/107 = 50.85 PER CAR

REVISED BUILDING PLAN OF GROUP HOUSING SCHEME MEASUREMENT 15.271 ACRES (USCENCE NO. 57 OF 2008) DATED 19-3-2008 IN SECTOR 94 ECHOGRAM MANAGER URBAN COMPLEX BEING DEVELOPED BY M/S NORTH STAR APARTMENTS PVT. LTD.

REVISED SUBMISSION

Basement - 1(B) PLAN

CLIENT: M/S SS GROUP PVT. LTD.

ARCHITECTS: SAA ARCHITECTURE & INTERIOR DESIGN

OWNER: M/S SS GROUP PVT. LTD.

DATE: 02/01/2017

SCALE: 1:200

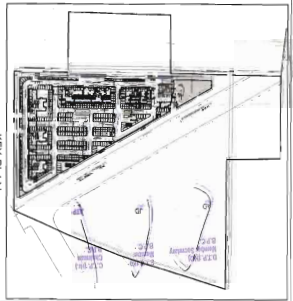
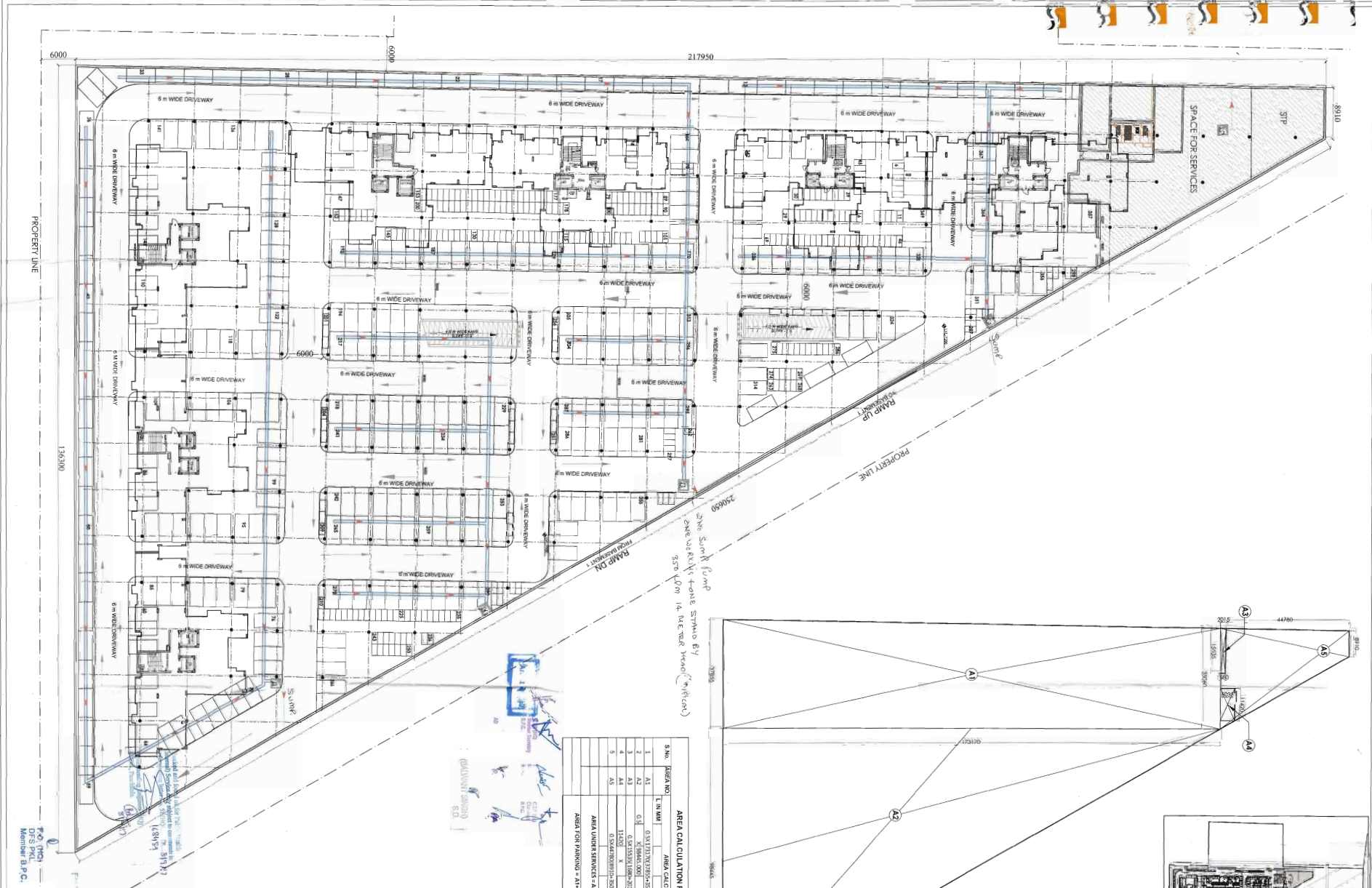
Architect (HO) [Signature]
 S.P. (S) [Signature]
 S.P. (S) [Signature]
 S.P. (S) [Signature]
 S.P. (S) [Signature]
 S.P. (S) [Signature]

(CALCULANT SIGNATURE) S.D.

F.O. (HO) [Signature]
 D/S P.L. [Signature]
 Member B.P.C.

For: M/S SS GROUP PVT. LTD. [Signature]
 raman sikka
 REGD. NO. 93/15497

Project no: CW/SUB - B-02
 date: 02/01/2017
 sheet: [Blank]



2m Sump Pump
 850' 10m 14 Meter Head (4.75m)

AREA CALCULATION FOR BASEMENT 2

S. No.	AREA NO.	LN (MM)	BN (MM)	QTY	AREA IN SQ FT
1	A1	0.171171717171717	1.131717	1	853.88
2	A2	0.171171717171717	1.131717	1	853.88
3	A3	0.171171717171717	1.131717	1	853.88
4	A4	11.2071	5.0351	1	57.50
5	A5	0.171171717171717	1.131717	1	853.88
AREA UNDER SERVICES = AS (A5+A4)					882.30
AREA FOR PARKING = A1+A2+A3+A4					1903.44

TOTAL BASEMENT AREA = 1903.70 SQ.M.
 NO. OF PARKING SPACES = 1903.70
 AREA UNDER TWO WHEELER PARKING = 296.55 SQ.M.
 NET AREA FOR PARKING = 1607.15 SQ.M.
 NO. OF VEHICLES = 1607.15
 NET AREA FOR SERVICE = 882.30 SQ.M.
 NET AREA UNDER SERVICES = 1689.45 SQ.M.

REVIEWED ROUTINE DRAWING FOR GROUP HOUSING SCHEME. MEMORANDUM IS ATTACHED. DATE: 15/08/2023. IN ORDER TO PROCEED WITH THE DRAWING, THE CLIENT IS REQUESTED TO REVIEW AND APPROVE THE DRAWING. APPROVED: [Signature]

REVISOR: [Signature]

REVISION: 2 PLAN

GROUP HOUSING SCHEME
 CONCEPT AND LAYOUT PLAN
 SITE PLAN
 SECTION DRAWING
 INTERVIEW

M/S S.S. GROUP
 PVT. LTD.

PROJECT NO: 1001

DATE: 15/08/2023

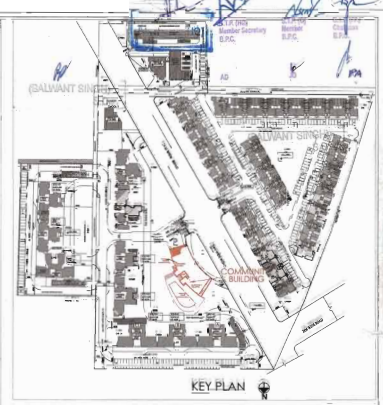
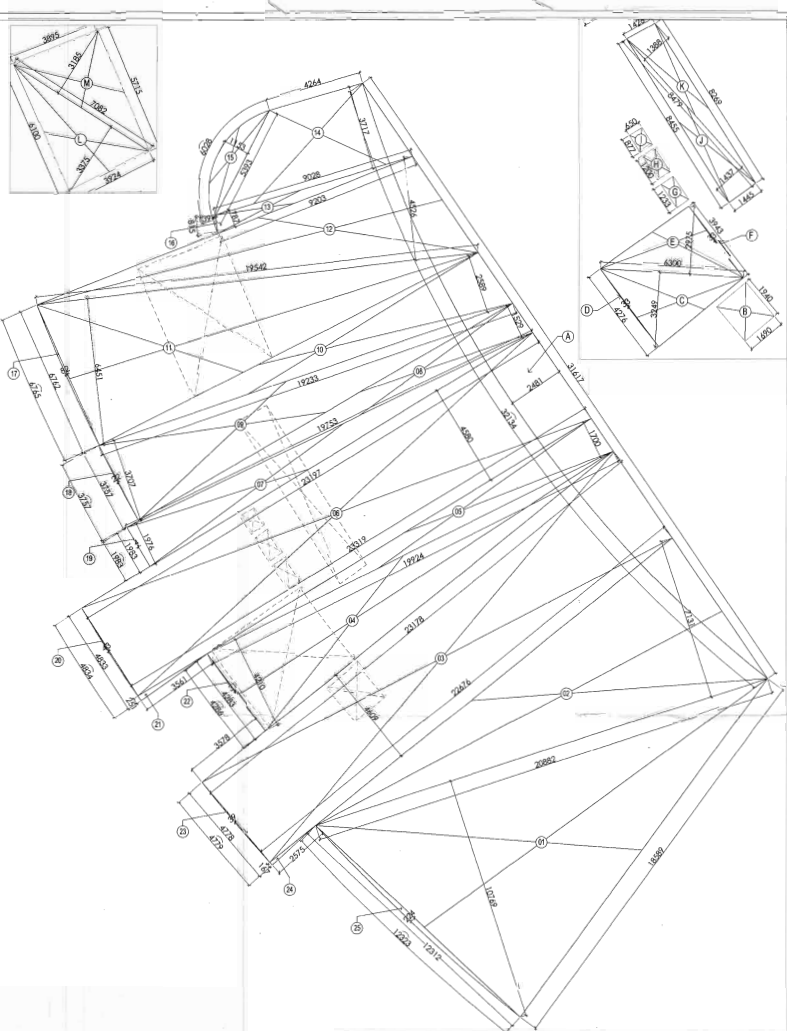
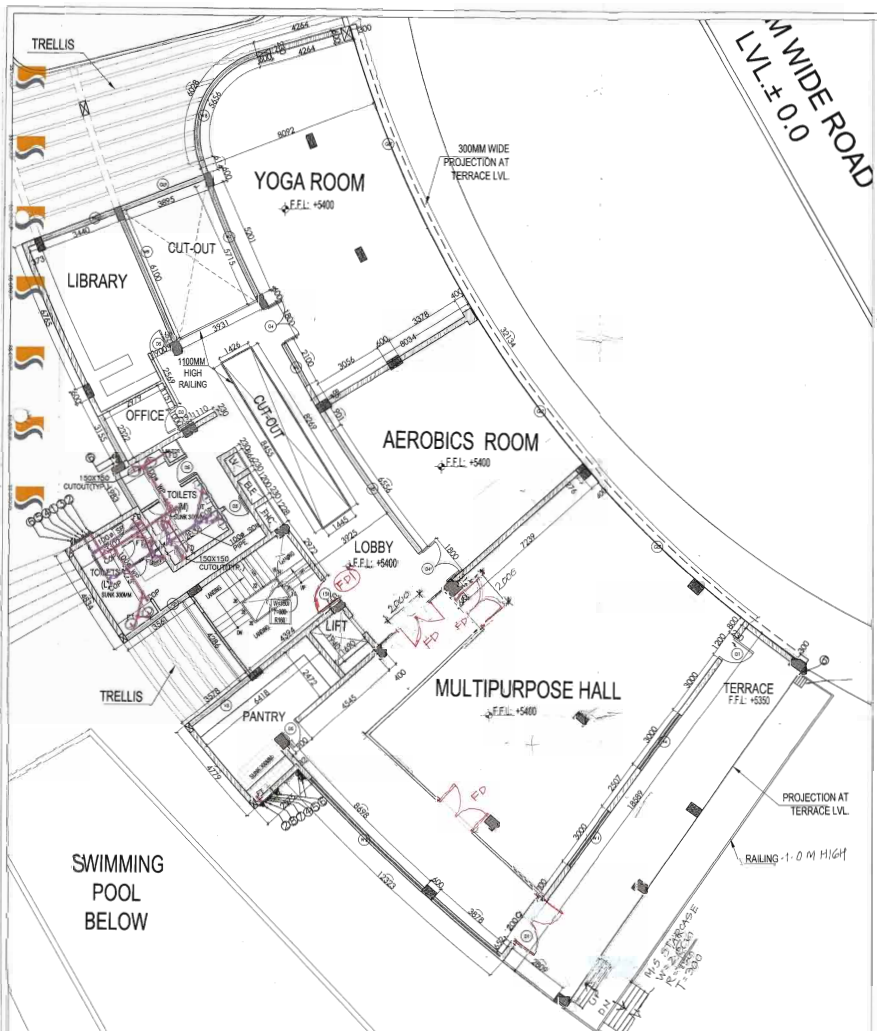
PROJECT NAME: Ramjan Sikkid
 REGION: No. 10/14/43

DESIGNED BY: [Signature]

CHECKED BY: [Signature]

APPROVED BY: [Signature]

MEMBER B.P.C.



FIRST FLOOR AREA CALCULATION FOR COMMUNITY BUILDING

S.No.	AREA NO.	FRACTION	L IN MM	B IN MM	AREA IN SQ.M	QTY.	TOTAL AREA
1	1	0.05	X	10768 X 20383	112.44	1	112.44
2	2	0.5	X	7131 X 28882	74.45	1	74.45
3	3	0.5	X	4609 X 45854	106.67	1	106.67
4	4	0.5	X	4210 X 18924	41.94	1	41.94
5	5	0.5	X	1700 X 18924	16.94	1	16.94
6	6	0.5	X	4380 X 46516	106.52	1	106.52
7	7	0.5	X	1976 X 18253	18.82	1	18.82
8	8	0.5	X	1529 X 18753	15.10	1	15.10
9	9	0.5	X	3107 X 18253	36.65	1	36.65
10	10	0.5	X	2589 X 18253	24.90	1	24.90
11	11	0.5	X	6451 X 18542	63.03	1	63.03
12	12	0.5	X	4506 X 18542	44.22	1	44.22
13	13	0.5	X	787 X 6203	3.62	1	3.62
14	14	0.5	X	3717 X 13262	24.70	1	24.70
15	15	0.697	X	1153 X 2593	4.15	1	4.15
16	16	0.5	X	139 X 815	0.08	1	0.08
17	17	0.697	X	82 X 6762	0.37	1	0.37
18	18	0.697	X	22 X 3537	0.09	1	0.09
19	19	0.697	X	4 X 1983	0.01	1	0.01
20	20	0.697	X	43 X 4833	0.14	1	0.14
21	21	0.5	X	251 X 3561	0.45	1	0.45
22	22	0.697	X	31 X 4283	0.09	1	0.09
23	23	0.697	X	39 X 4718	0.12	1	0.12
24	24	0.5	X	167 X 2575	0.22	1	0.22
25	25	0.697	X	224 X 12312	1.84	1	1.84
26	26						
TOTAL					T3		696.19

DEDUCTIONS

S.No.	AREA NO.	FRACTION	L IN MM	B IN MM	AREA IN SQ.M	QTY.	TOTAL AREA
22	A	0.697	X	2481 X 31617	52.32	1	52.32
23	B	1	X	1940 X 1690	3.28	1	3.28
24	C	0.5	X	3249 X 6300	10.23	1	10.23
25	D	0.697	X	33 X 4276	0.09	1	0.09
26	E	0.5	X	2975 X 6300	9.37	1	9.37
27	F	0.697	X	33 X 3543	0.09	1	0.09
28	G	1	X	1233 X 650	0.80	1	0.80
29	H	1	X	1200 X 650	0.78	1	0.78
30	I	1	X	877 X 650	0.57	1	0.57
31	J	0.5	X	1437 X 6479	6.09	1	6.09
32	K	0.5	X	1388 X 6479	5.88	1	5.88
33	L	0.5	X	3375 X 7692	11.98	1	11.98
34	M	0.5	X	3186 X 7692	11.90	1	11.90
TOTAL					83		112.74

AREA SUMMARY
 FIRST FLOOR COMMUNITY BUILDING AREA
 = T3 - S3
 = 696.19 - 112.74
 = 583.45 SQ.M

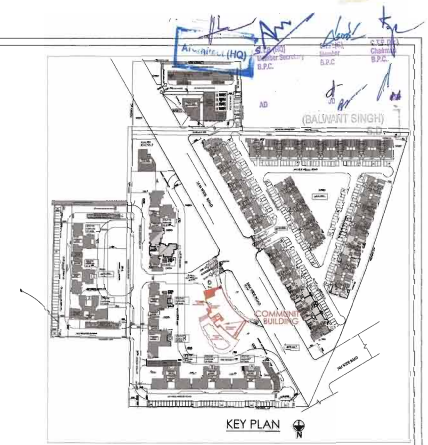
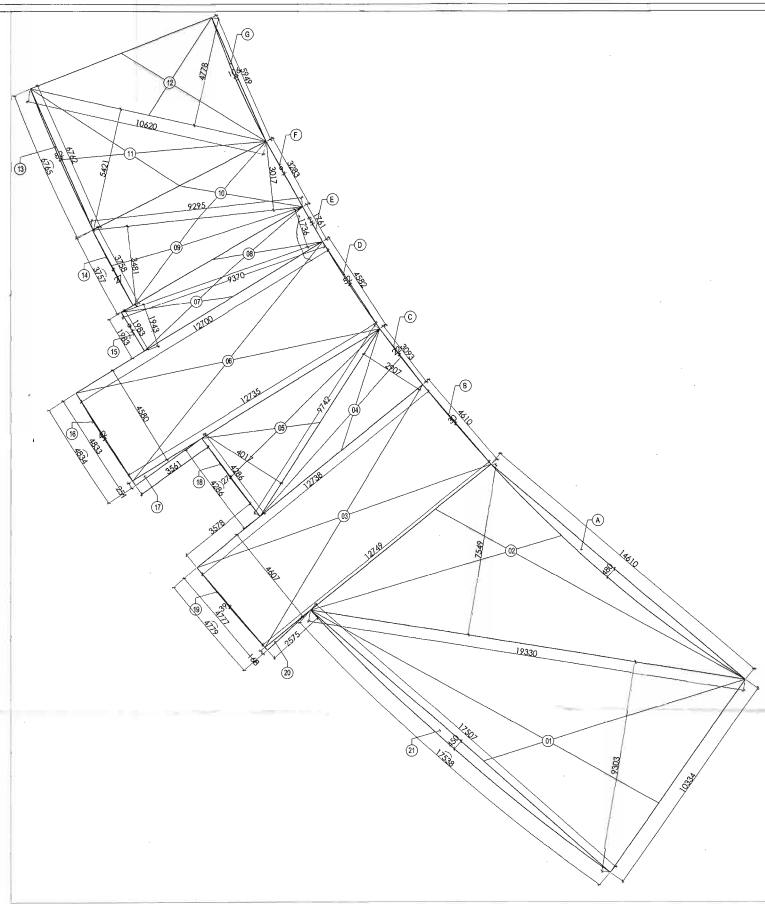
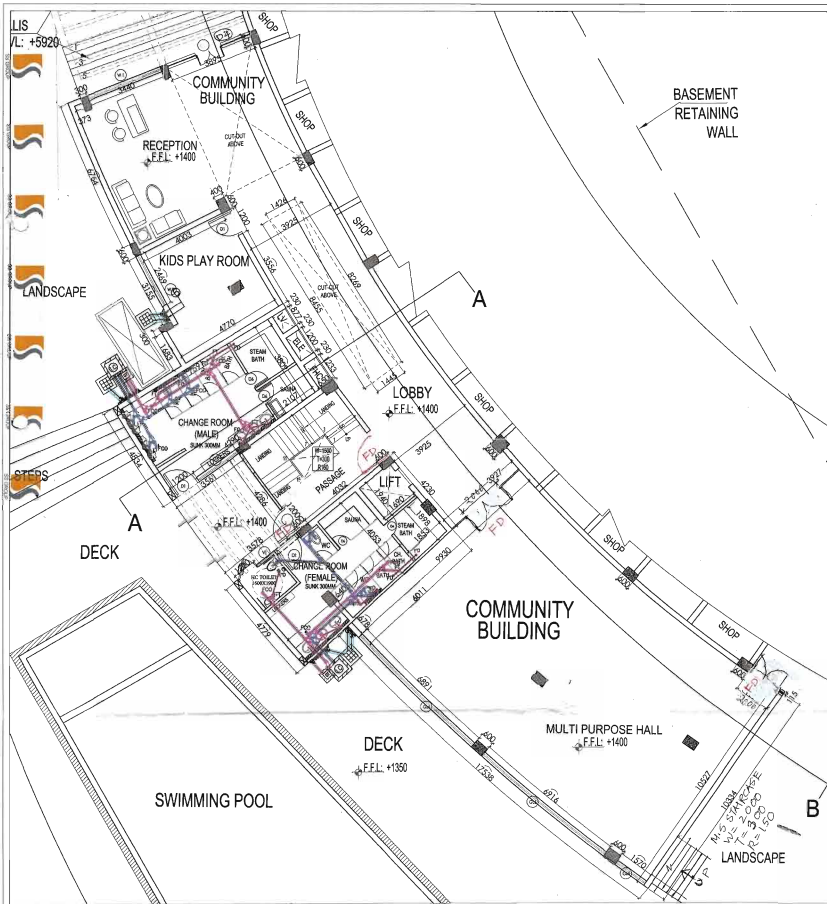
NOTE: 1. ALL BUILDING ARE MECHANICALLY VENTILATED AND ARTIFICIALLY LIGHTED.
 REVISED BUILDING OF GROUP HOUSING SCHEME MEASURING IS 275 ACRES (LICENCE No.-59 OF 2008 DATED 19.03.2008) IN SECTOR-84,GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S NORTH STAR APARTMENT, PVT. LTD.

REVISED SUBMISSION
 COMMUNITY BUILDING
 F.FLOOR PLAN&AREA DETAIL
 GROUP HOUSING COMPLEX AT VILLAGE-SIHI, SECTOR-84, GURGAON, HARYANA.

M/S SSVT GROUP PVT.LTD.

Checked by: [Signature]
 (Name) [Signature]
 Superintending Engineer (P&C) HUDRA, Panchajanya
 ARCHITECT: SAA sika associates architects
 ARCHITECT: [Signature]
 PROJECT MANAGER: [Signature]

For SS GROUP: [Signature]
 Authorized Signatory: [Signature]
 F.O. (HQ) DFS P.K.L. Member B.P.C.
 REGD. No. 9316497
 DATE: 02/01/2017
 SHEET: 11/00
 NO: CW/SUB/CB-01/B



GROUND FLOOR AREA CALCULATION FOR COMMUNITY BUILDING

S.No.	AREA NO.	AREA CALCULATION		QTY.	TOTAL AREA		
		FRACTION	L IN MM			B IN MM	AREA IN SQ.M
1	1	0.5	X	9303 X 19330	89.91	1	89.91
2	2	0.5	X	7549 X 19330	72.96	1	72.96
3	3	0.5	X	4897 X 25487	58.71	1	58.71
4	4	0.5	X	2907 X 9742	14.16	1	14.16
5	5	0.5	X	4017 X 9742	19.57	1	19.57
6	6	0.5	X	4380 X 20435	58.25	1	58.25
7	7	0.5	X	1943 X 9370	9.10	1	9.10
8	8	0.5	X	1736 X 9370	8.13	1	8.13
9	9	0.5	X	2481 X 9295	16.18	1	16.18
10	10	0.5	X	3017 X 9295	14.02	1	14.02
11	11	0.5	X	5421 X 10620	28.79	1	28.79
12	12	0.5	X	4778 X 10620	25.37	1	25.37
13	13	0.667	X	82 X 6762	0.37	1	0.37
14	14	0.667	X	27 X 3758	0.07	1	0.07
15	15	0.667	X	6 X 1903	0.01	1	0.01
16	16	0.667	X	42 X 4833	0.14	1	0.14
17	17	0.5	X	291 X 5981	0.45	1	0.45
18	18	0.667	X	21 X 4298	0.09	1	0.09
19	19	0.667	X	39 X 4777	0.12	1	0.12
20	20	0.5	X	168 X 2575	0.22	1	0.22
21	21	0.667	X	450 X 3767	0.26	1	0.26
TOTAL					T2		421.85

DEDUCTIONS

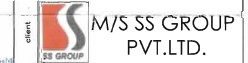
S.No.	AREA NO.	AREA CALCULATION		QTY.	TOTAL AREA		
		FRACTION	L IN MM			B IN MM	AREA IN SQ.M
22	A	0.667	X	480 X 14610	4.68	1	4.68
23	B	0.667	X	30 X 4610	0.09	1	0.09
24	C	0.667	X	22 X 5093	0.05	1	0.05
25	D	0.667	X	52 X 4582	0.16	1	0.16
26	E	0.667	X	2 X 1781	0.00	1	0.00
27	F	0.667	X	6 X 3281	0.02	1	0.02
28	G	0.667	X	106 X 5948	0.42	1	0.42
TOTAL					S2		5.42

AREA SUMMARY

GROUND FLOOR COMMUNITY BUILDING AREA
 = T2 - S2
 = 421.85 - 5.42
 = 416.44 SQ.M

NOTE: 1. ALL BUILDING ARE MECHANICALLY VENTILATED AND ARTIFICIALLY LIGHTED.
 REVISED BUILDING OF GROUP HOUSING SCHEME MEASURING 15.275 ACRES (LICENCE No.59 OF 2008 DATED 19.03.2008) IN SECTOR-84,GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S NORTH STAR APARTMENT, PVT.LTD.

REVISED SUBMISSION
 COMMUNITY BUILDING
 GF. PLAN & AREA DETAIL
 GROUP HOUSING
 COMPLEX AT VILLAGE - SIHI,
 SECTOR-84, GURGAON, HARYANA



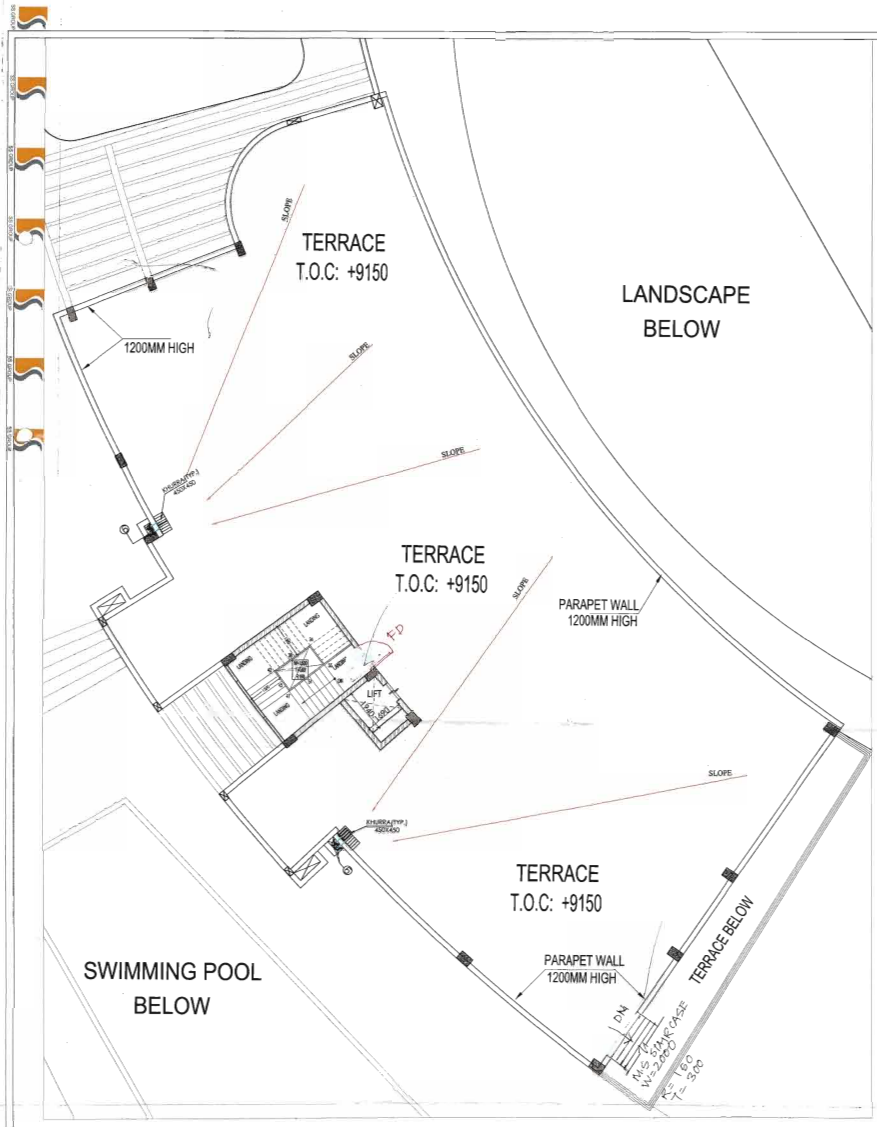
Checked and found ok for Public Health
 in terms of MA SE/10/2014
 16/8/18
 8/11/17

ARCHITECTS
SAA - architecture
 - masterplanning
 - urban design
 - interior designing
 sikka associates architects project management
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 fax: 011-23221166, e-mail: sikaassociates@rediffmail.com

OWNER
 M/S SS GROUP PVT.LTD.
 ARCHITECT
 Raman Sikka
 REGN. No. 03/16647

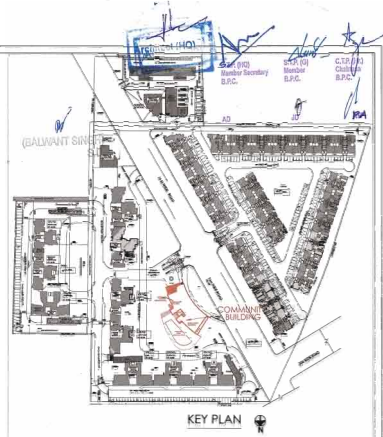
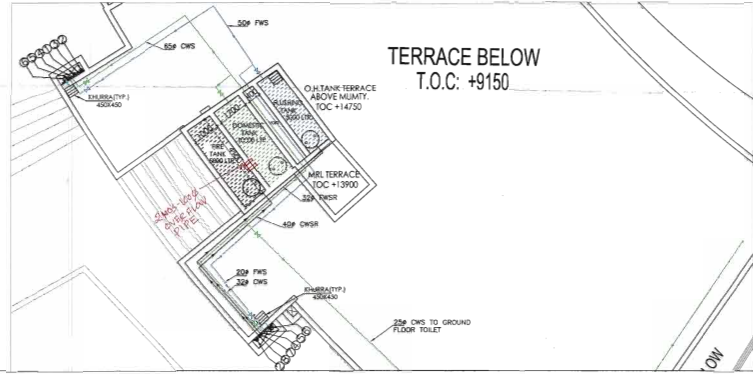
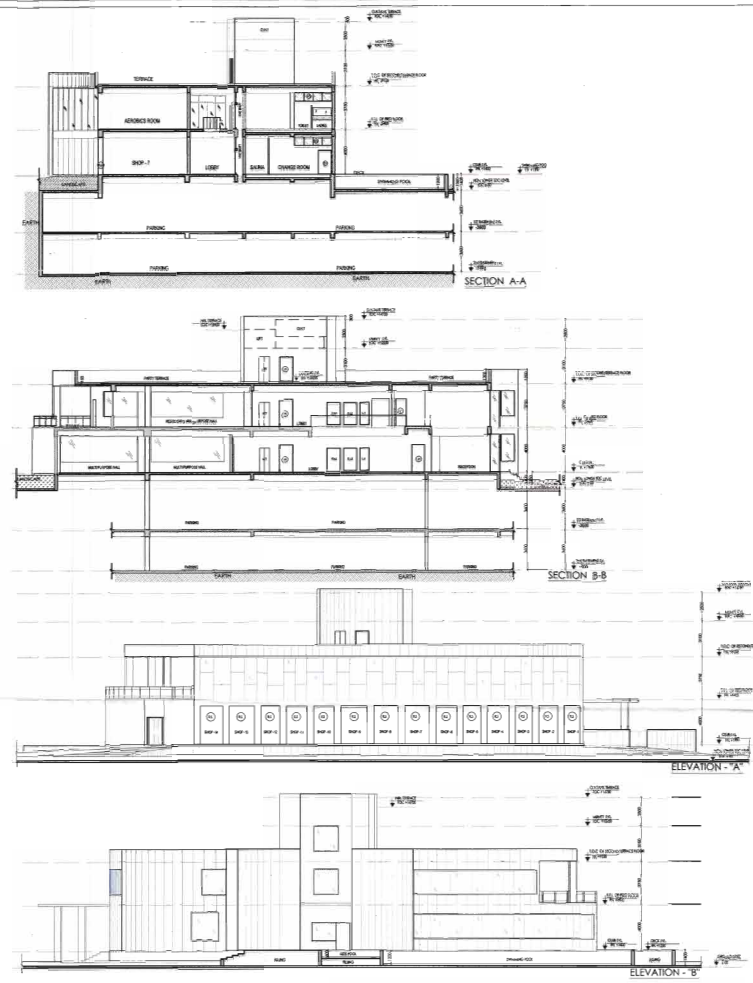
F.O. (HQ)
 DFS PKL,
 Member B.P.C.

For SS GROUP PVT.LTD.
 Authorized Signatory
 CWS/CB-01/A
 scale: 1/100
 date: 02/01/2017
 sheet:



AREA SUMMERY :

TOTAL COMMUNITY BUILDING AREA = 416.44 + 583.45 = 999.89 SQ.M
 TOTAL CONVENIENT SHOPPING AREA = 306.99 SQ.M



DOOR & WINDOW SCHEDULE

TYPE	WIDTH	HEIGHT	CILL LVL	LINTEL LVL	QUANTITY
D1	1200	2400	000	2400	9
D2	1600	2400	000	2400	8
D3	1000	2400	000	2400	1
D4	1800	2400	000	2400	2
D5	900	2400	000	2400	2
D6	750	2100	000	2100	2
FD1	1200	2100	000	2100	5
HD	1100	2100	000	2100	1
Fp	2,000	2,400	00	2,400	00
W1	3440	3200	900	4100	1
W2	2470	3200	900	4100	1
W3	6910	2250	900	3150	1
W4	3000	2250	900	3150	2
W5	6565	2250	900	3150	1
W6	2100	2250	900	3150	1
W7	5200	2250	900	3150	1
W8	5850	2250	900	3150	1
W9	5750	2250	900	3150	1
W10	3440	2250	900	3150	1
W11	2000	1200	900	2100	1
V1	600	600	1800	2400	1
V2	450	600	1800	2400	3

NOTE:- FOR GLAZING DETAILS, REFER SEPARATE DETAIL

NOTE: 1. ALL BUILDING ARE MECHANICALLY VENTILATED AND ARTIFICIALLY LIGHTED.
 REVISED BUILDING OF GROUP HOUSING SCHEME MEASURING 15.275 ACRES (LICENCE No. 59 OF 2008 DATED 19.03.2008) IN SECTOR-84, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S NORTH STAR APARTMENT, PVT. LTD.

REVISED SUBMISSION
COMMUNITY BUILDING
PLAN, SECTION & ELEVATION
 GROUP HOUSING COMPLEX AT VILLAGE - SIHI, SECTOR-84, GURUGRAM, HARYANA

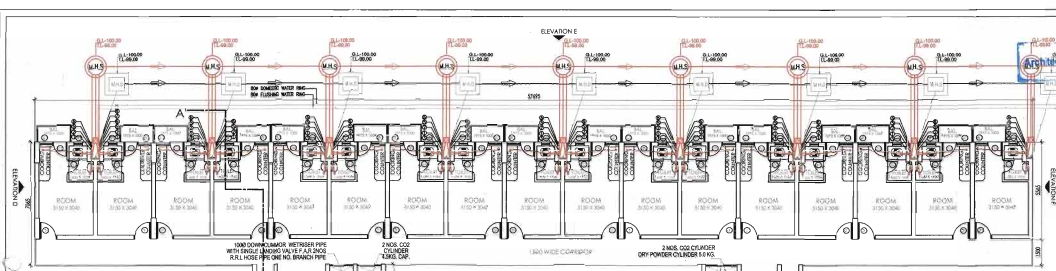
M/S SS GROUP PVT. LTD.

For SS GROUP
 Authorized Signatory
 F.O. (HO) DFS PKL Member B.P.C.

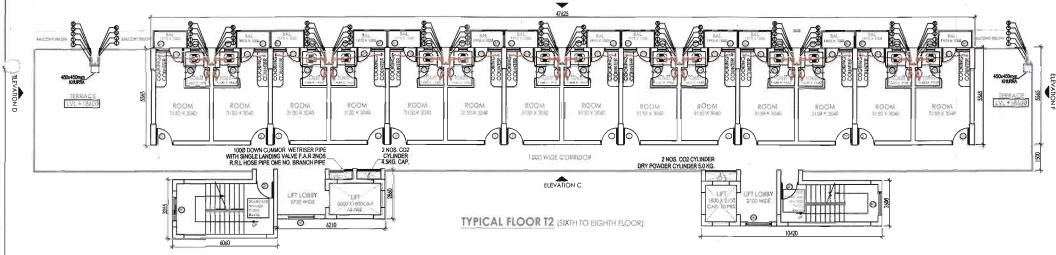
SAA
 sika associates architects
 ARCHITECTS
 168499
 168499
 168499

OWNER: PVT. LTD.
 ARCHITECT: ramjan sikka REGN. No. 3310497

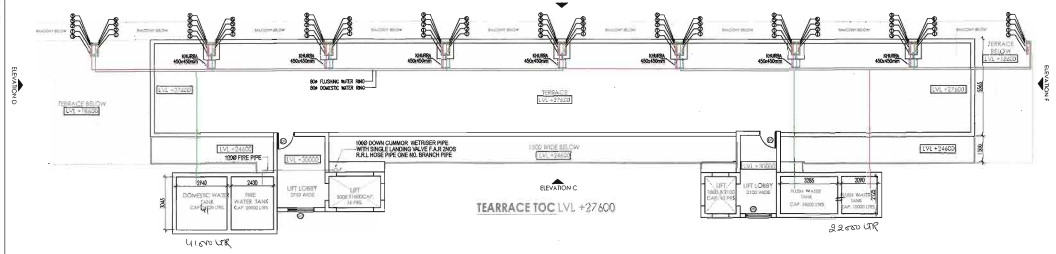
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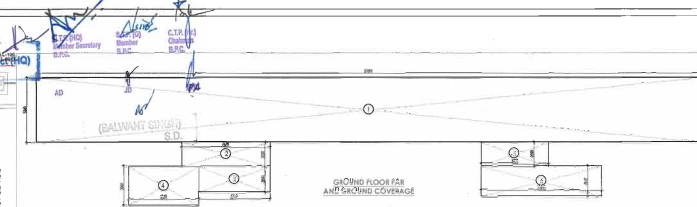
TYPICAL I (GROUND TO FIFTH FLOOR)
NOTE: NO BALCONY /CORRIDOR AT GROUND FLOOR



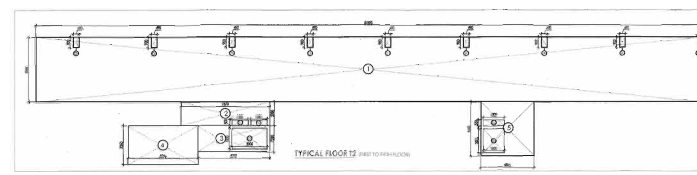
TYPICAL FLOOR T2 (SIXTH TO EIGHTH FLOOR)



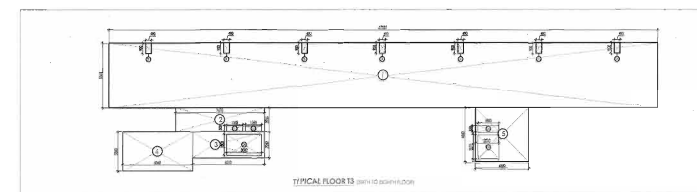
TEARFACE TOC LVL +27.600



GROUND FLOOR FAR AND SETBACK COVERAGE



TYPICAL FLOOR T2 (FIRST TO FIFTH FLOOR)



TYPICAL FLOOR T3 (SIXTH TO EIGHTH FLOOR)

GROUND FLOOR AREA				
S.NO./PG. NO.	LENGTH	BREADTH	NO.	TOTAL SQ.M.
1	5905	X	5665	1 331.07
2	7600	X	3300	1 15.72
3	4210	X	2260	1 14.03
4	4900	X	3300	1 20.36
5	5600	X	2200	1 11.93
6	10540	X	2610	1 27.50
TOTAL ADDITIONS (A1) =				410.32 SQ.M.

TYPICAL FLOOR F1 (FIRST TO FIFTH)				
S.NO./PG. NO.	LENGTH	BREADTH	NO.	TOTAL SQ.M.
1	5905	X	5665	1 331.07
2	7600	X	2660	1 15.72
3	4210	X	2260	1 14.03
4	4900	X	3300	1 20.36
5	4900	X	4660	1 21.39
TOTAL (F1) =				392.58 SQ.M.

FIRST TO FIFTH FLOOR DEDUCTIONS (D1)				
S.NO./PG. NO.	LENGTH	BREADTH	NO.	TOTAL SQ.M.
1	00	X	000	0 0.00
2	00	X	000	0 0.00
3	00	X	000	0 0.00
4	00	X	000	0 0.00
5	00	X	000	0 0.00
6	00	X	000	0 0.00
TOTAL DEDUCTIONS (D1) =				0.00 SQ.M.

TOTAL AREA (A2) = (F1 - D1) = 377.22

TYPICAL FLOOR F2 (SIXTH TO EIGHTH FLOOR)				
S.NO./PG. NO.	LENGTH	BREADTH	NO.	TOTAL SQ.M.
1	4755	X	5565	1 264.64
2	7600	X	3000	1 15.72
3	4210	X	2260	1 14.03
4	4900	X	3300	1 20.36
5	4900	X	4660	1 21.39
TOTAL (F2) =				336.15 SQ.M.

SIXTH TO EIGHTH FLOOR DEDUCTIONS (D2)				
S.NO./PG. NO.	LENGTH	BREADTH	NO.	TOTAL SQ.M.
1	00	X	000	0 0.00
2	00	X	000	0 0.00
3	00	X	000	0 0.00
4	00	X	000	0 0.00
5	00	X	000	0 0.00
6	00	X	000	0 0.00
TOTAL DEDUCTIONS (D2) =				0.00 SQ.M.

TOTAL AREA (A3) = (F2 - D2) = 321.12

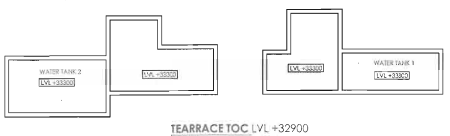
FLOOR WISE AREA BREAK-UP

TOTAL AREA OF GROUND FLOOR	=	410.32 SQ.M.
TOTAL AREA FROM FIRST TO FIFTH FLOOR	=	186.16 SQ.M.
TOTAL AREA FROM SIXTH TO EIGHTH FLOOR	=	963.36 SQ.M.
TOTAL AREA OF BLOCK	=	3259.78 SQ.M.

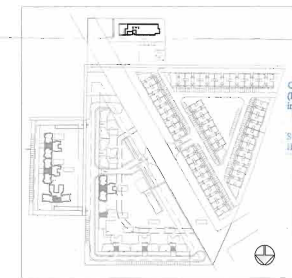
DOOR-WINDOW SCHEDULE

TYPE	WIDTH	CHILL	LINTEL	NO OF UNITS
D1	1000x2100	-	2100	17
D2	750x2100	-	2100	17
D3	850x2100	-	2100	17
W1	750x1200	900	2100	14
W2	1500x1200	900	2100	14
W3	1300x1200	900	2100	14
W4	600x900	1200	2100	144

REVISED BUILDING PLAN OF GROUP HOUSING SCHEME MEASURING 15.245 ACRES (LICENCE NO. S9 OF 2008 DATED 19.03.2008) IN SECTOR-04, GURGAON, MAHESAR URBAN COMPLEX & BUNG DEVELOPED BY M/I NORTH STAR APARTMENT PVT LTD



TEARFACE TOC LVL +32.900



REVISED SUBMISSION
PLANS & AREA
CALCULATION OF EWS

GROUP HOUSING
COMPLEX AT VILLAGE - SRI
SECTOR-04, GURGAON, HARYANA

M/S SS GROUP
PVT.LTD.

Checked and found ok for Public Health (General) Service only subject to compliance in forwarding to the authority.

Supervising Engineer (P&C)
HUDA, Panchkula

21/11/17

F.O. (HQ)
DFS P&L
Member B.P.C.

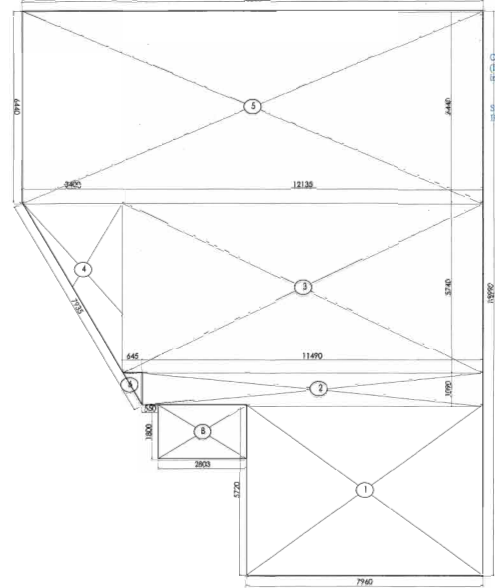
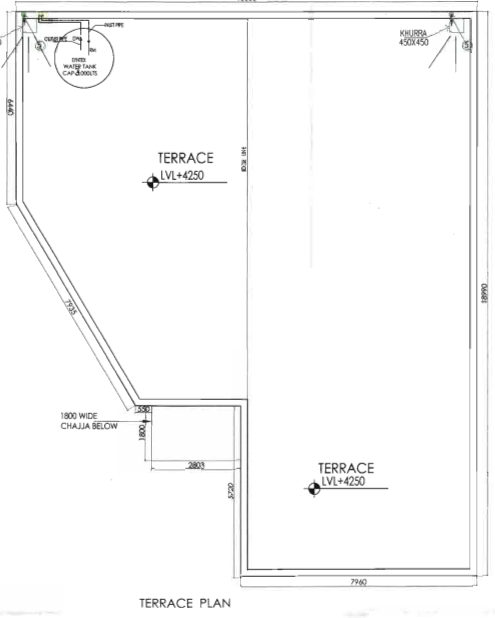
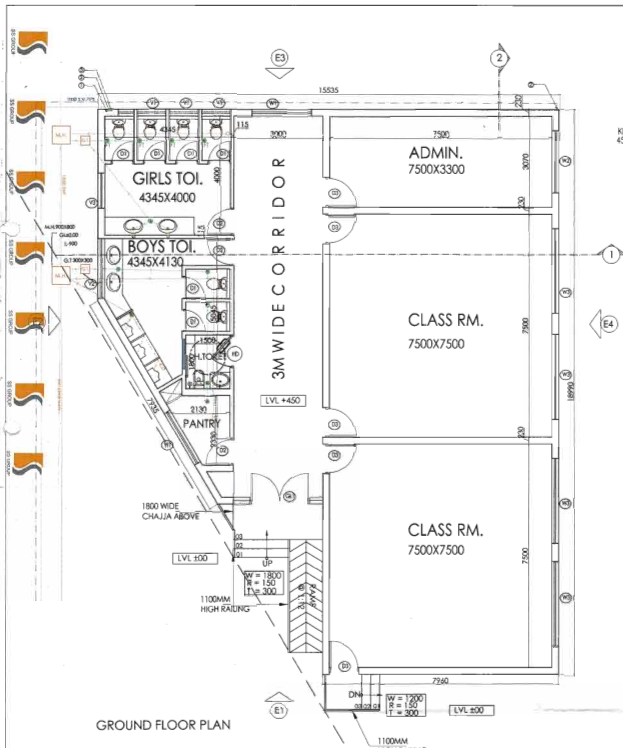
For S&P GROUP PVT. LTD.

Architecture
interior design
urban design
project management

SAA
S&P GROUP PVT. LTD.

REGN. No. 03/1949

CWISUB-EWS
-01

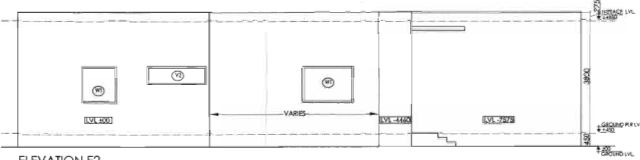
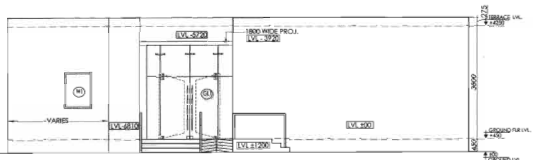


Archib HQ
 Checked and found ok for Public Health (Internal) Service only, subject to comment is forwarded to the HOD, SEI
 Superintending Engineer
 W.D.A., Panchsala, G.P.

GROUND FLOOR PLAN

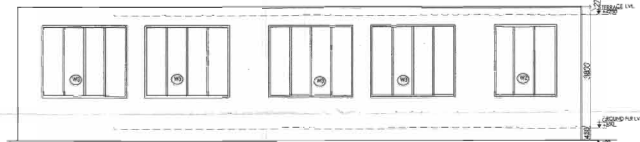
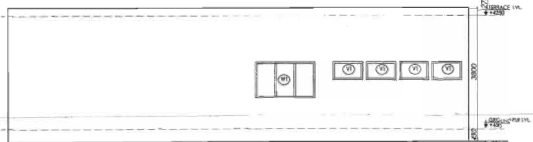
TERRACE PLAN

AREA DIAGRAM



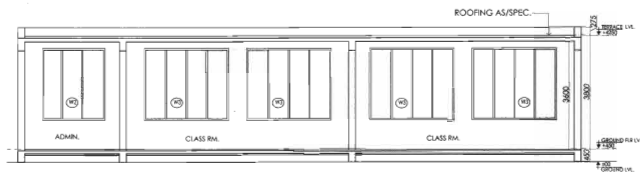
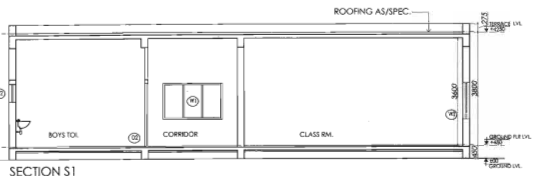
ELEVATION E1

ELEVATION E2



ELEVATION E3

ELEVATION E4



SECTION S1

SECTION S2

FRAME	LENGTH	BREADTH	AREA (SQ.M)
1	7960	5720	45,511
2	11490	1090	12,514
3	7215	5740	41,415
4	(3420 X 5740) / 0.5		9,798
5	15535	6440	100,545
6	445	1090	0,763
TOTAL AREA (A)			208,214

TOTAL GROUND COVERAGE
 = A x 1
 = 208.21 + (208.21 x 1.00)
 = 208.21 + 5346
 = 243.262

SYMBOL	DESCRIPTION
①	COLD WATER RISER
②	110P RAIN WATER PIPE
③	COLD WATER DINTAKE

NURSERY SCHOOL			
NO.	SITE AREA (SQ.MT)	PERMISSIBLE GROUND COVERAGE @33% OF 0.2 ACRE AREA (SQ.MT)	ACHIEVED GROUND COVERAGE (SQ.MT)
01	820.53	267.09	243.262
02	812.94	267.09	243.262

SCHEDULE OF OPENINGS				
TYPE	SIZE	CLVL	LVL	REMARKS
G1	2800X3000	-	274M BOTTOM	
D1	750X2100	-	2100	
D2	900X2100	-	2100	
D3	1000X2100	-	2100	
W1	2000X1200	900	2100	
W2	2100X2400	900	2100	
W3	2800X2400	900	2100	
V1	970X600	1500	2100	
V2	2000X600	1500	2100	
V3	1180X600	1500	2100	

NOTE: 1. ALL BUILDING ARE MECHANICALLY VENTILATED AND ARTIFICIALLY LIGHTED.
 REVISED BUILDING OF GROUP HOUSING SCHEME MEASURING 15.275 ACRES (LICENCE No-59 OF 2008 DATED 19.03.2008) IN SECTOR-84,GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S NORTH STAR APARTMENT. PVT. LTD.

REVISED SUBMISSION
 NURSERY SCHOOL PLANS, ELEVATIONS, SECTION, AREA CHART
 GROUP HOUSING COMPLEX AT VILLAGE- SIHI, SECTOR-84, GURGAON, HARYANA

M/S SS GROUP PVT.LTD.

ARCHITECTS
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 4205/ANANDAPURAM/DELHI/INDIA TEL: 011-26107773 FAX: 011-26107733
 TEL: 011-26114481 E-MAIL: saasika@rediffmail.com

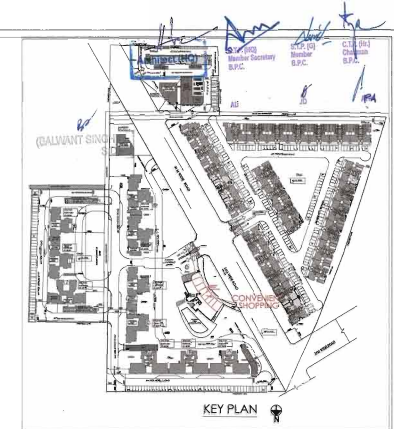
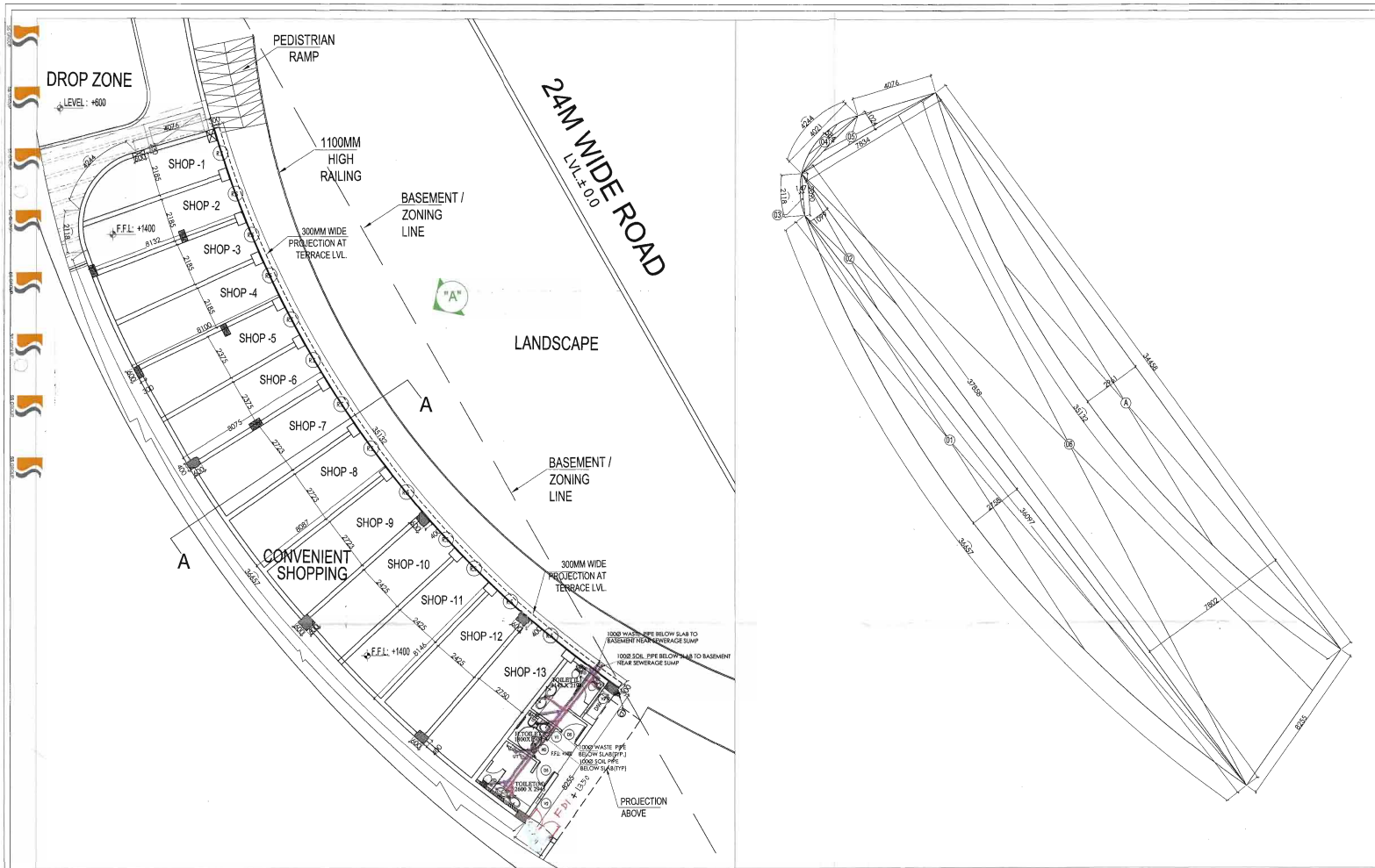
OWNER
 PVT. LTD.
 Authorized Signatory
 Raman Sikka
 REGN. No. 03/16497

SCALE: 1/75
 DATE: 03/01/2017
 SHEET: P1
 PROJECT: CW/SUB/NS-01

F.O. (H)
 DFS-P&L
 Member B.P.C.

For SS GROUP

Authorized Signatory



NO.	SYMBOLS	DESCRIPTION
1.		100mm SOIL PIPE
2.		100mm WASTE PIPE
3.		50mm WASTE PIPE FD TO FT
4.		40mm WASTE PIPE WASHBASIN TO FT
5.		FT FLOOR TRAP
6.		FD FLOOR DRAIN
7.		RAIN WATER KHURRA
8.		DOMESTIC WATER SUPPLY PIPE
9.		FLUSHING WATER SUPPLY PIPE

NO.	DIA. OF VERTICAL PIPES
1.	100mm SOIL VERTICAL PIPE
2.	100mm WASTE VERTICAL PIPE
3.	75mm VENT VERTICAL PIPE
4.	DOMESTIC WATER SUPPLY PIPE
5.	FLUSHING WATER SUPPLY PIPE
6.	150mm RAIN WATER PIPE
7.	FLUSHING WATER SUPPLY RISER PIPE
8.	DOMESTIC WATER SUPPLY RISER PIPE

NOTE: 1. ALL BUILDING ARE MECHANICALLY VENTILATED AND ARTIFICIALLY LIGHTED.

REVISED BUILDING OF GROUP HOUSING SCHEME MEASURING 15.275 ACRES (LICENCE No-59 OF 2008 DATED 19.03.2008) IN SECTOR-84, GURUGRAM MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S NORTH STAR APARTMENT, PVT. LTD.

REVISED SUBMISSION

CONVENIENT SHOPPING

GROUP HOUSING COMPLEX AT VILLAGE - SHI, SECTOR-84, GURGAON, HARYANA

M/S SS GROUP PVT. LTD.

Checked and Approved for Public Health (Internal) Scheme, subject to conditions in force under No. SEC (1) (1) 1654/87
 HUDA, Faridkot
 1654/87
 F.O. (HQ) DFS PCL Member B.P. of SS GROUP PVT. LTD.
 Authorized Signatory

SAA
 sika associates architects project management
 .architecture
 .masterplanning
 .urban design
 .interior designing
 OWNER: M/S SS GROUP PVT. LTD.
 ARCHITECT: raman sikka
 REGN. No. 23/16497

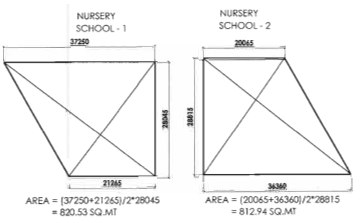
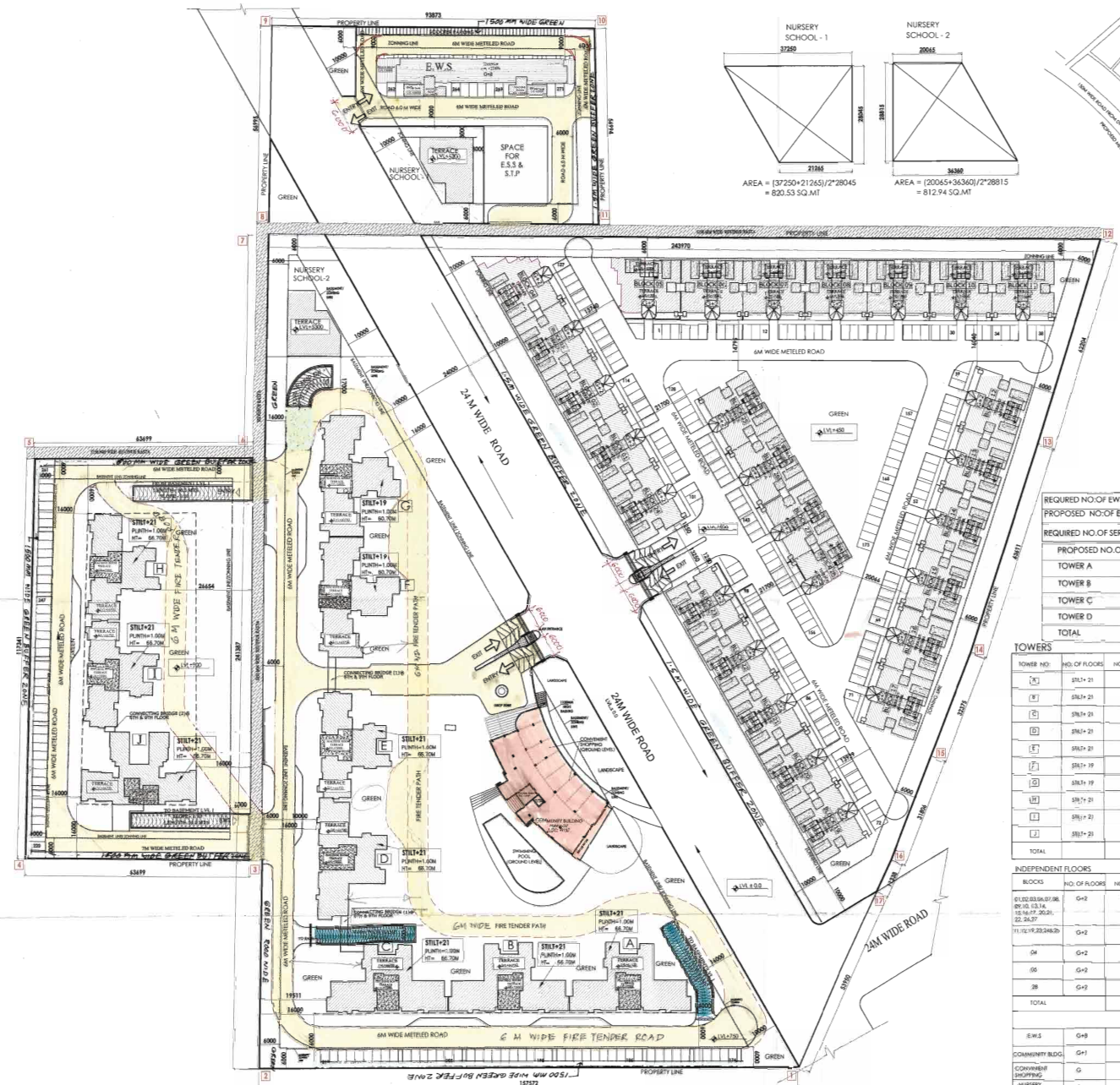
GROUND AREA CALCULATION FOR CONVENIENT SHOPPING						
S.No.	AREA NO.	AREA CALCULATION			QTY.	TOTAL AREA
		FRACTION L/H IN MM	B IN MM	AREA IN SQ.M		
1	1	0.667 X	2758 X 36097	66.40	1	66.40
2	2	0.5 X	1099 X 37858	20.80	1	20.80
3	3	0.5 X	147 X 2090	0.15	1	0.15
4	4	0.667 X	584 X 4021	1.57	1	1.57
5	5	0.5 X	1024 X 7834	4.01	1	4.01
6	6	0.5 X	7802 X 72316	282.10	1	282.10
TOTAL AREA IN SQ.M			T1			375.04

DEDUCTION						
S.No.	AREA NO.	AREA CALCULATION			QTY.	TOTAL AREA
		L IN MM	B IN MM	AREA IN SQ.M		
7	A	0.667 X	2961 X 34458	68.05	1	68.05
TOTAL AREA IN SQ.M			S1			68.05

AREA SUMMERY

GROUND FLOOR CONVENIENT SHOPPING AREA
 = T1 - S1
 = 375.04 - 68.05
 = 306.99 SQ.M

scale: 1:100
 date: 02/01/2017
 sheet: CW/SUB/CS-01/A



POPULATION DENSITY CALCULATION

SITE AREA = 15.275 ACRES

PERMISSIBLE DENSITY:
 MAXIMUM = 30 PERSONS/ACRE = 3081 PERSONS
 = 480 PERSONS

PROPOSED POPULATION:

NO. OF MAIN UNITS = 798
 NO. OF UNITS WITH SERVANT QUARTERS = 84 + 217 = 1115
 NO. OF UNITS WITHOUT SERVANT = 714
 NO. OF PEOPLE IN 1 UNIT (WITH SERVANT) = 7
 NO. OF PEOPLE IN 1 UNIT (WITHOUT SERVANT) = 5
 NO. OF E.W.S UNITS = 144
 NO. OF PEOPLE IN 1 E.W.S UNIT = 2

TOTAL POPULATION = $(84 \times 7) + (714 \times 5) + (144 \times 2)$
 = 384 + 3570 + 288 = 4242 PERSONS

DENSITY ACHIEVED = $4242 / 15.275 = 278.56$
 i.e. 480 PERSONS/ACRE

CAR PARKING CALCULATION

PARKING REQUIRED @ 1 S.F.O.U. = $(798 \times 1.5) + 5\%$ OF E.W.S = 1207
 COVERED PARKING REQUIRED = 75% OF 1207 = 905 NOS

NO. OF PARKING ACHIEVED AT BASEMENT = 843
 NO. OF PARKING ACHIEVED AT STILT = 1153 CARS
 NO. OF COVERED PARKING ACHIEVED = 843 + 153 = 996
 NO. OF PARKING ACHIEVED AT SURFACE = 271
 TOTAL PARKING ACHIEVED = 1267 CARS

AREA STATEMENT:

TOTAL SITE AREA	= 61,815.635 SQ.MT.	OR 15.275 ACRES
PERMISSIBLE GROUND COVERAGE @ 35%	= 21,635.47 SQ.MT.	
PROPOSED GROUND COVERAGE	= 13078.73 SQ.MT.	i.e. 21.157%
PERMISSIBLE F.A.R @ 1.75	= 1,08,177.36 SQ.MT.	
PROPOSED F.A.R	= 1,08,147.87 SQ.MT.	i.e. 174.952
ROAD/PARKING AREA	= 11,201.702 SQ.MT.	i.e. 18.12 %
MINIMUM OPEN GREEN REQUIRED @ 15% OF PLOT AREA	= 9,272.345 SQ.MT.	
PROPOSED OPEN GREEN	= 18206.167 SQ.MT.	i.e. 29.45 %
PERMISSIBLE CONVENIENT SHOPPING @ 80% OF PLOT AREA	= 309.08 SQ.MT.	
PROPOSED CONVENIENT SHOPPING	= 306.99 SQ.MT.	i.e. 0.5 %

REQUIRED NO. OF EWS (0.15% OF TOTAL UNITS) 142 EWS
PROPOSED NO. OF EWS (0.15% OF TOTAL UNITS) 144 EWS

REQUIRED NO. OF SERVANT QUARTERS (0.10% OF TOTAL UNITS) 80 SQS
PROPOSED NO. OF SERVANT QUARTERS

TOWER A	21
TOWER B	21
TOWER C	21
TOWER D	21
TOTAL	84

TOWERS

TOWER NO.	NO. OF FLOORS	NO. OF UNITS	STILT F.A.R.	GROUND COVERAGE	F.A.R (SQ.MT)
[X]	StL1+21	63	65.58	431.03	8581.11
[Y]	StL1+21	63	65.58	431.03	8581.11
[Z]	StL1+21	63	65.58	431.03	8581.11
[A]	StL1+21	63	65.58	431.03	8581.11
[B]	StL1+21	63	66.47	375.58	7402.71
[C]	StL1+19	57	65.92	471.45	6571.46
[D]	StL1+19	57	65.92	471.45	6571.46
[E]	StL1+21	63	66.47	375.58	7402.71
[F]	StL1+21	63	66.47	375.58	7402.71
[G]	StL1+21	64	58.56	417.47	6317.23
TOTAL	639	446.13	4211.43	81944.72	

INDEPENDENT FLOORS

BLOCKS	NO. OF FLOORS	NO. OF UNITS	GROUNDING COVERAGE	F.A.R (SQ.MT)
[H]	G+2	108	4008.42	15330.24
[I]	G+2	36	1443.8	5199.80
[J]	G+2	56	273.52	865.54
[K]	G+2	56	273.56	862.95
[L]	G+2	53	146.80	458.46
TOTAL	189	7247.03	22434.38	

E.W.S.	G+8	144	410.32	3239.78
COMMUNITY BLDG.	G+1	-	616.44	999.89
CONVENIENT SHOPPING	G	-	354.99	304.99
NURSERY SCHOOL-1	G	-	243.24	528.24
NURSERY SCHOOL-2	G	-	243.25	238.21
TOTAL		142	1420.27	5043.09

TOTAL GROUND COVERAGE = 4211.43 + 7247.03 + 1420.27 = 13078.73 SQ.MT
 TOTAL FAR = 81944.72 + 22634.38 + 3566.77 = 108147.87 SQ.MT

THIS FIRE FIGHTING SCHEME IS ALL READY APPROVED VIDE NO. PA150410581 UNTE ORIGINAL BUILDING STRUCTURE HAD COMPLETED

REVISED BUILDING LOCATION REVISED

NO CHANGE IN OTHER TOWERS

RAMAN SIKKA
 REGN. NO. 93/16497

F.O. (HO) D'S P.V.L. Member B.P.C.

ACHIEVED GROUND COVERAGE FOR NURSERY SCHOOL = 243.2 X 2 = 486.52 SQ.MT

BASEMENT AREA

BASEMENT 1	= 21263.04 SQ.MT.
BASEMENT 2	= 15821.7 SQ.MT.
TOTAL	= 37084.74 SQ.MT.

TOTAL BUILTUP AREA = (B1+B2) + PART(TOTAL) + GROUND COVERAGE
 = (37084.74 + 109147.76 + 13078.73) + (1446.13 + 1999.89) + 410.32 + 306.99
 = 156947.9 SQ.M

NOTE: 1. ALL BUILDING ARE MECHANICALLY VENTILATED AND ARTIFICIALLY LIGHTED.
 REVISED BUILDING OF GROUP HOUSING SCHEME MEASURING IS 225 ACRES (LICENSE NO.-59 OF 2008 DATED 19.03.2008) IN SECTOR-84 GURUGRAM, MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S NORTH STAR APARTMENT, PVT. LTD.

REVISED SUBMISSION

SITE PLAN

GROUP HOUSING - COMPLEX AT VILLAGE - SHI, SECTOR-84, GURGAON, HARYANA



SAA ARCHITECTS
 architecture + master planning
 interior design
 SIKKA ASSOCIATES ARCHITECTS PROJECT MANAGEMENT

For S/S GROUP PVT. LTD.
 Authorized Signatory

DATE: 13/01/2017
 TIME: 12:00:00
 DWG: CW/SUB - SP-0



CAR PARKING CALCULATION

PARKING REQUIRED @ 1.0/DMU i.e. 1/720X1.5 = 45% OF 1/61.5
 1/207
 COVERED PARKING REQUIRED = 75% OF 1/207 = 96% NOS.
 TOTAL PARKING AREA (P) = 11,201.702 SQ.M.
 TOTAL PROPOSED SURFACE PARKING = 271
 AREA PER CAR = 11,201.702 / 271 = 41.33 SQ.M.

AREA STATEMENT:

TOTAL SITE AREA	=	61,815.635 SQ.MT.	OR	15,275 ACRES
ROAD & PARKING AREA	=	11,201.702 SQ.MT.	i.e.	18.12 %
MAINTAIN OPEN GREEN @ 1% OF PLOT AREA	=	9,272.345 SQ.MT.		
PROPOSED GREEN AREA	=	18206.167 SQ.MT.	i.e.	29.45 %

GREEN AREA CALCULATION

S.NO	AREA NO.	FRACTION	L IN MM	B IN MM	AREA IN SQ.M	QTY	TOTAL AREA
1	G1	-	3947	X	12072	69 750	-
2	G2	-	11673	X	4145	18 732	-
3	G3	-	3647	X	3975	156 426	156 426
4	G4	-	7727	X	12739	38 556	-
5	G5	-	1751	X	7285	53 517	-
6	G6	-	15410	X	2408	57 607	-
7	G7	-	15 15	X	11820	48 008	-
8	G8	-	2374	X	11202	132 807	-
9	G9	-	12339	X	10410	125 358	-
10	G10	-	11686	X	17025	137 208	-
11	G11	-	26041	X	53805	1122 533	-
12	G12	-	37845	X	12737	481 911	-
13	G13	-	19401	X	9185	35 428	-
14	G14	-	46153	X	8187	146 811	-
15	G15	-	17994	X	6291	82 790	-
16	G16	-	2341	X	3923	61 298	-
17	G17	-	9630	X	3619	76 057	-
18	G18	-	32887	X	3976	128 914	-
19	G19	-	6860	X	7891	92 219	-
20	G20	-	7190	X	5677	32 699	-
21	G21	-	3795	X	17777	124 480	-
22	G22	-	14725	X	11022	51 142	-
23	G23	-	20080	X	4102	243 282	-
24	G24	-	2225	X	11028	274 561	-
25	G25	-	14127	X	17025	758 802	-
26	G26	-	18631	X	11808	281 517	-
27	G27	-	32014	X	17319	1008 254	-
28	G28	-	36921	X	15841	213 047	-
29	G29	-	15266	X	7778	113 511	-
30	G30	-	27278	X	14621	389 302	-
31	G31	-	34341	X	18726	643 572	-
32	G32	-	146917	X	7182	1681 917	-
33	G33	-	2871	X	33175	377 304	-
34	G34	-	38929	X	8181	316 914	-
35	G35	-	6271	X	16628	122 814	-
36	G36	-	8181	X	48641	248 814	-
37	G37	-	87223	X	14378	474 387	-
38	G38	-	33711	X	11465	387 549	-
39	G39	-	36917	X	9173	323 113	-
40	G40	-	31715	X	9115	384 180	-
41	G41	-	13882	X	11890	180 881	-
42	G42	-	14127	X	11028	152 844	-
43	G43	-	6271	X	18111	183 673	-
44	G44	-	3409	X	30029	192 431	-
45	G45	-	3479	X	1548	131 216	-
46	G46	-	11466	X	10350	114 829	-
47	G47	-	523	X	20211	82 889	-
48	G48	-	3698	X	7267	83 499	-
49	G49	-	14607	X	17119	249 813	-
50	G50	-	11712	X	325	36 149	-
51	G51	-	9626	X	6000	58 968	-
52	G52	-	12772	X	14628	773 867	-
53	G53	-	5307	X	13427	422 262	-
54	G54	-	10000	X	10920	1008 200	-
55	G55	-	10789	X	39384	971 807	-
56	G56	-	14665	X	35148	134 594	-
57	G57	-	28101	X	18557	408 887	-
58	G58	-	23914	X	26145	304 132	-
59	G59	-	7097	X	63775	477 886	-
60	G60	-	10895	X	32111	347 691	-
61	G61	-	26813	X	10000	134 218	-
62	G62	-	14615	X	2828	40 745	-
63	G63	-	6815	X	20959	128 808	-
64	G64	-	4242	X	9015	191 287	-
65	G65	-	9985	X	17370	65 968	-
66	G66	-	6066	X	17668	89 881	-
67	G67	-	1902	X	2372	45 128	-
68	G68	-	9180	X	3672	88 501	-
69	G69	-	15 15	X	1038	78 367	-
70	G70	-	3045	X	4039	207 252	-

PARKING AREA CALCULATION

S.NO	AREA NO.	FRACTION	L IN MM	B IN MM	AREA IN SQ.M	QTY	TOTAL AREA
1	P1	-	6178	X	6000	33 874	-
2	P2	-	11466	X	11650	937 181	-
3	P3	-	10358	X	17109	424 681	-
4	P4	-	14665	X	35148	688 009	-
5	P5	-	12160	X	11885	1436 931	-
6	P6	-	21812	X	26145	135 602	-
7	P7	-	11899	X	62625	233 364	-
8	P8	-	39514	X	13124	468 995	-
9	P9	-	28201	X	11319	383 045	-
10	P10	-	9005	X	11025	1488 944	-
11	P11	-	4868	X	11028	542 787	-
12	P12	-	84207	X	11000	475 365	-
13	P13	-	42795	X	18000	680 007	-
14	P14	-	3947	X	10789	427 688	-
15	P15	-	24788	X	11000	737 504	-
16	P16	-	47023	X	11006	517 268	-
17	P17	-	7803	X	11000	35 503	-
18	P18	-	12903	X	11000	193 000	-
19	P19	-	344	X	11000	35 000	-

NOTE: ALL BUILDING AREAS ARE PROVISIONALLY VENTILATED AND AIR CONDITIONED.
 REVISIONS:
 NO. 01 OF 202 DATED 19.02.2008 IN
 SECT. 60 & 61 OF THE URBAN COMP. & REG. ACT, 1973 AS AMENDED BY M/S IN THE STATE ARCHITECTURE ACT, 1973.

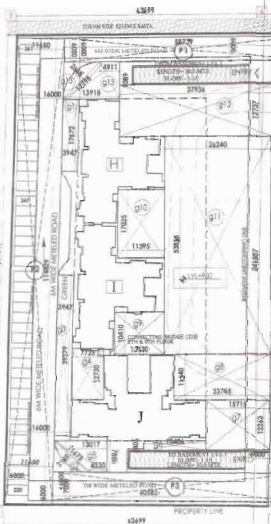
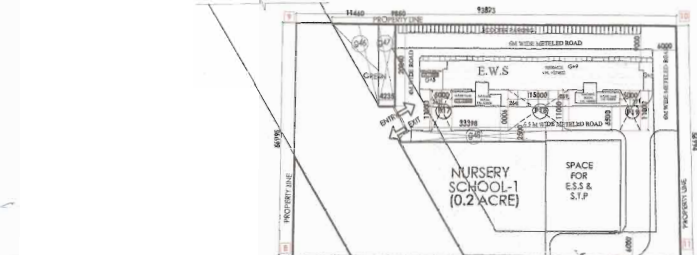
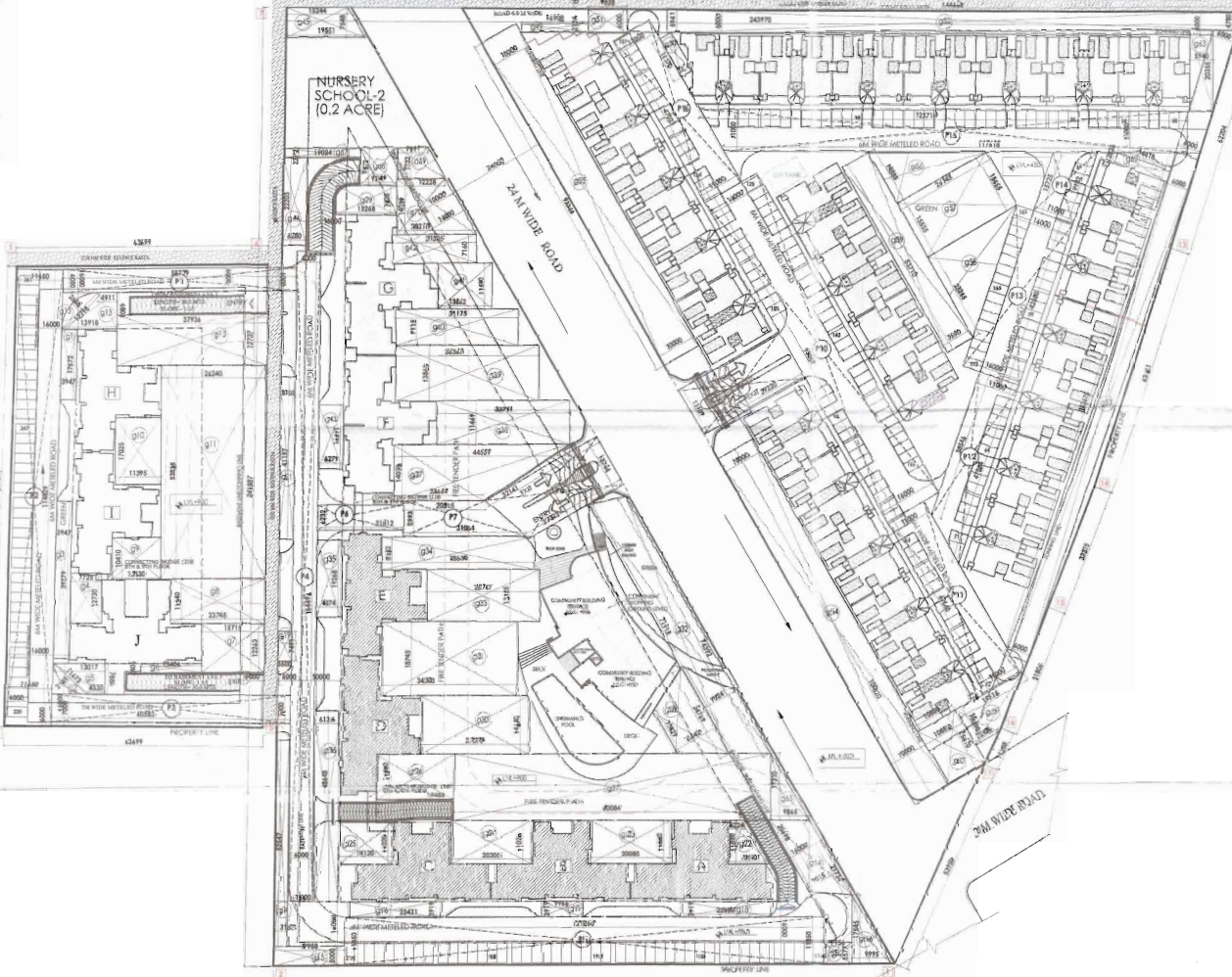
REVISION SUBMISSION
SITE PLAN
 GREEN AREA & PARKING
 GROUP HOUSING
 COMPLEX AT VILLAGE SITHA,
 SECTOR-84, GUARGAON, HARYANA

M/S S/S GROUP PVT.LTD.

SAA
 ARCHITECTS
 100/101, Sector-84, Guurgaon, Haryana.
 PUNJAB
 122001
 PH: 91-11-26108800
 E: 011-26108800, 011-26108801
 WWW.SAAARCHITECTS.COM

GROUP PVT.LTD.
 AUTHORISED SIGNATURE
 REGD. NO. S/42/17/04

CWSUB - SP-11

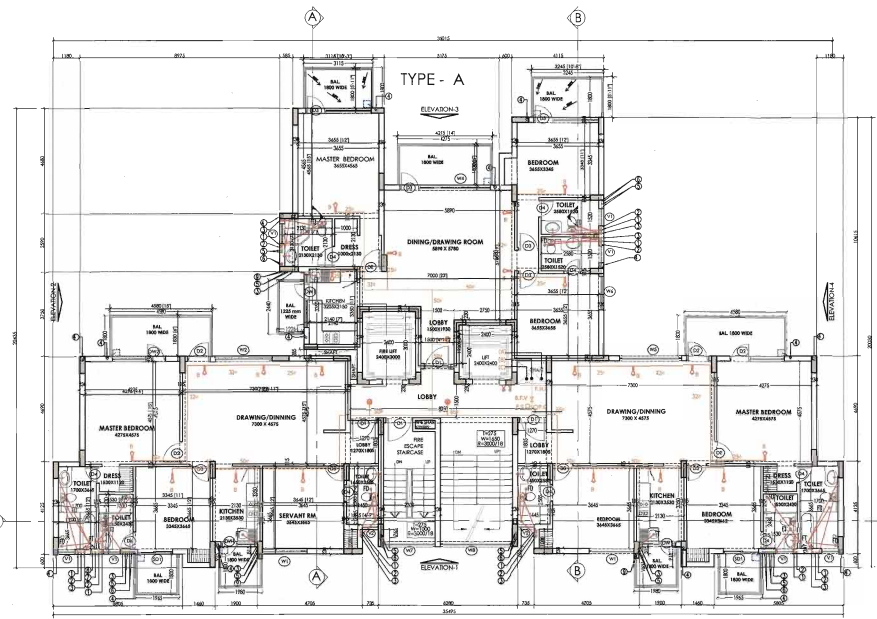


LEGEND FOR PLUMBING

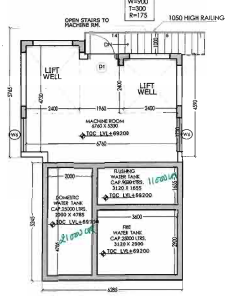
- 1. 100# C.I. SOIL VERTICAL PIPE
- 2. 75# C.I. WASTE VERTICAL PIPE
- 3. 100# C.I. WASTE VERTICAL PIPE
- 4. 100# RAIN WATER VERTICAL PIPE
- 5. DOMESTIC WATER SUPPLY PIPE
- 6. FLUSHING WATER SUPPLY PIPE
- 7. DOMESTIC WATER SUPPLY RISER PIPE
- 8. FLUSHING WATER SUPPLY RISER PIPE
- 9. HOT WATER SUPPLY PIPE
- 10. DOMESTIC WATER SUPPLY LINE
- 11. FLUSHING WATER SUPPLY LINE
- 12. DOMESTIC WATER RISER LINE
- 13. FLUSHING WATER RISER LINE
- 14. BUTTER FLY VALVE
- 15. FLOOR TRAP
- 16. F.D. FLOOR DRAIN
- 17. RAIN WATER KHURRA (300X300MM)

Checked and found ok for Public Health
(Name) Service only subject to Government
+ Government Approval. Date: 31/11/17
168489

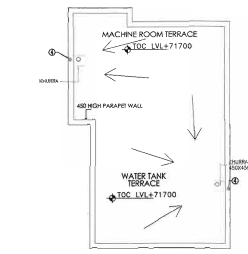
KEY PLAN
31/11/17



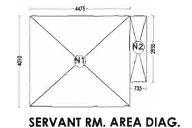
TYPE - B
TYPICAL (1ST TO 21ST) FLOOR PLAN



MACHINE ROOM & O.H. FLOOR LVL.



TERRACE PLAN - MACHINE ROOM & O.H.



SERVANT RM. AREA DIAG.

AREA CALCULATION

S. NO.	LENGTH (M)	BREADTH (M)	AREA (SQ. M)
N1	4.02	4.02	16.16
N2	0.735	2.95	2.14
TOTAL AREA (1+2)			18.30 SQ.M.

LEGEND FOR PLUMBING & FIRE PROVISION

- C.W.S. COLD WATER SUPPLY PIPE
- C.I.P.P. CAST IRON PIPE
- S.W.P. GALVANIZED IRON PIPE
- M.S.P. MILD STEEL PIPE
- F.T. FLOOR TRAP
- G.T. GULLY TRAP
- I.L. INVERT LEVEL
- W.P. WASTE PIPE
- S.P. SOIL PIPE
- C.S.P. CLEAN OUT PLUG
- F.F.L. FINISH FLOOR LEVEL
- C.L. CONNECTION LEVEL
- M.B. MANHOLE
- M.H.D. MANHOLE DRAINAGE
- R.G.G. ROAD GULLY GRATING
- F.H.C. FIRE HOSE COUPLER
- R.F.V. RETURN FLY VALVE
- C.V. CHECK / NON-RETURN VALVE
- I.V. ISOLATION VALVE
- F.S. FLOW SWITCH
- P.C. PRESSURE GAUGE
- S.P. SPRINKLER
- R. 2" RAIN WATER OVERHEAD TANK
- 100# WET RISER PIPE WITH SINGLE LANDING VALVE, F.A.S. 2 NOS. R.R.L. HOSE PIPE AND HO. BRANCH PIPE
- 150# SPRINKLER PIPE
- 50# DRAIN PIPE

DOOR WINDOW SCHEDULE

NAME	SIZE (mm)	SIZE (mm)	UNITS	UNITS
D1	1200 X	2100	...	2100
D2	1000 X	2100	...	2100
D3	900 X	2100	...	2100
D4	750 X	2100	...	2100
SD1	1575 X	2100	...	2100
W1	2000 X	1200	900	2100
W2	2575 X	1200	900	2100
W3	1760 X	1200	900	2100
W4	2750 X	1200	900	2100
W5	2750 X	1200	900	2100
W6	1500 X	1200	900	2100
W7	2300 X	1200	900	2100
W8	2800 X	1200	900	2100
DW1	1535 X	2100	900	2100
DW2	2400 X	2100	900	2100
DW3	2915 X	2100	900	2100
V1	750 X	1200	900	2100
V2	735 X	1200	900	2100

REVISED SUBMISSION
TOWER - A, B, C & D
FLOOR PLANS

GROUP HOUSING COMPLEX AT VILLAGE - SIHI, SECTOR-84, GURGAON, HARYANA.

M/S SS GROUP PVT. LTD.

F.O. (HQ) DFS PKL Member B.P.

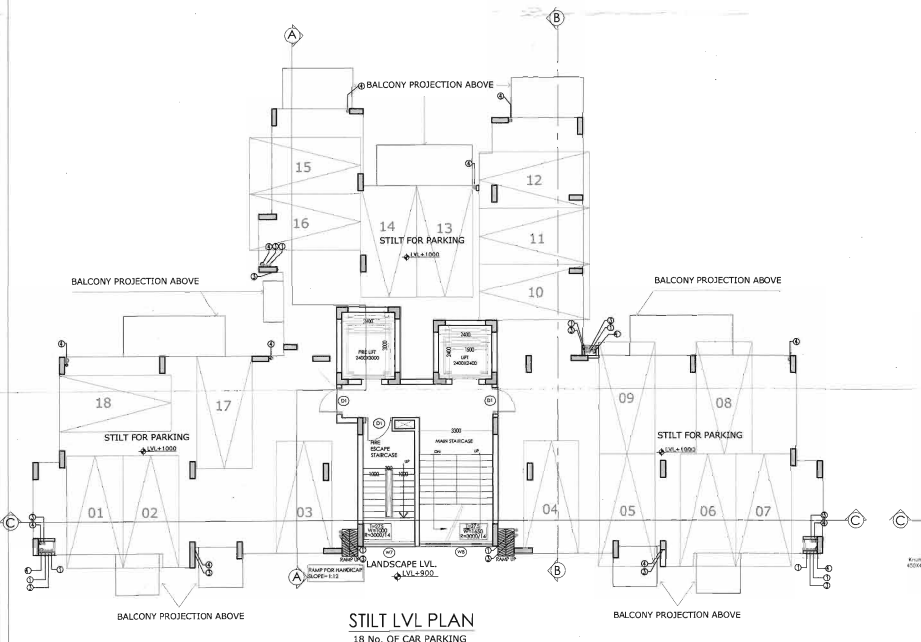
SAA - architecture, masterplanning, urban design, interior designing, project management.

SAKKA ASSOCIATES ARCHITECTS

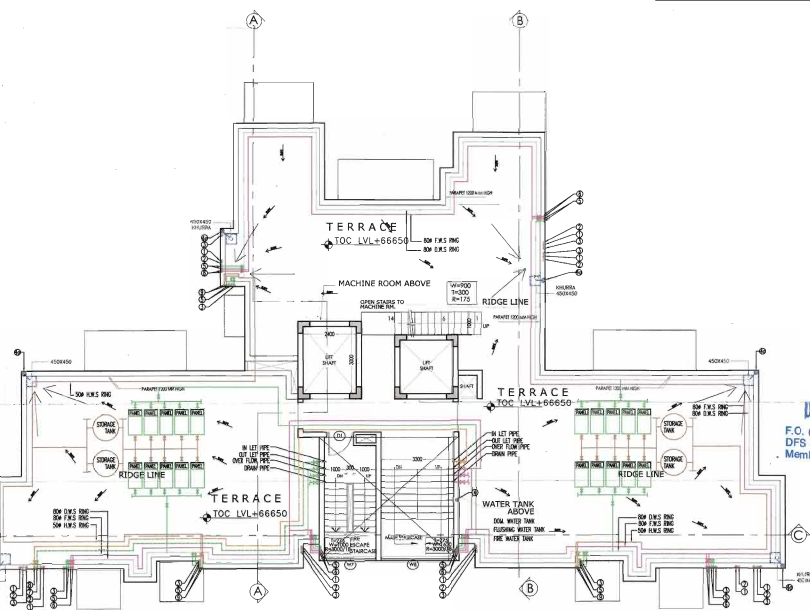
OWNER: SS GROUP PVT. LTD.

ARCHITECT: SAKKA ASSOCIATES ARCHITECTS

REGN. NO. 93/16497



STILT LVL PLAN
18 No. OF CAR PARKING



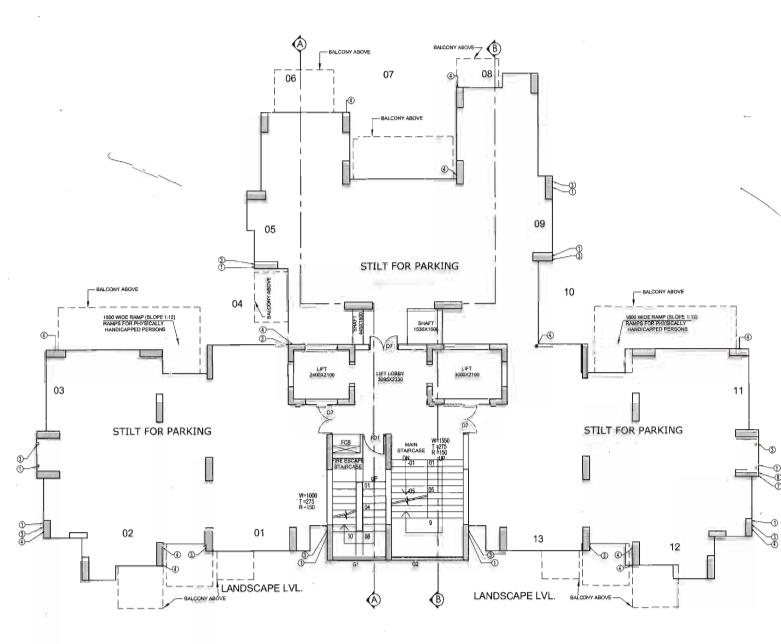
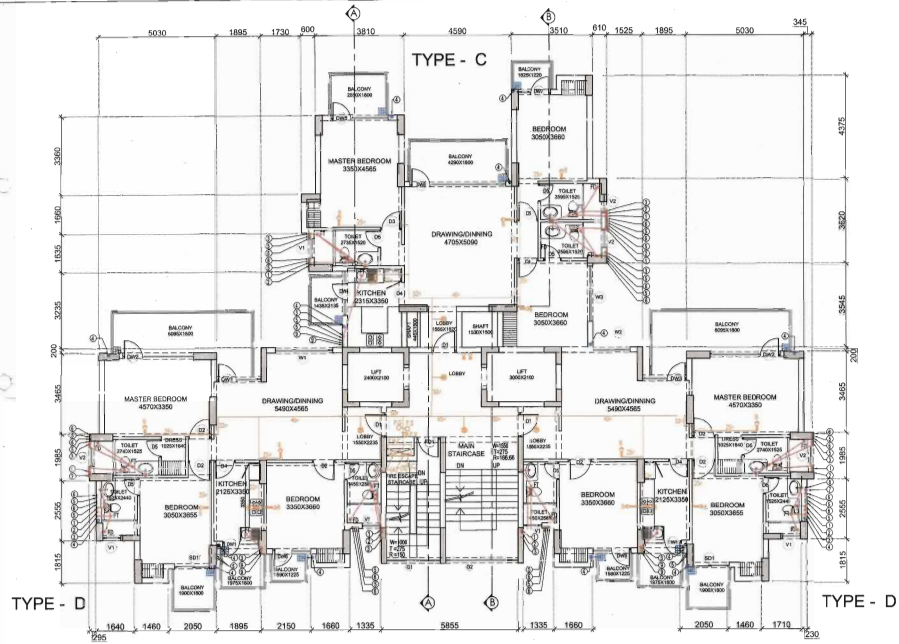
TERRACE LEVEL PLAN

REVISED BUILDING PLAN OF GROUP HOUSING SCHEME MEASURING 15.275 ACRES LICENSE NO. S/07/2008 DATED 19.3.2008 IN SECTION 84 GURGAON HARYANA DEVELOPMENT REGULATIONS BY M/S. SAKKA ASSOCIATES ARCHITECTS PVT. LTD.

SCALE: 1:100

CW/SUB: T-A, B, C & D/01

DATE: 02.01.2017



Architect (H&I) Member B.P.C.

Checked and found ok for Public Health (Internal) Approval subject to comments in the form for the same dated 15/02/2017.

Superintendent of Civil Engineering, HUDA, Gurgaon.

15/02/2017

158489

SCHEDULE OF OPENING (CIVIL OPENING)

DT	SIZE	C. LVL.	L. LVL.	REMARKS
D1	1200X2100	+000	+2100	
D2	1000X2100	+000	+2100	
D3	8300X100	+000	+2100	
D4	900X2100	+000	+2100	
D5	750X2100	+000	+2100	
D6	950X2100	+000	+2100	
D7	1280X2100	+000	+2100	
S01	1575X2100	+000	+2100	
F01	1000X2100	+000	+2100	FIRE RATED DOOR
W1	2450X1200	+000	+2100	
W2	1605X1200	+000	+2100	
W3	2350X1200	+000	+2100	
W4	900X1200	+000	+2100	
DW1	15300X100	+00/+000	+2100	DOOR/WINDOW
DW2	3015X2100	+00/+000	+2100	DOOR/WINDOW
DW3	1890X100	+00/+000	+2100	DOOR/WINDOW
DW4	1890X100	+00/+000	+2100	DOOR/WINDOW
DW5	2450X100	+00/+000	+2100	DOOR/WINDOW
DW6	1640X100	+00/+000	+2100	DOOR/WINDOW
DW7	1495X100	+000	+2100	
DW8	4090X100	+00/+000	+2100	DOOR/WINDOW
G1	2280X450	+000	+2450	
G2	2800X2450	+000	+2450	
G3	2295X3600	+000	+3600	
G4	2800X3600	+000	+3600	
V1	810X1200	+000	+2100	
V2	750X1200	+000	+2100	

REVISED NON-FIRE RATED PLAN OF OPENING IN EXISTING EXTERIOR WALLS OF THE 15/875 ACRES 6 LIGENCE NO. 59 OF 2008 DATED 19.3.2008 2/1/13 SECTION 4th GOVERNMENT MASTER PLAN BEANS COMPLEX BEING DEVELOPED BY M/S NARAYAN SHARMA PARTNERSHIP PVT. LTD.

REVISED SUBMISSION

TOWER - E, H & I

STILT FLOOR PLAN

TERRACE, MACHINE ROOM PLAN

GROUP HOUSING COMPLEX AT VILLAGE - SIHI, SECTOR-84, GURGAON, HARYANA.

Project: M/S SS GROUP PVT.LTD.

Architect: SAA

Architecture
Masterplanning
Urban design
Interior design
Project management

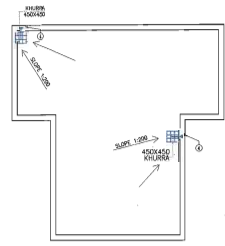
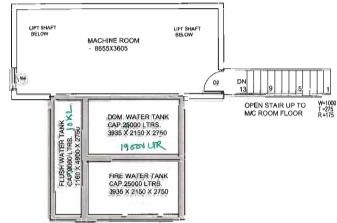
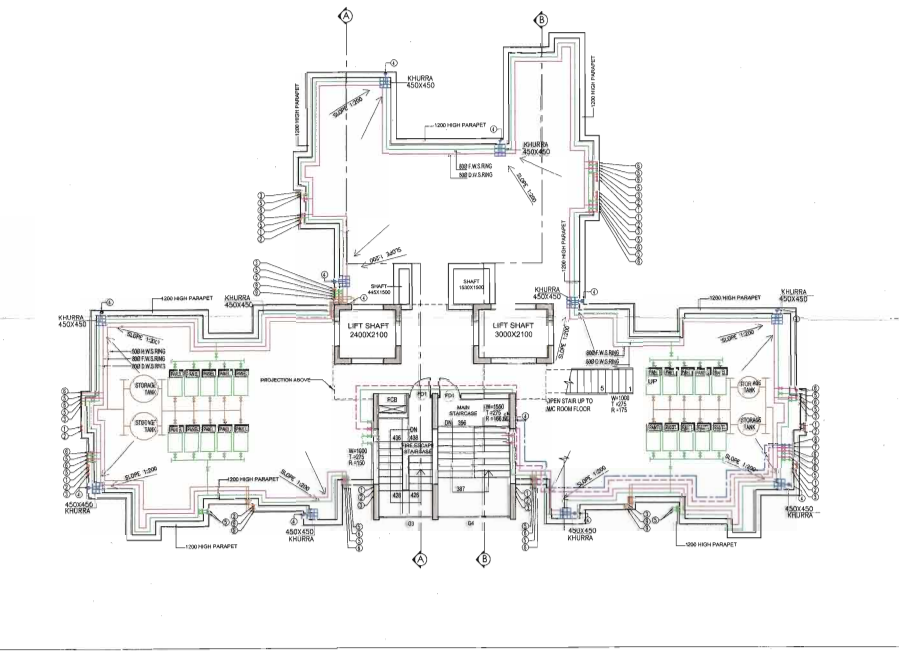
SAI Associates Architects
A/10, 11th Floor, Naraina Cyber Complex, New Delhi-110028
Tel: (011) 26194481, E-mail: saai@saaiindia.net, saai@saai.com

Owner: SS GROUP PVT. LTD.

Architect: Ramesh ramani sikka

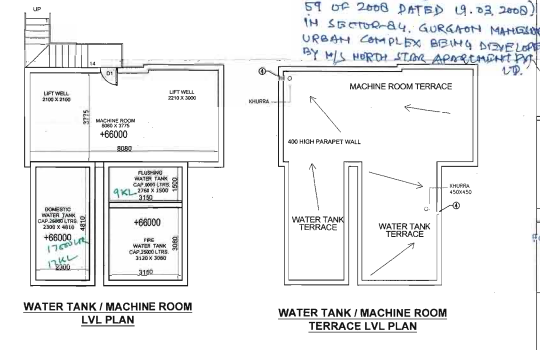
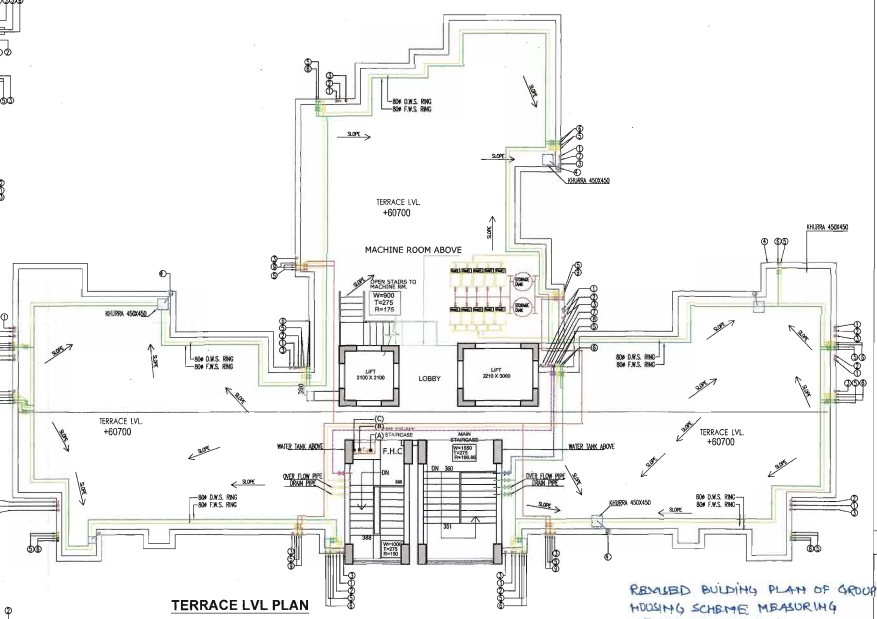
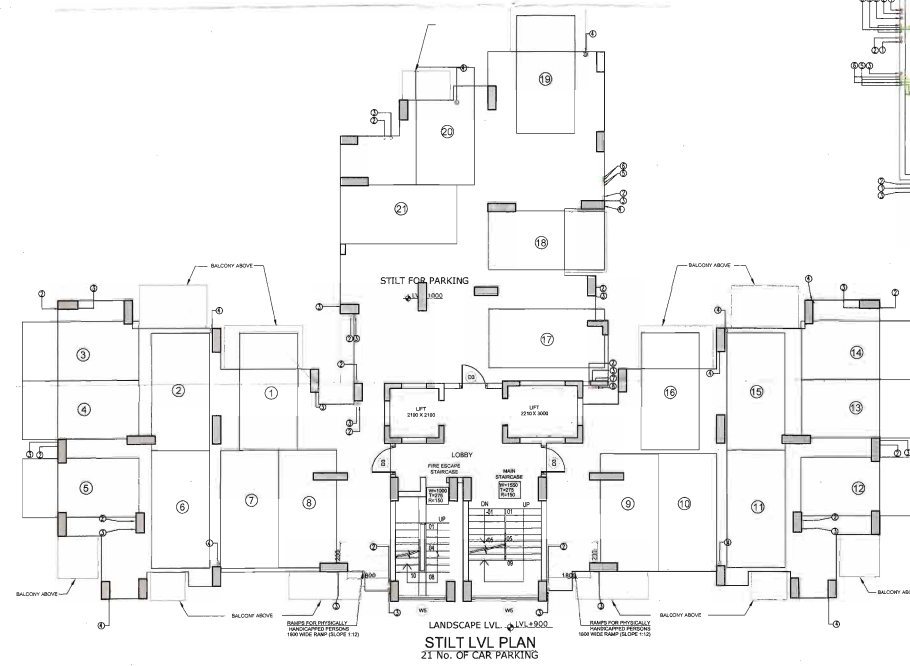
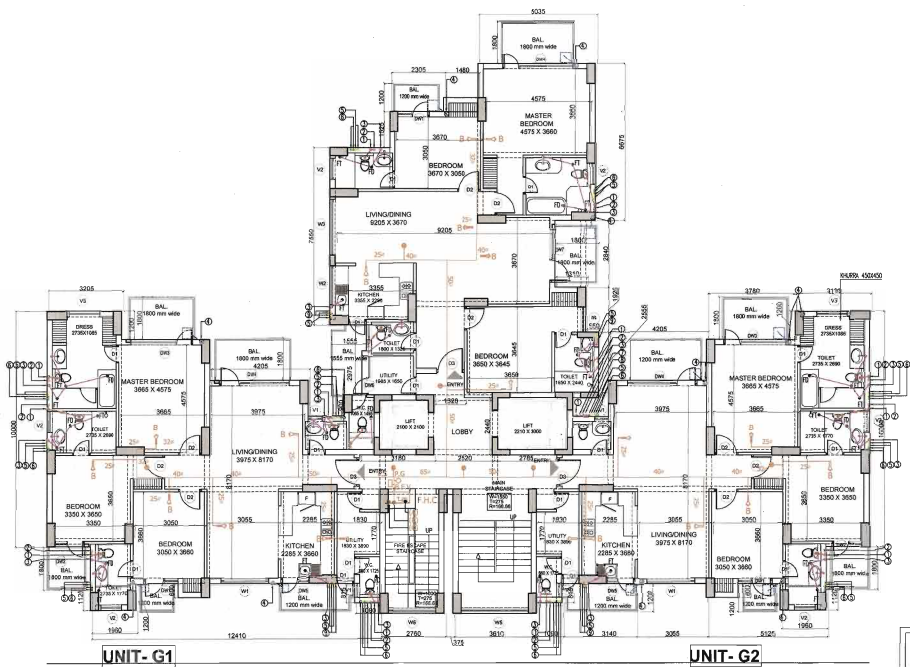
Project: CWSUBT-E,H,I-01

Date: 02/01/2017



LEGEND FOR FIRE FIGHTING

- FAK FIRE HOSE CASSET
- BEV BUTTER FLY VALVE
- CKV CHECK / NON-RETURN VALVE
- SPRINKLER
- EXTENDED SPRINKLER
- 2 Nos. CO2 CYLINDER 4.5KG CO2
- BEV BUTTER FLY VALVE
- CKV CHECK / NON-RETURN VALVE
- FLW FLOW SWITCH
- PG PRESSURE GAUGE
- 150M WETTERER PIPE WITH SMALL LANDING VALVE, F.A.R. JNGS, G.E.L. HOSE PIPE ONE NO. BRANCH PIPE
- 150M SPRINKLER PIPE
- 80M DRAIN PIPE



Architect (HQ)
 F.O. (HQ) DFS P.K.L. Member B.P.C.
 14/9/97
 BALWANT SIKKA S.D.

Checked and found ok for Public Health
 Internal Services only subject to comments in
 forwarding letter No. SEQ/10/.../31917
 14/9/97
 KEY PLAN
 91917

TABLE OF PIPES FOR PLUMBING SYSTEM

1. WASH BASIN TO FLOOR TRAP	3250
2. FLOOR DRAIN TO FLOOR TRAP	3000
3. URINAL TRAP TO VERTICAL PIPE	10000
4. FLOOR TRAP TO VERTICAL PIPE	10000
5. WC TO VERTICAL PIPE	10000

LEGEND FOR PLUMBING

S.NO.	SYMBOL	DESCRIPTION
1.	---	SEWERAGE LINE
2.	---	DRAINAGE LINE
3.	---	DRAINAGE CHAMBER 400X400MM
4.	---	INSPECTION CHAMBER 600X600MM
5.	---	GULLY TRAP 300X300MM

LEGEND FOR PLUMBING SYSTEM

S.N.	SYMBOL	DESCRIPTION
1.	---	1000 SOIL PIPE
2.	---	1000 WASTE PIPE
3.	---	1000 RAIN WATER PIPE
4.	---	C.W.S. COLD WATER SUPPLY
5.	---	F.W.S. FLOWING WATER SUPPLY
6.	---	350 CHROMIUM BRASS PIPE
7.	---	350 FLOWING ROSE PIPE
8.	---	FLOOR TRAP
9.	---	FLOOR DRAIN
10.	---	CLEAN OUT PLUG
11.	---	FILL WAT VALVE

S.NO. TYPE SIZE CHILL LAYTEL

1.	D1	750X2100	0	2100
2.	D2	1000X2100	0	2100
3.	F.S.	1000X2100	0	2100
4.	W1	2050X2100	0	2100
5.	W2	1850X2100	900	2100
6.	W3	2370X1200	0	2100
7.	W4	1080X2100	0	2100
8.	W5	2200X1000	0	2100
9.	DW1	1485X2100	0	2100
10.	DW2	1355X2100	0	2100
11.	DW3	2850X2100	0	2100
12.	DW4	3000X2100	0	2100
13.	DW5	1835X2100	0	2100
14.	DW6	1650X2100	0	2100
15.	DW7	2250X2100	0	2100
16.	V1	800X1200	900	2100
17.	V2	800X1200	900	2100
18.	V3	1305X1200	900	2100

REVISED SUBMISSION

TOWER - G&F

FLOOR PLANS

GROUP HOUSING
 COMPLEX AT VILLAGE - SIHI,
 SECTOR-84, GURGAON, HARYANA

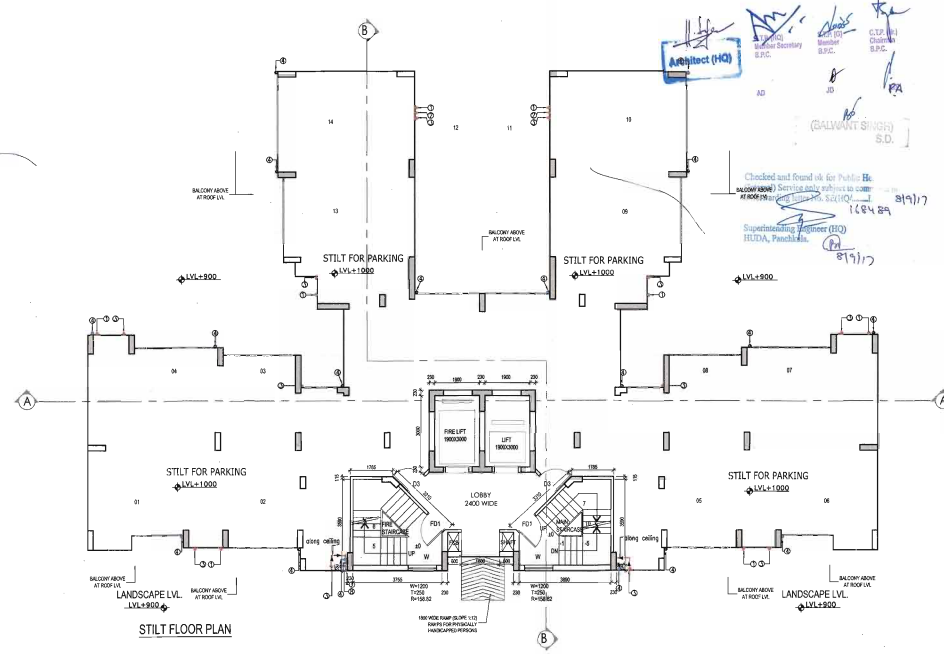
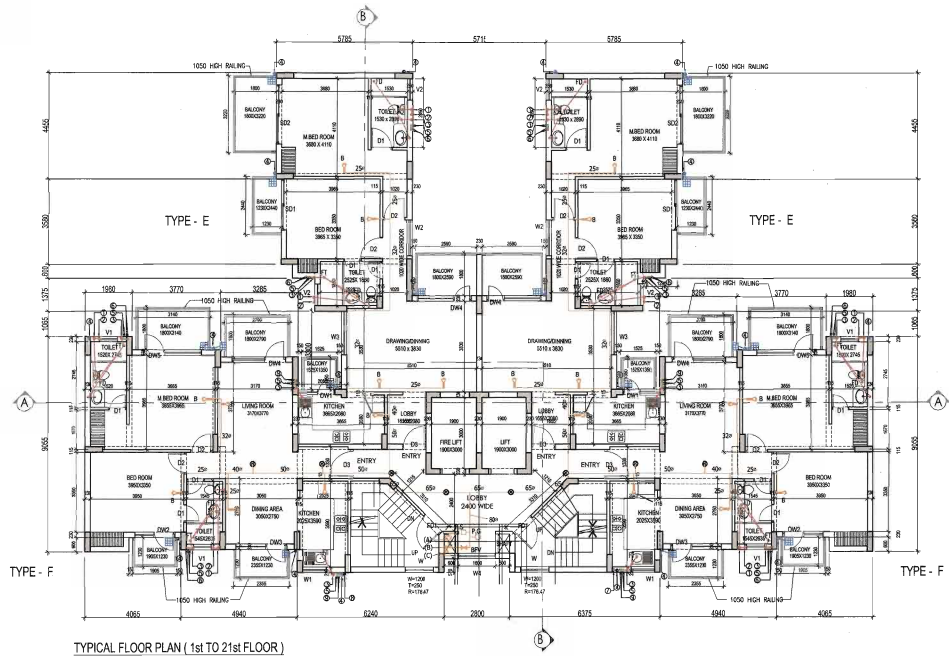


ARCHITECTS
SAA architecture
 master planning
 urban design
 interior design
 sikka associates architects project management
 42/01, Arora Anandapuri, Gurgaon, New Delhi-110029, India
 Tel: (011) 26114831, e-mail: ssa@saadonline.net, sika@saadonline.com

OWNER: M/S SS GROUP PVT. LTD.
 ARCHITECT: raman sikka
 Authorized Signatory
 REGN. No. 93/18497

scale: 1:100
 date: 02/01/2017
 sheet:

REVISED BUILDING PLAN OF GROUP
 HOUSING SCHEME MEASURING
 15.275 ACRES (LICENCE NO.
 59 OF 2008 DATED 04.02.2008)
 IN SECTOR-84, GURGAON, HARYANA
 URBAN COMPLEX BEING DEVELOPED
 BY M/S NORTH STAR APARTMENT PVT.
 LTD.



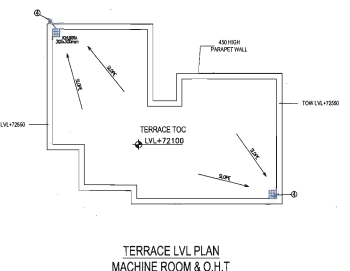
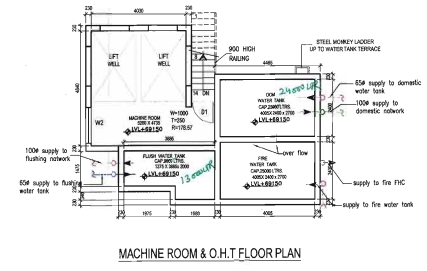
Architect (H/O)

Checked and Found ok for Public Use

Supervising Engineer (H/O)

18/11/17

TYPE	SIZE	C. LVL	L. LVL	REMARKS
D1	750x2100	+000	+2100	
D2	900x2100	+000	+2100	
D3	1000x2100	+000	+2100	
W1	1000x1500	+000	+2400	
W2	1500x1500	+000	+2400	
W3	1800x1500	+000	+2400	
W4	1600x1500	+000	+2400	
V1	750x900	+1500	+2400	
V2	900x900	+1500	+2400	
AS/CL/CL/CL/CL/CL/CL				AS/VEILATION
FD1	1000x2100	+000	+2100	FIRE RATED DOOR
DW1	1570x2400	+000/+000	+2400	DOOR/WINDOW
DW2	1700x2400	+000/+000	+2400	DOOR/WINDOW
DW3	2150x2400	+000/+000	+2400	DOOR/WINDOW
DW4	2270x2400	+000/+000	+2400	DOOR/WINDOW
DW5	2450x2400	+000/+000	+2400	DOOR/WINDOW



REVISED BUILDING PLAN OF GROUP HOUSING SCHEME MEASURING 15-875 ACEE (LICENCE NO-54 OF 2008 DATED 19.3.2008) IN SECTOR-84, GURGAON, HARYANA URBAN COMPLEX BEING DEVELOPED BY M/S NORTH STAR DEVELOPMENT PVT. LTD.

REVISED SUBMISSION

TOWER - J
STILT FLOOR PLAN
TYPICAL FLOOR PLAN
TERRACE, MACHINE ROOM PLAN

GROUP HOUSING COMPLEX AT VILLAGE - SIHI, SECTOR-84, GURGAON, HARYANA.

M/S SS GROUP PVT.LTD.

ARCHITECTS: **SAA** - architecture, master planning, urban design, interior designing, silks associates architects - project management

OWNER: **FOR SS GROUP PVT. LTD.**

ARCHITECT: **RAMAN SIKKA**

scale: 1:100
date: 02/01/2017
dept:

LEGEND FOR FIRE FIGHTING

- F.H.C. FIRE HOSE CABINET
- B.F.V. BUTTER FLY VALVE
- C.W. CHECK/ NON-RETURN VALVE
- S.S. SPRINKLER INLET SIGNAL
- P.F. PREVENT PIPE SPRINKLER MINIMUM INLET 25mm
- A EXTENDED SIDEWALL SPRINKLER INLET 25mm
- 2 INCH CO2 CINDER 4.5M. CAP.
- B.F.V. BUTTER FLY VALVE
- C.V. CHECK/ NON-RETURN VALVE
- F.S. FLOW SWITCH
- P.G. PRESSURE GAUGE
- 150W METRESE PIPE WITH SINGLE LANDING VALVE, FAIR ZONE W/EL. HEADS PER ONE NO. BRANCH PIPE
- 150W SPRINKLER PIPE
- 80W DRAIN PIPE

LEGEND FOR PLUMBING

- 1000 C.I. SOIL VERTICAL PIPE
- 75# C.I. VENT VERTICAL PIPE
- 1000 C.I. WASTE VERTICAL PIPE
- 1000 RAIN WATER VERTICAL PIPE
- DOMESTIC WATER SUPPLY PIPE
- DOMESTIC WATER SUPPLY RISER
- FLUSHING WATER SUPPLY RISER
- HOT WATER SUPPLY PIPE
- DOMESTIC WATER SUPPLY
- FLUSHING WATER SUPPLY LINE
- HOT WATER SUPPLY LINE
- DOMESTIC WATER RISER LINE
- FLUSHING WATER RISER LINE
- BUTTER FLY VALVE
- FLOOR TRAP
- FLOOR DRAIN
- RAIN WATER KHURRA (300X300MM)

