

BR-III
(See Code 14 (III))
Form of Sanction

From

Director General,
Town & Country Planning Department,
Haryana, Chandigarh.
SCO-71-75, Sector-17-C, Chandigarh.
Tele-Fax: 0172-2548475; Tel.: 0172-2549851,
E-mail: tcpharyana2@gmail.com
Website www.tcpharyana.gov.in

To

Smt. Ajit Kaur & others,
C/o Raheja Developers Ltd.,
#406, 4th Floor, Rectangle One,
D-4, District Centre, Saket,
New Delhi-110017.

Memo No. ZP-1051/SD(BS)/2016/ 114. Dated:- 02-01-2017

Subject: Approval of building plans of Tower-A, B, C, D, EWS, Commercial, Community & Changing Room, Community (Tower-A, B, C & D) & Nursery School-1 in Group Housing Colony measuring 12.48675 acres (Licence No. 64 of 2013 dated 20.07.2013 & Licence No. 72 of 2014 dated 01.08.2014) in Sector-99-A, Gurgaon Manesar Urban Complex being developed by Smt. Ajit Kaur & others in collaboration with Raheja Developers Pvt. Ltd.

Reference your application dated 19.11.2014 & 10.10.2016 for permission to erect the buildings in Group Housing Colony measuring 12.48675 acres (Licence No. 64 of 2013 dated 20.07.2013 & Licence No. 72 of 2014 dated 01.08.2014) in Sector-99-A, Gurgaon Manesar Urban Complex being developed by Smt. Ajit Kaur & others in collaboration with Raheja Developers Pvt. Ltd. in accordance with the plans submitted with it.

Permission is hereby granted for the aforesaid construction subject to the provisions of the respective Acts and Haryana Building Code-2016 subject to the following amendments, terms and conditions:-

1. The plans are valid for a period of 2 years of the buildings less than 15.00 meters in height and 5 years for the multistoried buildings from the date of issuance of sanction, subject to validity of licenses granted for this scheme.
2. The structural responsibility of the construction shall be entirely of the owner/ supervising architect/ Engineer of the scheme.

Further that: -

- a) The building shall be constructed in accordance to the Structure Design by Structure Engineer and certified by Proof Consultant on prescribed FORM BR-V(A2).
- b) All material to be used for erection of building shall conform to I.S.I. and N.B.C. standards.

- c) No walls/ceiling shall be constructed of easily inflammable material and staircases shall be built of the fire resisting material as per standard specification.
- d) The roof slab of the basement external to the buildings if any shall be designed/ constructed to take the load of fire tender up to 45 tones.

3. FIRE SAFETY:

- (i) The colonizer and the Supervising Architect of the project shall be entirely responsible for making provisions of fire safety and fire fighting measures and shall abide by all fire safety bye laws.
- (ii) That you shall get approved the fire fighting scheme in accordance with the section 15 of The Haryana Fire Safety Act 2009 and directions issued by the Director, Haryana Fire Services, Haryana, before starting the construction work at site.

4. The provision of letter boxes for each dwelling unit shall be made at the ground floor of each building.
5. No addition and alteration in the building plans/ layout plan shall be made without the prior approval of DG,TCP. Further only figured dimensions shall be followed and in case of any variation in the plans, prior approval of DG,TCP shall be pre-requisite.
6. That you shall furnish the service plan/ estimate of this scheme in accordance with approved building plans.
7. Based on the actual estimated cost of internal development of the commercial colony you shall furnish additional bank guarantee, if required.
8. The revenue Rasta if any passing through the site shall be kept unobstructed.
9. If any infringement of byelaws remains unnoticed, the Department reserves the right to amend the plan as and when any such infringement comes to its notice after giving an opportunity of being heard and the Department shall stand indemnified against any claim on this account.
10. The layout showing the electric installation shall have to be got approved from the competent authority before execution of work at site.
11. No person shall occupy or allow any other person to occupy any new building and before grant of occupation certificate, you shall apply for occupation certificate as per the provisions of Code 23 (1) of the Haryana Building Code-2016 which shall be accompanied by certificates regarding completion of works described in the plans and it shall be accompanied by:
 - (i) DPC certificate issued by DTP.
 - (ii) Structural stability certificate duly signed by the recognized Architect & Structural Engineer.
 - (iii) A clearance from Fire Safety point of view from the competent authority.


12. The basements shall be used for parking and services as prescribed in the approved zoning plan and building plans. The parking lots proposed in the scheme shall be exclusively for the use of flat owners/residents of the group housing scheme. The parking lot shall not be leased out /transferred to any person who is not a flat owners /residents of the group housing complex.
13. You shall comply with the conditions laid down in the Memo No. 127067 dated 07.12.2016 of Superintending Engineer (HQ), HUDA, Panchkula (copy enclosed).
14. GENERAL: -
 - (i) That the coloniser/owner shall obtain the clearance/NOC as per the provisions of the Notification No. S.O. 1533 (E) Dated 14.9.2006 issued by Ministry of Environment and Forest, Government of India before starting the construction/execution of development works at site.
 - (ii) That the rain water harvesting system shall be provided as per Central Ground Water Authority norms/Haryana Govt. notification as applicable.
 - (iii) That the coloniser/owner shall use only Light-Emitting Diode lamps (LED) fitting for internal lighting as well as Campus lighting.
 - (iv) That the coloniser/owner shall strictly comply with the directions issued vide Notification No. 19/6/2016-5P dated 31.03.2016 issued by Haryana Government Renewable Energy Department.
 - (v) That coloniser/owner shall ensure the installation of Solar Power Plant as per provisions of Haryana Solar Power Policy, 2016 issued by Haryana Government Renewable Energy Department vide Notification No. 19/4/2016-5 Power dated 14.03.2016.
 - (vi) That the coloniser/owner shall ensure the installation of Solar Photovoltaic Power Plant as per the provisions of order No. 22/52/2005-5Power dated 21.03.2016 issued by Haryana Government Renewable Energy Department.
 - (vii) That you shall submit the scanned copy of the approved building plans of this scheme to this office from the issuance of this letter.
 - (viii) That you shall deposit the labour cess in future, time to time as per construction of work done at site.
 - (ix) That if any, site for Electric Sub Station is required, same will be provided by you in the colony.
 - (x) That you shall abide by the policies issued by the Department regarding allotment of EWS flats from time to time.
 - (xi) That provision of parking shall be made within the area earmarked /designated for parking in the colony and no vehicle shall be allowed to park outside the premises.

(xii) That you shall follow provisions of section 46 of 'The Persons with Disabilities (Equal Opportunities, protection of Rights and full Participation) Act, 1995' which includes construction of Ramps in public buildings, adaption of toilets for wheel chair users, Braille symbols and auditory signals in elevators or lifts and other relevant measures for Hospitals, Primary Health Centre and other medical care and rehabilitation units.

15. That you shall strictly comply with the directions of MOEF Guidelines, 2010 while raising construction and comply with the instructions of Director General, Town & Country Planning, Haryana, Chandigarh issued vide order dated 14.05.2015 and is also available on the Departmental Website www.tcpharyana.gov.in.
16. That the Service Plans/Estimates for electrical infrastructure shall be submitted to the concerned authority and submit the approval of the same to the Department before applying the completion certificate of the colony under Rule-16 of the Haryana Development and Regulation of Urban Areas Rules, 1976.

This sanction will be void abnatio, if any of the conditions mentioned above are not complied with.

DA/One set of Building Plans



(Ravi Sihag)
District Town Planner (HQ),
Member Secretary,
For: Chief Town Planner, Haryana-cum- Chairman,
Building Plan Approval Committee.

Memo No. ZP-1051/SD(BS)/2016/_____ Dated:-_____

A copy is forwarded to the following for information: -

1. Haryana State Pollution Control Board, Panchkula with the request that the compliance of the instructions issued by NGT shall be monitored and strict compliance to be ensured.
2. Administrator, HUDA, Gurgaon.
3. Senior Town Planner, Gurgaon.
4. Superintending Engineer (HQ) HUDA, Panchkula.
5. District Town Planner, Gurgaon, along with one set of Building Plans.
6. District Town Planner (Enf.), Gurgaon.
7. Nodal Officer, Website Updation.

Encl: as above


(Ravi Sihag)
District Town Planner (HQ),
Member Secretary,
For: Chief Town Planner, Haryana-cum- Chairman,
Building Plan Approval Committee.

NOTE:

- 1. ALL DIMENSIONS ARE IN MILLIMETERS & LEVELS IN METERS. SCALE THE DRAWING WORK TO WRITTEN DIMENSIONS ONLY.
- 2. ALL DIMENSIONS ARE INDICATIVE FOR DIMENSIONS ONLY.
- 3. ALL STRUCTURAL MEMBERS ARE INDICATIVE FOR DIMENSIONS ONLY.
- 4. SIZES OF R/W PIPES SHOULD BE REVIEWED AS PER RAINFALL DATA.
- 5. FOR ALL MANHOLE CONNECTION REFER SITE PLAN.




PROJECT

PROPOSED BUILDING PLAN OF ADDITIONAL LAND DATED 01-08-2014 (ADJOINING TO ALREADY LICENSED GRANTED AREA OF GROUP HOUSING SCHEME 2017) DATED 20/07/2019. TOTAL AREA 12.4879 ACRES IN SEC-99A, GURGAON METEOR URBAN COMPLEX IN COLLABORATION WITH HANVEJA DEVELOPERS LTD.

OWNER'S SIGNATURE


 HANVEJA DEVELOPERS LTD.
 16/2003/2021

ARCHITECT


 NEHA VERMA
 16/2003/2021

DRAWING TITLE

**TERRACE FLOOR PLAN
 (GROUND COVERAGE
 & AREA DIAGRAM DETAILS)**

SCALE

1:100

DRAWN BY

NEHA VERMA

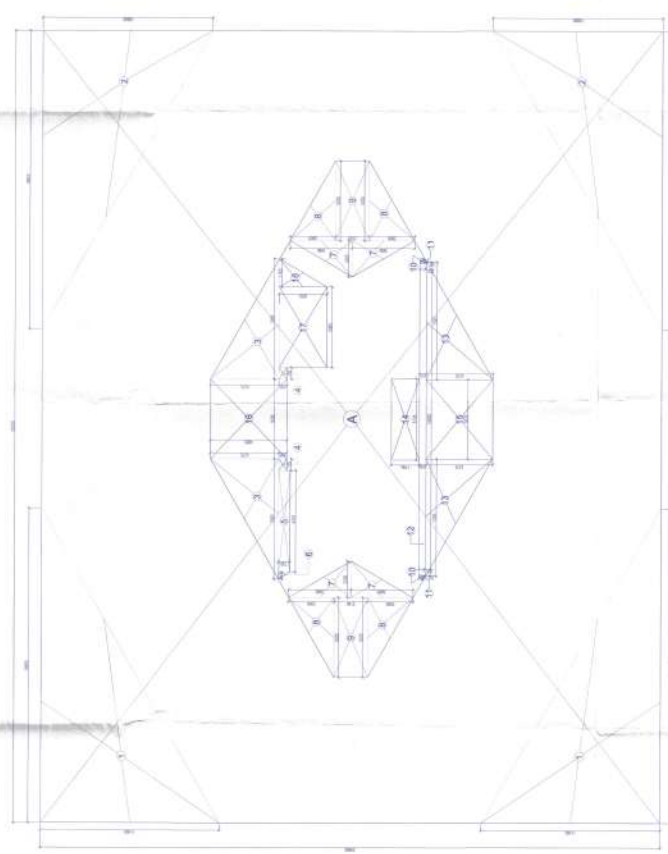
DATE

28/10/2016

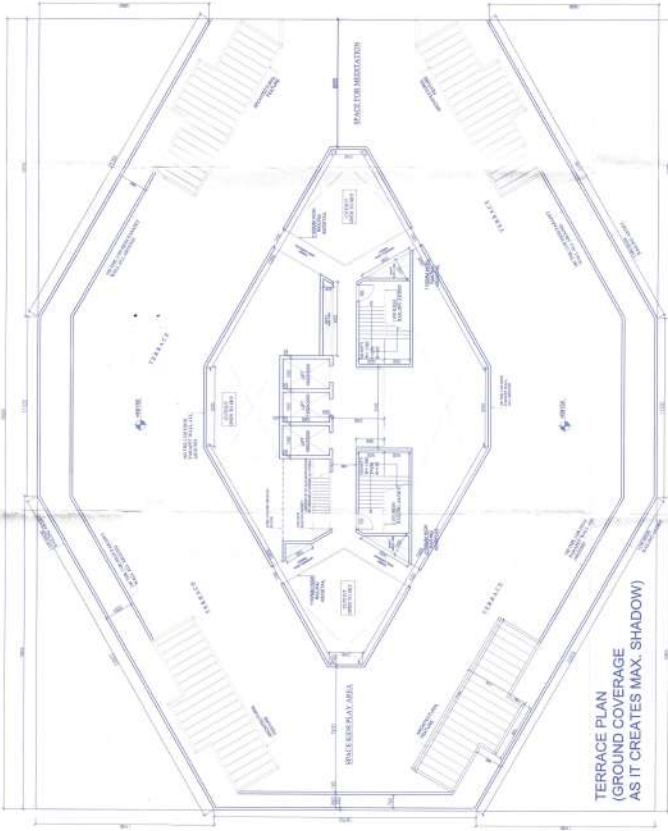
REVISION

DRAWING NO



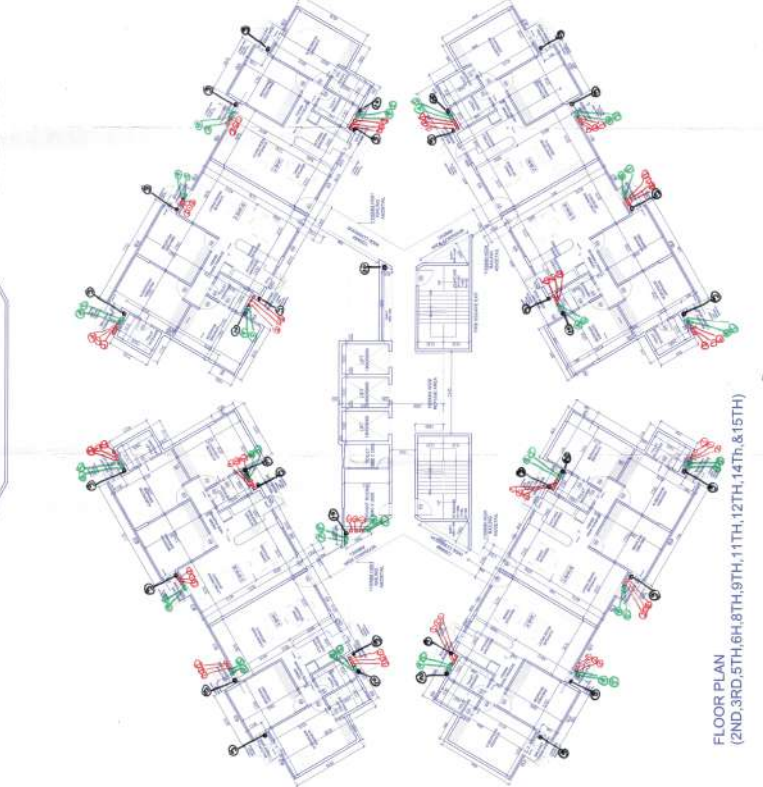
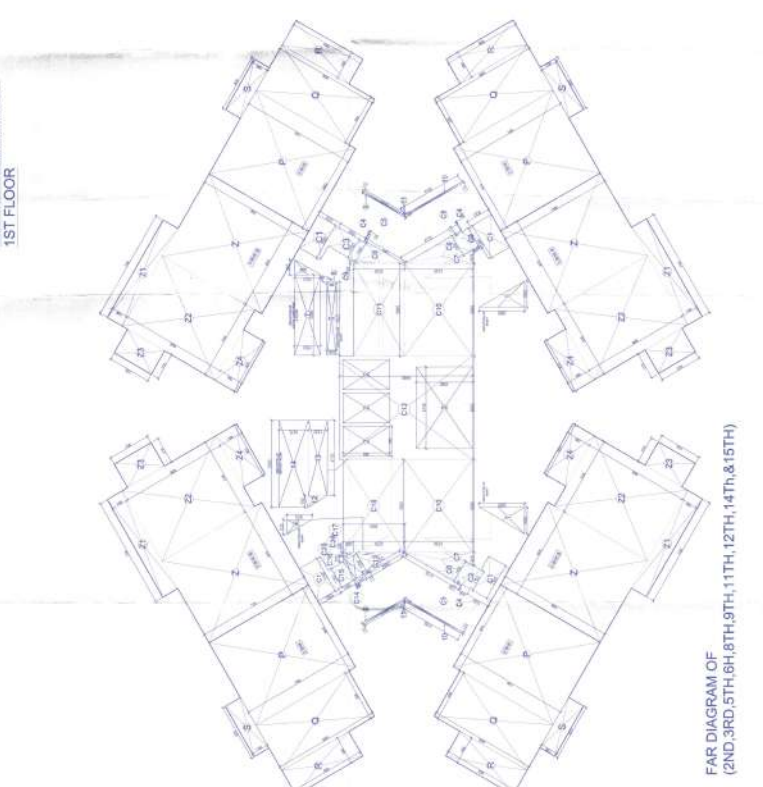
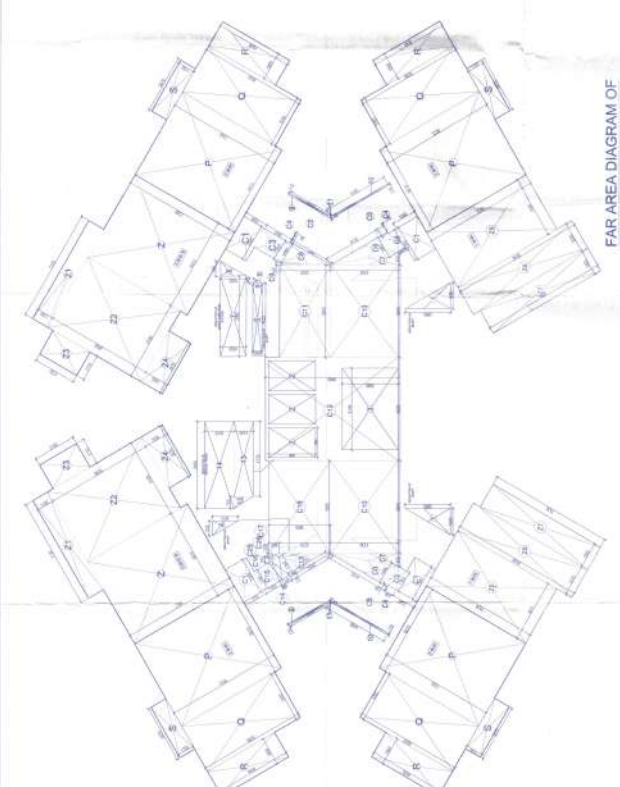



AREA DIAGRAM OF GROUND COVERAGE



TERRACE PLAN (GROUND COVERAGE AS IT CREATES MAX. SHADOW)

- 1. ALL DIMENSIONS ARE IN MILLIMETERS & LEVELS IN METERS.
- 2. DIMENSIONS IN THE DRAWINGS WORK TO WRITTEN DIMENSIONS ONLY.
- 3. ALL STRUCTURAL MEMBERS ARE INDICATIVE. FOR EXACT DIMENSIONS AND CONNECTIONS REFER TO THE SPECIFICATIONS.
- 4. SIZE OF RAINPITS SHOULD BE REVIEWED AS PER RAINFALL DATA.
- 5. ALL MANHOLE CONNECTIONS REFER TO SITE PLAN.



PROJECT
 PROPOSED BUILDING PLAN FOR ADDITIONAL LAND DEVELOPMENT IN THE CITY OF GURGAON, HARYANA, INDIA. THE PROJECT IS A GROUP HOUSING SCHEME IN THE AREA OF GURGAON, HARYANA, INDIA. THE PROJECT AREA IS APPROXIMATELY 1000 SQ. METERS. THE PROJECT IS A GROUP HOUSING SCHEME IN THE AREA OF GURGAON, HARYANA, INDIA. THE PROJECT AREA IS APPROXIMATELY 1000 SQ. METERS.

OWNER'S SIGNATURE ARCHITECT
 FOR (SHEKHAR SINGH) ARCHITECTS
 SHEKHAR SINGH
 ARCHITECT
 101, SECTOR 14, GURGAON, HARYANA, INDIA

DRAWING TITLE
1ST, 2ND, 3RD, 5TH, 6TH, 8TH, 9TH, 11TH, 12TH, 14TH, & 15TH FLOOR PLAN, FAR DETAILS & AREA DIAGRAM DETAILS

SCALE DRAWN BY NORTH
 1:100 NEHA VERMA

DATE REVISION DRAWING NO
 28.10.2016

- 1. ALL DIMENSIONS ARE IN MILLIMETERS & LEVELS IN METERS.
- 2. SCALE: THE DRAWING WORK TO WRITTEN DIMENSIONS ONLY.
- 3. ALL STRUCTURAL MEMBERS ARE INDICATIVE FOR REFERENCE ONLY. ALL DIMENSIONS AND FINISHES TO BE REVIEWED AS PER RAINFALL DATA.
- 4. ALL DIMENSIONS AND FINISHES TO BE REVIEWED AS PER RAINFALL DATA.
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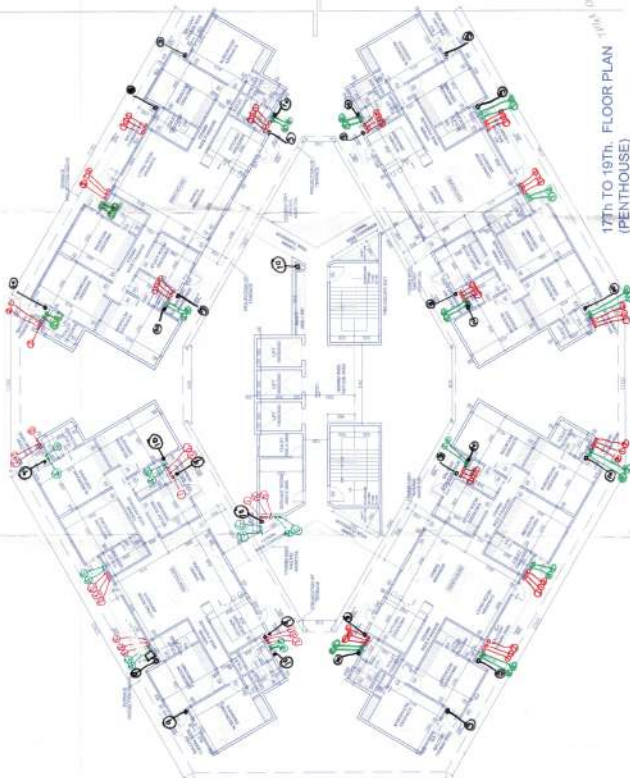
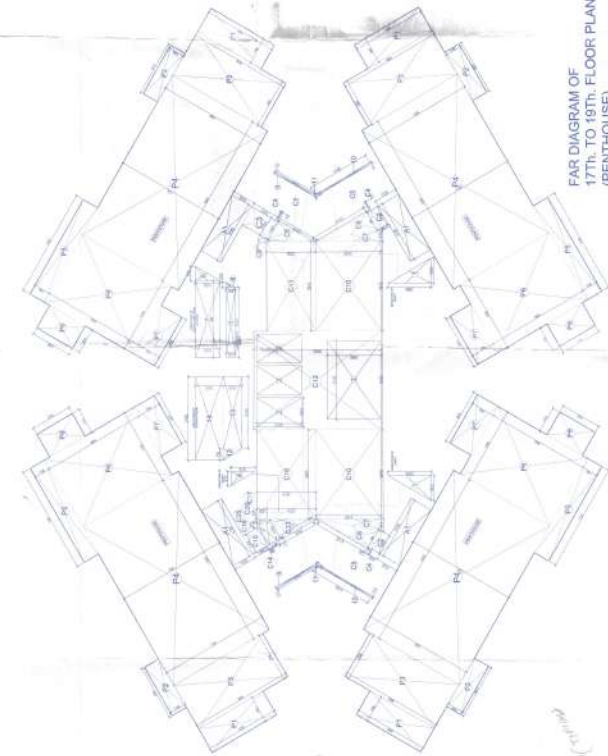
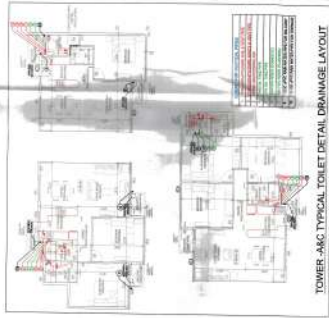
PROJECT
 PROPOSED BUILDING PLAN OF ADDITIONAL LAND DATED 01-08-2019 ACCORDING TO ALREADY LICENSED GRANTED AREA OF GROUP HOUSING SCHEME IN SEC. 86-A, DURGAM CHAKERI URBAN COMPLEX (IN SEC. 86-A, DURGAM CHAKERI URBAN COMPLEX) IN COLLABORATION WITH MAHEJA DEVELOPERS LTD.

OWNER'S SIGNATURE
 ARCHITECT
 MAHEJA DEVELOPERS LTD.
 100/101, 102/103, 104/105, 106/107, 108/109, 110/111, 112/113, 114/115, 116/117, 118/119, 120/121, 122/123, 124/125, 126/127, 128/129, 130/131, 132/133, 134/135, 136/137, 138/139, 140/141, 142/143, 144/145, 146/147, 148/149, 150/151, 152/153, 154/155, 156/157, 158/159, 160/161, 162/163, 164/165, 166/167, 168/169, 170/171, 172/173, 174/175, 176/177, 178/179, 180/181, 182/183, 184/185, 186/187, 188/189, 190/191, 192/193, 194/195, 196/197, 198/199, 200/201, 202/203, 204/205, 206/207, 208/209, 210/211, 212/213, 214/215, 216/217, 218/219, 220/221, 222/223, 224/225, 226/227, 228/229, 230/231, 232/233, 234/235, 236/237, 238/239, 240/241, 242/243, 244/245, 246/247, 248/249, 250/251, 252/253, 254/255, 256/257, 258/259, 260/261, 262/263, 264/265, 266/267, 268/269, 270/271, 272/273, 274/275, 276/277, 278/279, 280/281, 282/283, 284/285, 286/287, 288/289, 290/291, 292/293, 294/295, 296/297, 298/299, 300/301, 302/303, 304/305, 306/307, 308/309, 310/311, 312/313, 314/315, 316/317, 318/319, 320/321, 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- 1. ALL DIMENSIONS ARE IN MILLIMETERS & LEVELS IN METERS.
- 2. DO NOT SCALE THE DRAWING. WORK TO WRITTEN DIMENSIONS.
- 3. ALL STRUCTURAL MEMBERS ARE INDICATIVE FOR EXACT SIZES REFER BTR DRAWINGS.
- 4. ALL DIMENSIONS SHOULD BE REVIEWED AS PER RAMP ALL DATA.
- 5. FOR ALL MANHOLE CONNECTION REFER SITE PLAN.



NOTED
 1. Refer to the drawing for details.
 2. Refer to the drawing for details.



PROJECT
 PROPOSED BUILDING PLAN OF ADDITIONAL LAND AT THE SITE OF THE GROUP HOUSING SCHEME DATED 01/09/2013 ACCORDING TO ALBERTA LICENSED LIMITED AREA OF GROUP HOUSING SCHEME (IN SEC. 95A, SURROUND MANHASA URBAN COMPLEX 2013 DATED 2013/2013) TOTAL AREA 12.4878 ACRES IN COLLABORATION WITH PAMELA DEVELOPERS LTD.

OWNER'S SIGNATURE
 ARCHITECT
 PAMELA DEVELOPERS LTD.
 10000 10th Avenue, Suite 100
 Edmonton, Alberta T5C 1H4
 Phone: 780.443.8888
 Fax: 780.443.8889

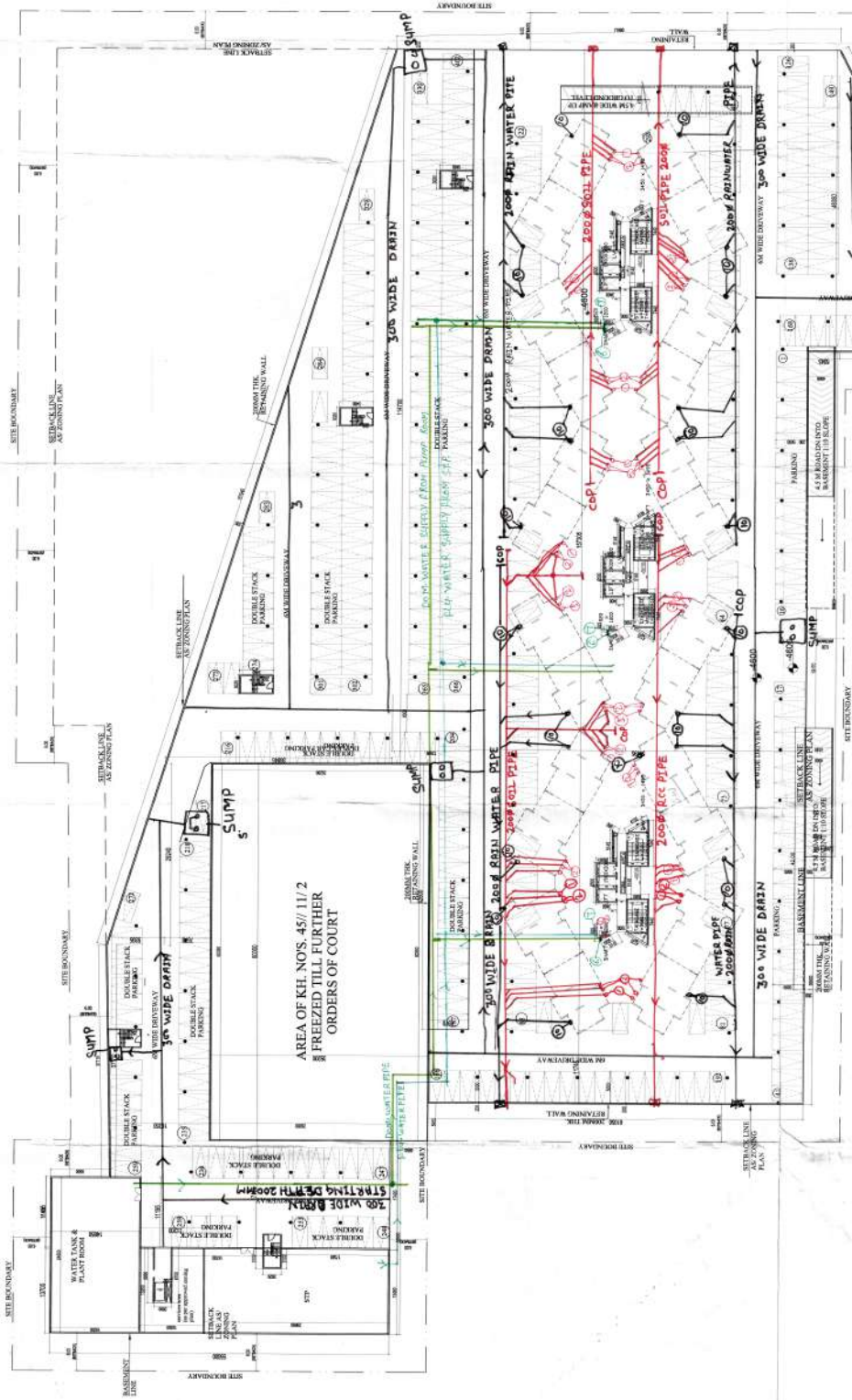
DRAWING TITLE
 17TH TO 19TH FLOOR PLAN/FAR DETAILS & AREA DIAGRAM DETAILS

SCALE	DRAWN BY	BOOTH
1:100	NEHA VERMA	
DATE	REVISION	DRAWING NO
28.10.2016		AA/19

NOTE:
 1. ALL DIMENSIONS ARE IN MILLIMETERS & LEVELS IN METERS.
 2. DO NOT SCALE THE DRAWING. WORK TO WRITTEN DIMENSIONS ONLY.
 3. ALL STRUCTURAL MEMBERS ARE INDICATIVE FOR INFORMATION ONLY. ALL DIMENSIONS SHOULD BE REVIEWED AS PER RAINFALL DATA.
 4. FOR ALL MANHOLE CONNECTION REFER SITE PLAN.



— SOIL PIPE 200mm
 — RAIN WATER PIPE 200mm
 — 300 WIDE DRAIN CHANNEL



PROJECT
 PROPOSED BUILDING PLAN OF ADDITIONAL LAND MEASURING 2.3065 ACRES LICENSE 72 OF 2014 DATED 01-08-2014 ACCORDING TO ALREADY LICENSE MEASURING 10.0825 ACRES LICENSE NO. 84 OF 2013 DATED 20-07-2013 TOTAL AREA 12.4890 ACRES. THE PROJECT IS BEING DEVELOPED BY SMT. NITTA AND COMPANY IN COLLABORATION WITH RAJEEVA DEVELOPERS LTD.

OWNER'S SIGNATURE ARCHITECT

DRAWING TITLE
 BASEMENT PLAN (PART-A)

SCALE DRAWN BY NORTH
 1:250 MALLIKARJUN

DATE REVISION DRAWING NO
 28.10.2016

PROVIDED PARKING	617
SINGLE PARKING=	402
DUPLEX PARKING=	215

NOTE:

1. ALL DIMENSIONS ARE IN MILLIMETERS & LEVELS IN METERS.
2. SCALE THE DRAWING. WORK TO WRITTEN DIMENSIONS ONLY.
3. ALL STRUCTURAL MEMBERS ARE INDICATIVE. FOR EXACT SIZES REFER STR. DRAWINGS.
4. ALL DIMENSIONS SHOULD BE REVIEWED AS PER RAINFALL DATA.
5. FOR ALL MAINHOLE CONNECTION REFER SITE PLAN.

BASEMENT PLAN (PART-A)	
TOTAL FLOOR AREA (S.F.)	
A	11.00
B	11.00
C	11.00
D	11.00
E	11.00
F	11.00
G	11.00
H	11.00
I	11.00
J	11.00
K	11.00
L	11.00
M	11.00
N	11.00
O	11.00
P	11.00
Q	11.00
R	11.00
S	11.00
T	11.00
U	11.00
V	11.00
W	11.00
X	11.00
Y	11.00
Z	11.00
AA	11.00
AB	11.00
AC	11.00
AD	11.00
AE	11.00
AF	11.00
AG	11.00
AH	11.00
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AK	11.00
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AN	11.00
AO	11.00
AP	11.00
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AS	11.00
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BK	11.00
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CK	11.00
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CN	11.00
CO	11.00
CP	11.00
CQ	11.00
CR	11.00
CS	11.00
CT	11.00
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CV	11.00
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DT	11.00
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EG	11.00
EH	11.00
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EJ	11.00
EK	11.00
EL	11.00
EM	11.00
EN	11.00
EO	11.00
EP	11.00
EQ	11.00
ER	11.00
ES	11.00
ET	11.00
EU	11.00
EV	11.00
EW	11.00
EX	11.00
EY	11.00
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FX	11.00
FY	11.00
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SE	11.00
SF	11.00
SG	11.00
SH	11.00
SI	11.00
SJ	11.00
SK	11.00
SL	11.00
SM	11.00
SN	11.00
SO	11.00
SP	11.00
SQ	11.00
SR	11.00
SS	11.00
ST	11.00
SU	11.00
SV	11.00
SW	11.00
SX	11.00
SY	11.00
SZ	11.00
TA	11.00
TB	11.00
TC	11.00
TD	11.00
TE	11.00
TF	11.00
TG	11.00
TH	11.00
TI	11.00
TJ	11.00
TK	11.00
TL	11.00
TM	11.00
TN	11.00
TO	11.00
TP	11.00
TQ	11.00
TR	11.00
TS	11.00
TT	11.00
TU	11.00
TV	11.00
TW	11.00
TX	11.00
TY	11.00
TZ	11.00
UA	11.00
UB	11.00
UC	11.00
UD	11.00
UE	11.00
UF	11.00
UG	11.00
UH	11.00
UI	11.00
UJ	11.00
UK	11.00
UL	11.00
UM	11.00
UN	11.00
UO	11.00
UP	11.00
UQ	11.00
UR	11.00
US	11.00
UT	11.00
UU	11.00
UV	11.00
UW	11.00
UX	11.00
UY	11.00
UZ	11.00
VA	11.00
VB	11.00
VC	11.00

1. ALL DIMENSIONS ARE IN MILLIMETERS.
2. LEVEL IS AS SHOWN.
3. ALL WORKING SHALL BE IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF INDIA.
4. ALL DIMENSIONS ARE IN MILLIMETERS.
5. ALL DIMENSIONS ARE IN MILLIMETERS.
6. ALL DIMENSIONS ARE IN MILLIMETERS.
7. ALL DIMENSIONS ARE IN MILLIMETERS.
8. ALL DIMENSIONS ARE IN MILLIMETERS.
9. ALL DIMENSIONS ARE IN MILLIMETERS.
10. ALL DIMENSIONS ARE IN MILLIMETERS.

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	25.10.2016
2	ISSUED FOR PERMIT	25.10.2016
3	ISSUED FOR PERMIT	25.10.2016
4	ISSUED FOR PERMIT	25.10.2016
5	ISSUED FOR PERMIT	25.10.2016
6	ISSUED FOR PERMIT	25.10.2016
7	ISSUED FOR PERMIT	25.10.2016
8	ISSUED FOR PERMIT	25.10.2016
9	ISSUED FOR PERMIT	25.10.2016
10	ISSUED FOR PERMIT	25.10.2016

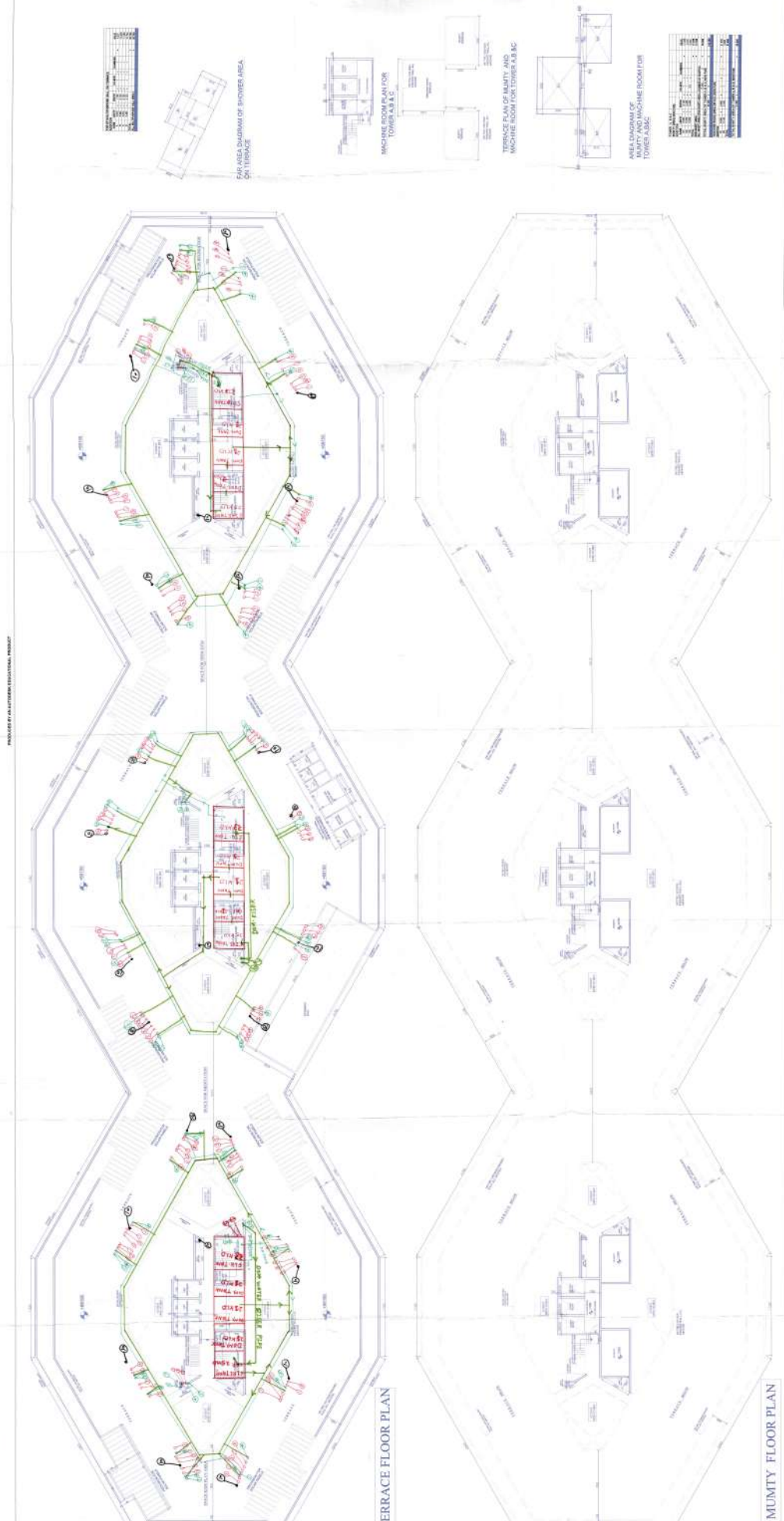
PROJECT:
 PROPOSED BUILDING PLAN OF
 TOWER A, B & C
 ACRES LICENSE 12 OF 2014 DATED
 01-08-2014 (ADJOINING TO ALREADY
 LICENSED GRANTED AREA OF GROUP
 LICENSE NO. 64 OF 2013 DATED
 20-07-2013) TOTAL AREA 12,48,673
 SQ. METERS (3,00,000 SQ. FEET)
 ACRES IN SEC-39-A, GURGAON
 DEVELOPED BY SMT. AJIT KAUR AND
 OTHERS IN COLLABORATION WITH
 RAHEJA DEVELOPERS LTD

DRAWING TITLE:
**TERRACE FLOOR PLAN,
 FOR TOWER A, B & C,
 MUMTY AREA DIAGRAM**

OWNER'S SIGNATURE ARCHITECT
 RAHEJA DEVELOPERS LTD
 RAHEJA ARCHITECTS
 RAHEJA DEVELOPERS LTD
 RAHEJA ARCHITECTS
 RAHEJA DEVELOPERS LTD
 RAHEJA ARCHITECTS

SCALE	DRAWN BY	DRAWING NO.
1:100	MEHA VERMA	TP-01
DATE	REVISION	MONTH
25.10.2016		

GRAPHICAL SCALE
 1:1000
 1:500
 1:250
 1:100
 1:50
 1:25
 1:10
 1:5
 1:2



TERRACE FLOOR PLAN

MUMTY FLOOR PLAN

PROPOSED BY RAHEJA DEVELOPERS LTD

DESIGNED BY RAHEJA ARCHITECTS