

Checked subject to comments in forwarding letter No. 111-9-8-01 dated 11-10-2013 and notes attached with the estimate.

Executive Engineer (W) for Chief Engineer HUDA Panchnasik

Director of Town & Country Planning, Haryana, Chandigarh



ABSTRACT		
TOTAL SITE AREA	=	11.1250 Acres 45021.206 sqm
SITE AREA for Calculation	=	10.2850 Acres 41621.852 sqm
FAR Permitted @175	=	17.999 Acres 72838.241 sqm

No. of D.U.'s per TOWER	DETAILS OF MAIN D.U.'s PROPOSED						Total Main D.U.'s
	TOWER-1 TYPE-BC	TOWER-2 TYPE-BC	TOWER-3 TYPE-A	TOWER-4 TYPE-B & C	TOWER-5 TYPE-B & C	TOWER-6, TYPE-A ROW HOUSE	
84	80	46	80	84	48	6	428
Total	84	80	46	80	84	6	

PROPOSED POPULATION			
428	Population of Main Units	@ 5 person per unit	2140 persons
43	Population of Service Personnel	@ 2 person per unit	86 persons
76	Population of EWS Units	@ 2 person per unit	152 persons
TOTAL POPULATION			2378 persons

CONVENIENT SHOPPING		
REQUIRED	PROPOSED	
Convenient Shopping @ 0.5% of Site Area	208.11 sqm	= 200.990 sqm
TOTAL		= 200.990 sqm

PARAMETERS		
PARAMETER	PERMISSIBLE	PROPOSED
Ground Coverage	35.0% = 14567.648 sqm	7254.393 sqm 17.43%
F.A.R.	175 = 72838.241 sqm	72381.486 sqm 173.90
No. of Main Units		428 nos.
No. of EWS units	(15% of Main D.U.'s)	76 nos.
<b>TOTAL UNITS</b>		<b>504 nos.</b>
No. of Service Personnel	(10% of Main D.U.'s)	43 nos.
Population	300.0 PPA	231.21 PPA
Organised Greens	15% = 6243.278	11672.673 sqm
Convenient Shopping	(0.5% of Site Area) = 208.109	200.990 sqm
Car Parking	1.5 per Main D.U. = 642 nos.	895 ECS
Covered Car Parking	75% of Total Required = 482 nos.	742 ECS

- NOTES**
- DIMENSIONS ARE NOT TO BE SCALED.
  - ALL DIMENSIONS ARE IN MM.
  - ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISIONS OF NBC.
  - FIRE FIGHTING SAFETY PROVISIONS WILL BE AS PER RELEVANT NBC PROVISIONS.
  - BOUNDARY WALL AND GATE AS PER STANDARDS.
  - ALL WALLS ARE 230/115 MM THK. BRICK WALL.
  - RAIN WATER HARVESTING SYSTEM SHALL BE PROVIDED AS PER CENTRAL GROUND WATER AUTHORITY NORMS/HARYANA GOVT.
  - ALL WINDOWS & VENTILATORS ARE OPENABLE.
  - ALL MECHANICALLY VENTILATED & ARTIFICIALLY LIT TOILET PROVIDED WITH 24hr POWER BACKUP.

DEVELOPED BY:

PROJECT:

PROPOSED BUILDING PLAN OF GROUP HOUSING COLONY AREA MEASURING 11.125 ACRES (LICENSE NO. 87 OF 2013 DATED 11-10-2013 IN SECTOR-89-A, GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY DALE DEVELOPERS PVT. LTD. AND OTHERS IN COLLABORATION WITH VATIKA LTD.

DRAWING TITLE:

MASTER SITE LAYOUT  
IRRIGATION LAYOUT

DEALT BY: SCALE: 1:500 @ A0 DRG. NO. SP 11

CHECKED BY: DATE: For VATIKA LIMITED

THROUGH: AUTHORISED SIGNATORY

OWNERS SIGN: ARCHITECT'S SIGN:

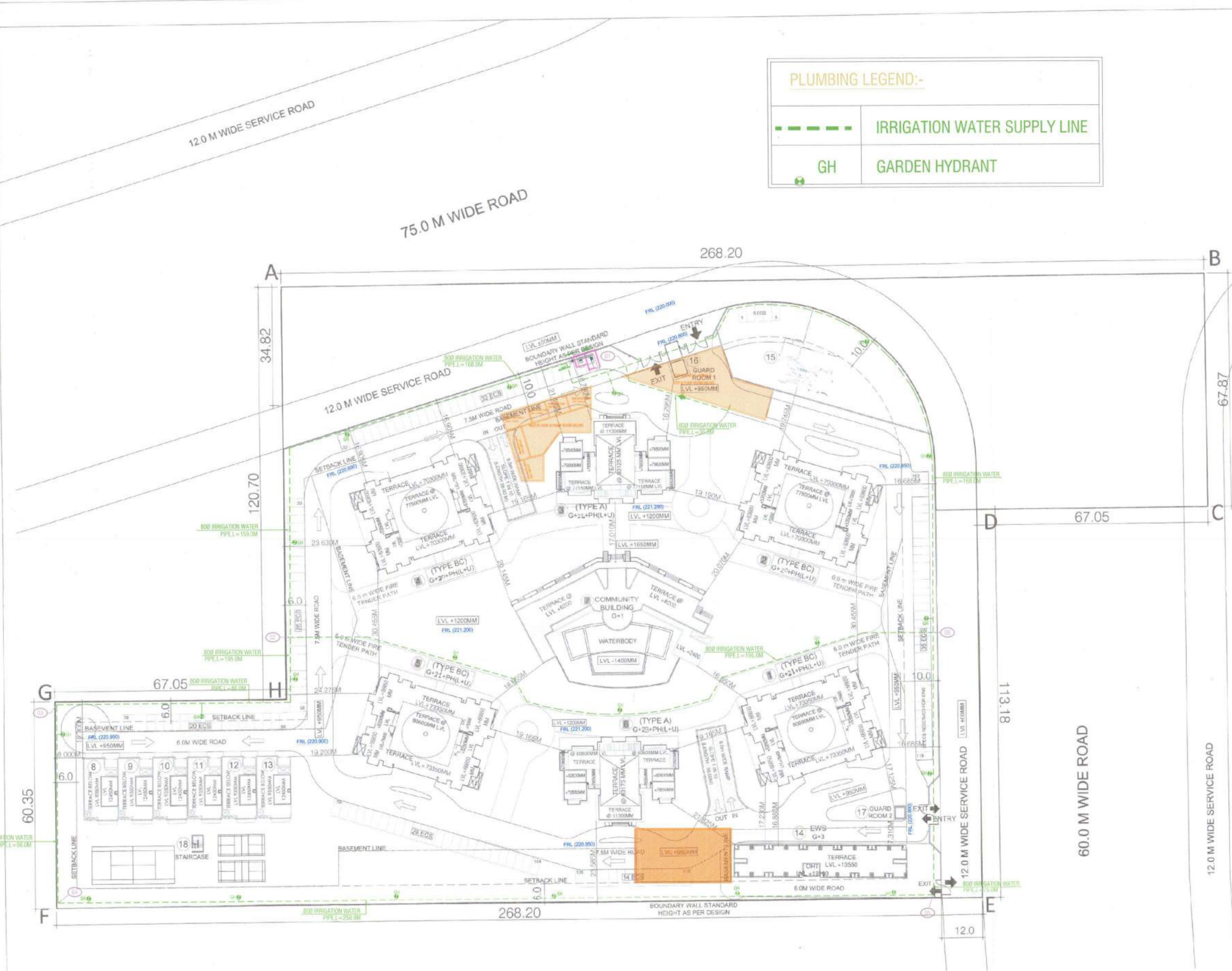
PARKING SUMMARY		
PARKING for Main Units	=	1.5 ECS per unit 642 ECS
5% PARKING RESERVED FOR EWS	=	32 ECS
COVERED Parking in BASEMENT & STILT @ 75%	=	482 ECS
Parking in SURFACE	=	153 ECS

DETAILS OF PARKING & BASEMENT (not included in FAR)					
FLOORS	AREA FOR SERVICES	AREA FOR PARKING	ECS @ (In sqm)	NO. OF ECS	TOTAL
Surface	---	4392.000 sqm	25	153	4392.000 sqm
Basement	1107.650 sqm	23090.341 sqm	35	742	24197.991 sqm

MANISH KUMAR GUPTA  
CAZ000335497

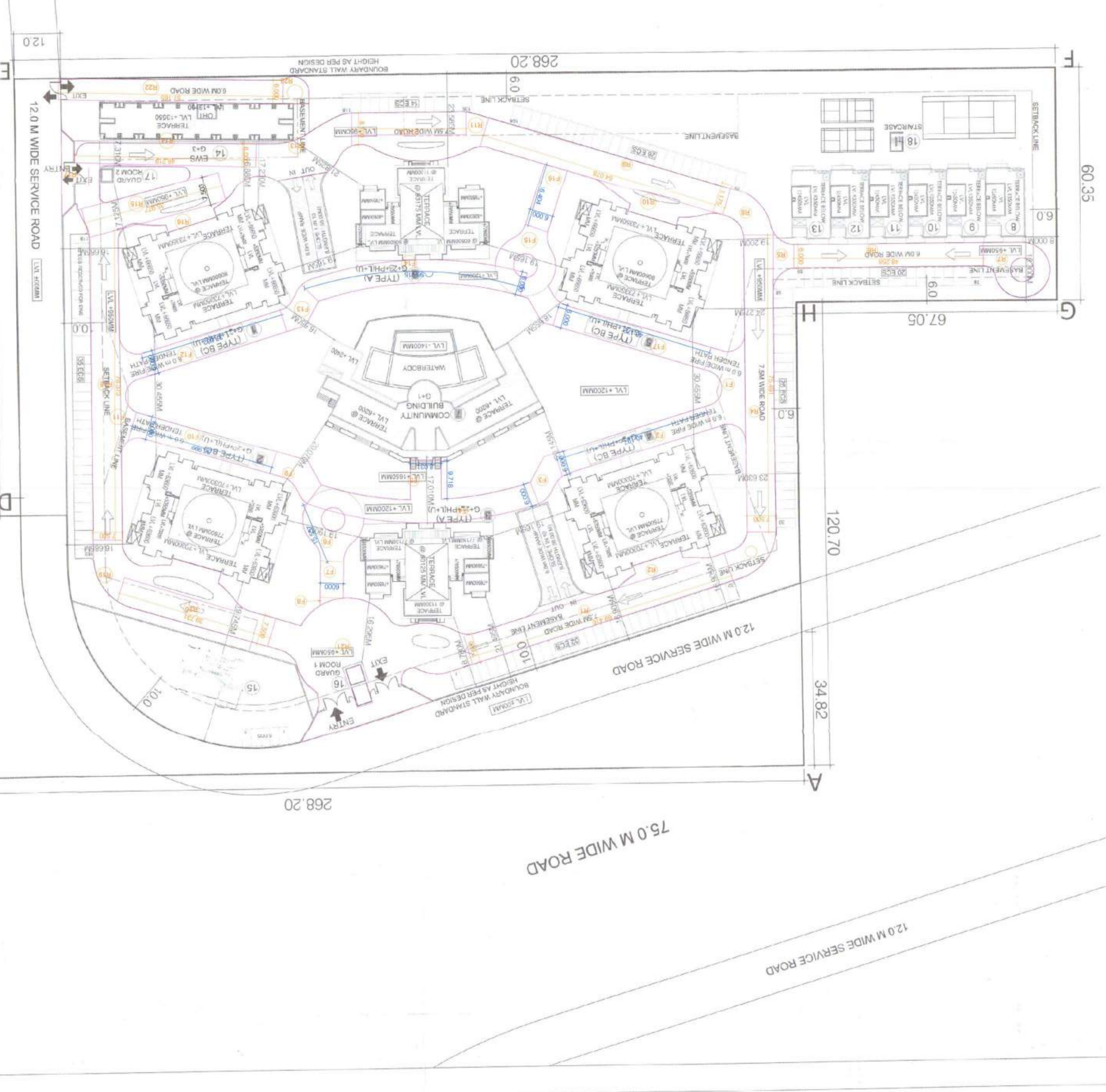
For VATIKA LIMITED

MANISH KUMAR GUPTA  
CAZ000335497



FAR AREA STATEMENT												
BUILDING DESCRIPTION	TOWER-1 Type BC	TOWER-2 Type BC	TOWER-3 Type A	TOWER-4 Type BC	TOWER-5 Type BC	TOWER-6 Type A	ROW HOUSE	EWS	Community Building	Convenient Shopping	Gate Guard house	
F.A.R. AREA												
Lower Ground Floor	599.200	599.200	455.033	599.200	599.200	599.200	1975.800	428.690	630.135	200.990	27.940	
Ground Floor	558.934	558.934	374.385	558.934	558.934	374.385		428.690	328.573			
1st Floor	569.163	569.163	374.385	569.163	569.163	374.385		428.690				
2nd Floor	569.163	569.163	367.398	569.163	569.163	367.398		428.690				
3rd Floor	569.163	569.163	367.398	569.163	569.163	367.398						
4th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
5th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
6th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
7th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
8th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
9th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
10th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
11th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
12th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
13th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
14th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
15th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
16th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
17th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
18th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
19th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
20th Floor	569.163	569.163	367.398	569.163	569.163	367.398						
21st Floor	569.163	569.163	367.398	569.163	569.163	367.398						
22nd Floor	569.163	569.163	367.398	569.163	569.163	367.398						
23rd Floor	289.705	289.705	337.231	289.705	289.705	337.231						
24th Floor	289.705	289.705	337.231	289.705	289.705	337.231						
25th Floor	289.705	289.705	337.231	289.705	289.705	337.231						
26th Floor	289.705	289.705	337.231	289.705	289.705	337.231						
27th Floor	289.705	289.705	337.231	289.705	289.705	337.231						
28th Floor	289.705	289.705	337.231	289.705	289.705	337.231						
29th Floor	289.705	289.705	337.231	289.705	289.705	337.231						
30th Floor	289.705	289.705	337.231	289.705	289.705	337.231						
TOTAL	12682.132	12112.969	8772.844	12112.969	12682.132	9140.242	1975.800	1714.760	958.708	200.990	27.940	72381.486

F.A.R. AREA	BUILDING DESCRIPTION	Type BC	Type BC	Type A	Type BC	Type A	EWVS	ROW HOUSE	TOWER-6	TOWER-5	TOWER-4	TOWER-3	TOWER-2	TOWER-1	TOTAL
27.940	Ground floor														27.940
27.940	1st floor														27.940
27.940	2nd floor														27.940
27.940	3rd floor														27.940
27.940	4th floor														27.940
27.940	5th floor														27.940
27.940	6th floor														27.940
27.940	7th floor														27.940
27.940	8th floor														27.940
27.940	9th floor														27.940
27.940	10th floor														27.940
27.940	11th floor														27.940
27.940	12th floor														27.940
27.940	13th floor														27.940
27.940	14th floor														27.940
27.940	15th floor														27.940
27.940	16th floor														27.940
27.940	17th floor														27.940
27.940	18th floor														27.940
27.940	19th floor														27.940
27.940	20th floor														27.940
27.940	21st floor														27.940
27.940	22nd floor														27.940
27.940	23rd floor														27.940
27.940	24th floor														27.940
27.940	25th floor														27.940
27.940	26th floor														27.940
27.940	27th floor														27.940
27.940	28th floor														27.940
27.940	29th floor														27.940
27.940	30th floor														27.940
27.940	31st floor														27.940
27.940	32nd floor														27.940
27.940	33rd floor														27.940
27.940	34th floor														27.940
27.940	35th floor														27.940
27.940	36th floor														27.940
27.940	37th floor														27.940
27.940	38th floor														27.940
27.940	39th floor														27.940
27.940	40th floor														27.940
27.940	41st floor														27.940
27.940	42nd floor														27.940
27.940	43rd floor														27.940
27.940	44th floor														27.940
27.940	45th floor														27.940
27.940	46th floor														27.940
27.940	47th floor														27.940
27.940	48th floor														27.940
27.940	49th floor														27.940
27.940	50th floor														27.940
27.940	51st floor														27.940
27.940	52nd floor														27.940
27.940	53rd floor														27.940
27.940	54th floor														27.940
27.940	55th floor														27.940
27.940	56th floor														27.940
27.940	57th floor														27.940
27.940	58th floor														27.940
27.940	59th floor														27.940
27.940	60th floor														27.940
27.940	61st floor														27.940
27.940	62nd floor														27.940
27.940	63rd floor														27.940
27.940	64th floor														27.940
27.940	65th floor														27.940
27.940	66th floor														27.940
27.940	67th floor														27.940
27.940	68th floor														27.940
27.940	69th floor														27.940
27.940	70th floor														27.940
27.940	71st floor														27.940
27.940	72nd floor														27.940
27.940	73rd floor														27.940
27.940	74th floor														27.940
27.940	75th floor														27.940
27.940	76th floor														27.940
27.940	77th floor														27.940
27.940	78th floor														27.940
27.940	79th floor														27.940
27.940	80th floor														27.940
27.940	81st floor														27.940
27.940	82nd floor														27.940
27.940	83rd floor														27.940
27.940	84th floor														27.940
27.940	85th floor														27.940
27.940	86th floor														27.940
27.940	87th floor														27.940
27.940	88th floor														27.940
27.940	89th floor														27.940
27.940	90th floor														27.940
27.940	91st floor														27.940
27.940	92nd floor														27.940
27.940	93rd floor														27.940
27.940	94th floor														27.940
27.940	95th floor														27.940
27.940	96th floor														27.940
27.940	97th floor														27.940
27.940	98th floor														27.940
27.940	99th floor														27.940
27.940	100th floor														27.940
27.940	TOTAL														27.940



FLOORS	AREA FOR SERVICES	AREA FOR PARKING	ECS @ (in sqm)	NO. OF ECS
Surface	4392.000	2390.341	35	153
Basement	1107.650			742
<b>TOTAL</b>				<b>4392.000</b>

REQUIRED	PROPOSED
PARKING FOR MAIN UNITS	
5% PARKING RESERVED FOR EWS	
COVERED PARKING IN BASEMENT & SILLR @ 75%	
PARKING IN SURFACE	

DEVELOPED BY:	PROJECT:
SP 11	PROPOSED BUILDING PLAN OF GROUP HOUSING COLONY AREA MEASURING 11.125 ACRES LICENSE NO. 87 OF 2013 DATED 11-10-2013 IN SECTION-89-A, GUNGANJ MANSABAR URBAN COMPLEX BEING DEVELOPED BY DALE DEVELOPERS PVT. LTD. AND OTHERS IN COLLABORATION WITH VANKYA LTD.

**NOTES**

1. DIMENSIONS ARE NOT TO BE SCALED.
2. ALL DIMENSIONS ARE IN MM.
3. ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISIONS OF NBC.
4. FIRE FIGHTING SAFETY PROVISIONS WILL BE AS PER RELEVANT NBC PROVISIONS.
5. BOUNDARY WALL AND GATE AS PER STANDARDS.
6. ALL WALLS ARE 230.15 MM THK. BRICK WALL.
7. RAIN WATER HARVESTING SYSTEM SHALL BE PROVIDED AS PER CENTRAL GOVT WATER AUTHORITY NORMS/HARYANA GOVT.
8. ALL WINDOWS & VENTILATORS ARE OPERABLE.
9. ALL MECHANICALLY VENTILATED & ARTIFICIALLY LIT TOILET PROVIDED WITH 24HR POWER BACKUP.

PARAMETER	PERMISSIBLE	PROPOSED
Ground Coverage	35.0%	14567.648 sqm
F.A.R.	175	72838.241 sqm
No. of Main Units	428 nos.	173.90
No. of EWS units	76 nos.	17.43%
TOTAL UNITS	504 nos.	7254.393 sqm
No. of Service Personnel	43 nos.	
Population	300.	

Checked subject to conditions in the accompanying letter No. 1144-01/14-15 and notes attached with the estimate

Executive Engineer (W)  
for Chief Engineer  
HUDA Panchsala

City  
Town & Planning  
15/05/2014

**CAPACITY OF UNDER GROUND WATER TANK**

S. NO.	DESCRIPTION	TANK CAPACITY
1.	FIRE WATER TANK	375 KLD
2.	RAW WATER TANK	150 KLD
3.	DOMESTIC WATER TANK	150 KLD

**PLUMBING LEGEND-**

	DOMESTIC WATER SUPPLY LINE
	FLUSHING WATER SUPPLY LINE
	HUDA WATER SUPPLY LINE

**ABSTRACT**

TOTAL SITE AREA	=	11.1250 Acres	45021.206 sqm
SITE AREA for Calculation	=	10.2850 Acres	41621.852 sqm
FAR Permitted @175	=	17.999 Acres	72838.241 sqm

**DETAILS OF MAIN D.U.'s PROPOSED**

	TOWER-1 TYPE-BC	TOWER-2 TYPE-BC	TOWER-3 TYPE-A	TOWER-4 TYPE-B & C	TOWER-5 TYPE-B & C	TOWER-6, TYPE-A	ROW HOUSE	Total Main D.U.'s
No. of D.U.'s per TOWER	84	80	46	80	84	48	6	
<b>Total</b>	<b>84</b>	<b>80</b>	<b>46</b>	<b>80</b>	<b>84</b>	<b>48</b>	<b>6</b>	<b>428</b>

**PROPOSED POPULATION**

428	Population of Main Units	@ 5 person per unit	2140 persons	
43	Population of Service Personnel	@ 2 person per unit	86 persons	2226 persons
76	Population of EWS Units	@ 2 person per unit	152 persons	152 persons
	<b>TOTAL POPULATION</b>			<b>2378 persons</b>

**CONVENIENT SHOPPING**

	REQUIRED	PROPOSED
Convenient shopping @ 0.5% of Site Area	208.11 sqm	200.990 sqm
<b>T O T A L</b>		<b>200.990 sqm</b>

**PARAMETERS**

PARAMETER	PERMISSIBLE	PROPOSED
Ground Coverage	35.0% = 14567.648 sqm	7254.393 sqm <b>17.43%</b>
F.A.R.	175 = 72838.241 sqm	72381.486 sqm <b>173.90</b>
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<b>TOTAL UNITS</b>		<b>504 nos.</b>
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Convenient Shopping	(0.5% of Site Area) = 208.109	200.990 sqm
Car Parking	1.5 per Main D.U. = 642 nos.	<b>895 ECS</b>
Covered Car Parking 75% of Total Required		482 nos. <b>742 ECS</b>

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DEVELOPED BY:

PROJECT:

PROPOSED BUILDING PLAN OF GROUP HOUSING COLONY AREA MEASURING 11.125 ACRES (LICENSE NO. 87 OF 2013 DATED 11-10-2013 IN SECTOR-89-A, GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY DALE DEVELOPERS PVT. LTD. AND OTHERS IN COLLABORATION WITH VATIKA LTD.

DRAWING TITLE:

MASTER SITE LAYOUT  
WATER SUPPLY LAYOUT

DEALT BY: SCALE: 1:500 @ A0

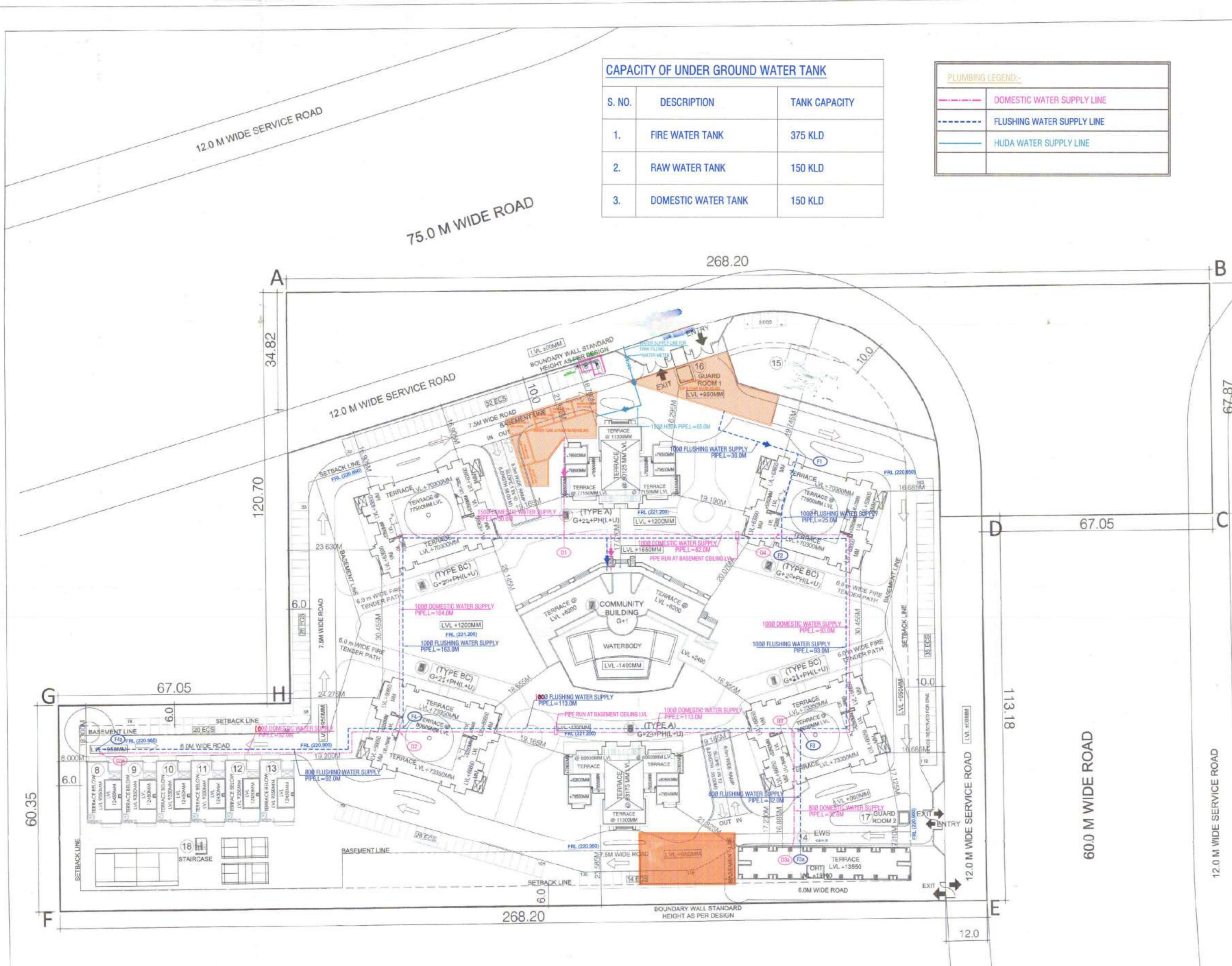
CHECKED BY: DATE: **SP**

THROUGH: AUTHORISED SIGNATORY

For VATIKA LIMITED

For VATIKA LIMITED  
OWNER'S SIGN

ARCHITECT'S SIGN



**FAR AREA STATEMENT**

BUILDING DESCRIPTION	TOWER-1 Type BC	TOWER-2 Type BC	TOWER-3 Type A	TOWER-4 Type BC	TOWER-5 Type BC	TOWER-6 Type A	ROW HOUSE	EWS	Community Building	Convenient Shopping	Gate Guard house
F.A.R. AREA									630.135	200.990	27.940
Ground Floor	599.200	599.200	455.033	599.200	599.200	455.033	1975.800	428.690	328.573		
1st Floor	558.934	558.934	374.385	558.934	558.934	374.385		428.690			
2nd Floor	569.163	569.163	374.385	569.163	569.163	374.385		428.690			
3rd Floor	569.163	569.163	367.398	569.163	569.163	367.398		428.690			
4th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
5th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
6th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
7th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
8th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
9th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
10th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
11th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
12th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
13th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
14th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
15th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
16th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
17th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
18th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
19th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
20th Floor	569.163	569.163	367.398	569.163	569.163	367.398					
21st Floor	569.163	391.642	367.398	391.642	569.163	367.398					
22nd Floor	569.163	391.642	367.398	391.642	569.163	367.398					
23rd Floor	289.705	289.705	367.398	289.705	289.705	367.398					
24th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
25th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
26th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
27th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
28th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
29th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
30th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
31st Floor	289.705	289.705	367.398	289.705	289.705	367.398					
32nd Floor	289.705	289.705	367.398	289.705	289.705	367.398					
33rd Floor	289.705	289.705	367.398	289.705	289.705	367.398					
34th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
35th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
36th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
37th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
38th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
39th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
40th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
41st Floor	289.705	289.705	367.398	289.705	289.705	367.398					
42nd Floor	289.705	289.705	367.398	289.705	289.705	367.398					
43rd Floor	289.705	289.705	367.398	289.705	289.705	367.398					
44th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
45th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
46th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
47th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
48th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
49th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
50th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
51st Floor	289.705	289.705	367.398	289.705	289.705	367.398					
52nd Floor	289.705	289.705	367.398	289.705	289.705	367.398					
53rd Floor	289.705	289.705	367.398	289.705	289.705	367.398					
54th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
55th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
56th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
57th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
58th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
59th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
60th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
61st Floor	289.705	289.705	367.398	289.705	289.705	367.398					
62nd Floor	289.705	289.705	367.398	289.705	289.705	367.398					
63rd Floor	289.705	289.705	367.398	289.705	289.705	367.398					
64th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
65th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
66th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
67th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
68th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
69th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
70th Floor	289.705	289.705	367.398	289.705	289.705	367.398					
71st Floor	289.705	289.705	367.398	289.705	289.705	367.398					
72nd Floor	289.705	289.705	367.398	289.705	289.705	367.398					
73rd Floor	289.705	289.705	367.398	289.705	289.705</						





Checked subject to comments in forwarding letter No. 113-DL all other details attached with the estimate

11/3  
Executive Engineer (P) for Chief Engineer  
HUDA Panchsala

2/5  
Supervising Engineer  
Circle No. 1,  
Gurgaon

ABSTRACT			
TOTAL SITE AREA	=	11.1250 Acres	45021.206 sqm
SITE AREA for Calculation	=	10.2850 Acres	41621.852 sqm
FAR Permitted @175	=	17.999 Acres	72838.241 sqm

DETAILS OF MAIN D.U.'s PROPOSED							
	TOWER-1 TYPE-BC	TOWER-2 TYPE-BC	TOWER-3 TYPE-A	TOWER-4 TYPE-B & C	TOWER-5 TYPE-B & C	TOWER-6, TYPE-A ROW HOUSE	Total Main D.U.'s
No. of D.U.'s per TOWER	84	80	46	80	84	48	6
Total	84	80	46	80	84	48	428

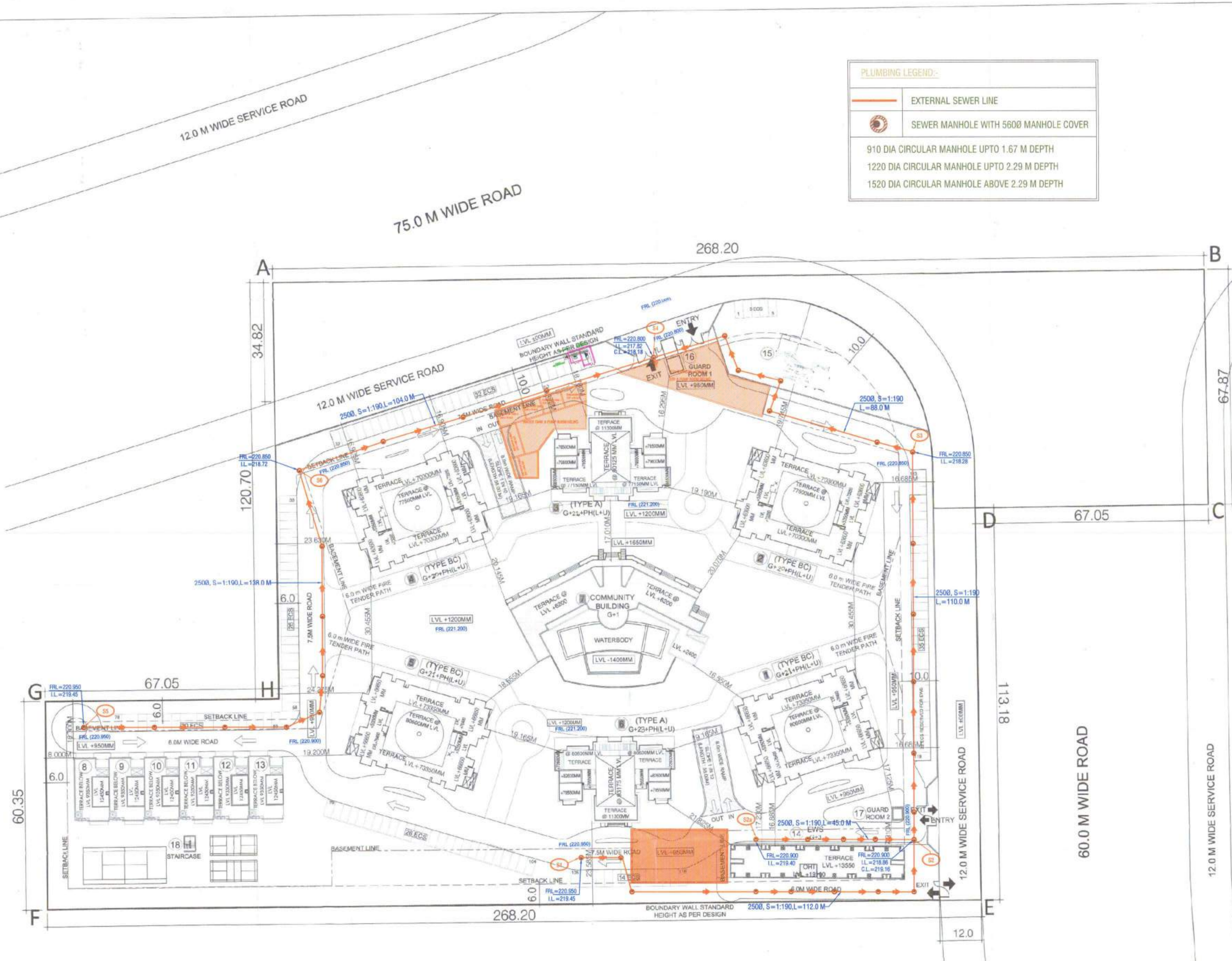
PROPOSED POPULATION			
428	Population of Main Units	@ 5 person per unit	2140 persons
43	Population of Service Personnel	@ 2 person per unit	86 persons
76	Population of EWS Units	@ 2 person per unit	152 persons
TOTAL POPULATION			2378 persons

CONVENIENT SHOPPING			
REQUIRED	PROPOSED		
Convenient Shopping @ 0.5% of Site Area	208.11 sqm	=	200.990 sqm
TOTAL		=	200.990 sqm

PARAMETERS			
PARAMETER	PERMISSIBLE	PROPOSED	
Ground Coverage	35.0% = 14567.648 sqm	7254.393 sqm	17.43%
F.A.R.	175 = 72838.241 sqm	72381.486 sqm	173.90
No. of Main Units		428 nos.	
No. of EWS units	(15% of Main D.U.'s)	76 nos.	
<b>TOTAL UNITS</b>		<b>504 nos.</b>	
No. of Service Personnel	(10% of Main D.U.'s)	43 nos.	
Population	300.0 PPA	231.21 PPA	
Organised Greens	15% = 6243.278	11672.673 sqm	
Convenient Shopping	(0.5% of Site Area) = 208.109	200.990 sqm	
Car Parking	1.5 per Main D.U. = 642 nos.	895 ECS	
Covered Car Parking 75% of Total Required		482 nos.	742 ECS

- NOTES**
1. DIMENSIONS ARE NOT TO BE SCALED.
  2. ALL DIMENSIONS ARE IN MM.
  3. ALL ELECTRICAL INSTALLATIONS SHALL BE AS PER PROVISIONS OF NBC.
  4. FIRE FIGHTING SAFETY PROVISIONS WILL BE AS PER RELEVANT NBC PROVISIONS.
  5. BOUNDARY WALL AND GATE AS PER STANDARDS.
  6. ALL WALLS ARE 230/115 MM THK. BRICK WALL.
  7. RAIN WATER HARVESTING SYSTEM SHALL BE PROVIDED AS PER CENTRAL GROUND WATER AUTHORITY NORMS/HARYANA GOVT.
  8. ALL WINDOWS & VENTILATORS ARE OPENABLE.
  9. ALL MECHANICALLY VENTILATED & ARTIFICIALLY LIT TOILET PROVIDED WITH 24hr POWER BACKUP.

PLUMBING LEGEND	
	EXTERNAL SEWER LINE
	SEWER MANHOLE WITH 6000 MANHOLE COVER
	910 DIA CIRCULAR MANHOLE UPTO 1.67 M DEPTH
	1220 DIA CIRCULAR MANHOLE UPTO 2.29 M DEPTH
	1520 DIA CIRCULAR MANHOLE ABOVE 2.29 M DEPTH



FAR AREA STATEMENT												
BUILDING DESCRIPTION	TOWER-1 Type BC	TOWER-2 Type BC	TOWER-3 Type A	TOWER-4 Type BC	TOWER-5 Type BC	TOWER-6 Type A	ROW HOUSE	EWS	Community Building	Convenient Shopping	Gate Guard house	
F.A.R. AREA												
Lower Ground Floor	599.200	599.200	455.033	599.200	599.200	455.033	1975.800	428.690	630.133	200.990	27.940	
Ground Floor	599.200	599.200	455.033	599.200	599.200	455.033	1975.800	428.690	630.133	200.990	27.940	
1st Floor	558.934	558.934	374.385	558.934	558.934	374.385	1828.542	391.542	569.153	189.705	23.231	
2nd Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
3rd Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
4th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
5th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
6th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
7th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
8th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
9th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
10th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
11th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
12th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
13th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
14th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
15th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
16th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
17th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
18th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
19th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
20th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
21st Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
22nd Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
23rd Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
24th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
25th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
26th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
27th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
28th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
29th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
30th Floor	569.163	569.163	367.398	569.163	569.163	367.398	1828.542	391.542	569.153	189.705	23.231	
TOTAL	12682.132	12112.969	8772.844	12112.969	12682.132	9140.242	1975.800	1714.760	958.708	200.990	27.940	72381.486

PARKING SUMMARY		
	REQUIRED	PROPOSED
PARKING for Main Units	1.5 ECS per unit	
	642 ECS	
5% PARKING RESERVED FOR EWS	32	32 ECS
		FROM 119 TO 150
COVERED Parking in BASEMENT & STILT @ 75%	482 ECS	742 ECS
Parking in SURFACE		153 ECS

DETAILS OF PARKING & BASEMENT (not included in FAR)					
FLOORS	AREA FOR SERVICES	AREA FOR PARKING	ECS @ (In sqm)	NO. OF ECS	TOTAL
Surface		4392.000 sqm	25	153	4392.000 sqm
Basement	1107.650 sqm	23090.341 sqm	35	742	24197.991 sqm

US  
B.T.A. (IND)  
B.P.A.C.  
B.P.A.C.  
B.P.A.C.

AD 35 50 TR 4/2

DEVELOPED BY:

PROJECT:

PROPOSED BUILDING PLAN OF GROUP HOUSING COLONY AREA MEASURING 11.125 ACRES (LICENSE NO. 87 OF 2013 DATED 11-10-2013 IN SECTOR-89-A, GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY DALE DEVELOPERS PVT. LTD. AND OTHERS IN COLLABORATION WITH VATIKA LTD.

DRAWING TITLE: MASTER SITE LAYOUT SEWER LAYOUT

DEALT BY: SCALE: 1:500 @ A0 DRG. NO.

CHECKED BY: DATE: SP

THROUGH: AUTHORISED SIGNATORY

For VATIKA LIMITED

For VATIKA LIMITED

OWNERS SIGN: ARCHITECT'S SIGN: