

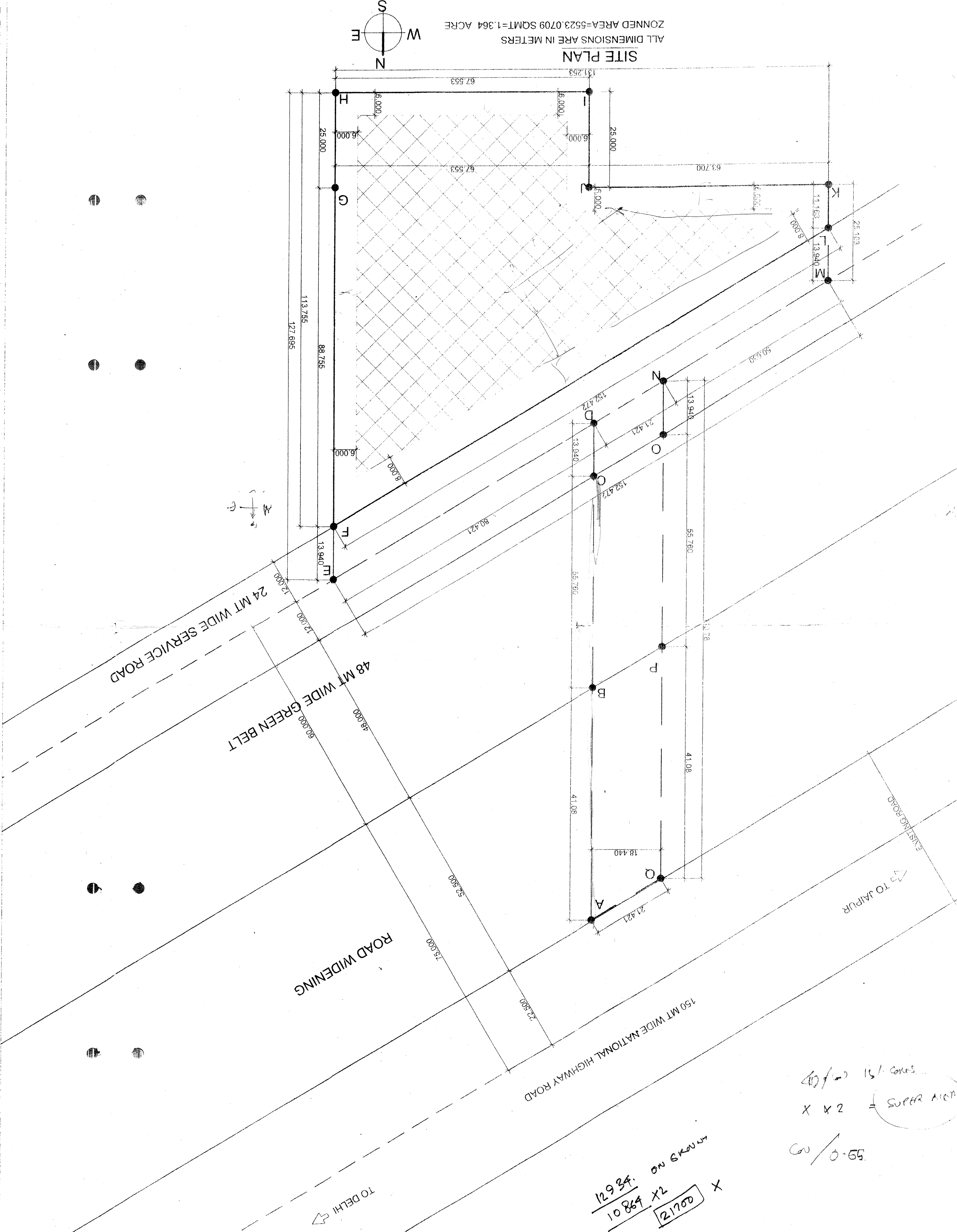
ZONING PLAN OF COMMERCIAL COLONY MEASURING 2.9875ACRES (LICENCE NO 82 OF 2009 DATED 8.12.2009) IN SECTOR-80, GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S R.P.ESTATES PVT.LTD.

8. PARKING
 (a) Adequate Parking Spaces, Covered, Open or in the Basement shall be provided for vehicles of users and occupiers, within the Site.
 (b) Atleast 15% of the parking shall be at the Street Level.
 (c) The Parking Spaces for Commercial Buildings shall not be less than 1ECs for 50 sqm. of Covered Area on all floors. The area for parking per car shall be as under:-
 (i) Basement = 35 sq. mtrs.
 (ii) Stills = 30 sq. mtrs.
 (iii) Open = 25 sq. mtrs.
 (d) The covered parking in the basement or in the form of multi level parking above ground level shall not be counted towards F.A.R. However, in case of multi level parking above the ground level the foot print of separate parking building block shall be counted towards ground coverage. In case of provision of mechanical Parking in the basement floor / upper stores, the floor to ceiling height of the basement/upper floor may be maximum of 4.5 Mtr. Other than the mechanical parking the floor to ceiling height in the upper floor shall not be more than 2.4 Mtr. below the hanging beam.
 (e) Not more than 25% of the parking space within the Shopping/Commercial Complex shall be allotted and this allotment shall be made only to the persons to whom Shop/Commercial Space have been allotted. No Parking Space shall be allotted, leased out, sold or transferred in any manner to any third party.
9. WIDTH /SLOPE OF RAMP
 The clear width of the ramp leading to the Basement floor shall be minimum 4.0 mtr with an adequate slope not steeper than 1:10. The entry and exit shall be separate preferably at opposite ends.
10. PLANNING NORMS
 The Building/Buildings to be constructed shall be planned and designed to the norms and standards as approved by DTCP, Haryana.
11. PROVISIONS OF PUBLIC HEALTH FACILITIES
 The W.C. and Urinals provided in the Buildings shall conform to the National Building Code/Act No. 41 of 1963 and rules framed there under.
12. SUB-DIVISIONS OF SITE
 No sub-division of the Commercial Colony shall be permitted.
13. WIDTH OF COVERED PUBLIC CORRIDOR
 A covered public corridor should have a minimum clear width of 8'-3". However, in case of Offices on Subsequent Floor, the width of the corridor would be governed by Rule 82 of the Rules, 1965.
14. EXTERNAL FINISHES
 The External Wall Finishes, so far as possible shall be in a natural or permanent type of materials like Bricks, Stone, Concrete, Terracotta, Gats, Marble, Chips, Class Metals or any other finish which may be allowed by the DTCP.
 (a) The Water Storage Tanks and Plumbing Works shall not be visible on any face of the Building and shall be suitable enclosed.
 (b) All Sign Boards and Names shall be written on the spaces provided on buildings as per approved Buildings Plans specifically for this purpose and at no other places, whatsoever.
15. APPROVAL OF BUILDING PLANS
 The Building Plans of the buildings to be constructed at site shall have to be got approved from the DTCP, Haryana (under section 82) of the Act No. 41 of 1963), before taking up the construction.
16. BUILDING BYE - LAWS
 The construction of the Building/buildings shall be governed by the Building Rules provided in the part VII of the Punjab Scheduled Roads and Controlled Area, Restriction of Unregulated Development Rules, 1985 and IS Code No. 4963-1987 regarding provisions for Physically Handicapped Persons. On the points where such rules are silent and stipulate no condition or norm, the model Building Bye-laws issued by the ISI, and as given in the NBC shall be followed as may be approved by the DTCP, Haryana.
17. FIRE SAFETY MEASURES
 (a) The Owner will ensure the provision of proper fire safety measures in the multi storied Buildings conforming to the provisions of Rules, 1965/ NBC and the same should be got certified from the Competent Authority.
 (b) Electric Sub-station / Generator Room if provided should be on Solid Ground near D.G./L. Control periphery of the panel on Ground Floor or in Upper Basement and it should be located on outer building, the same should be got approved from the Chief Electrical Inspector, Haryana.
18. SOLAR WATER HEATING SYSTEM
 The provision of Solar Water Heating System shall be as per norms specified by HAREDA and shall be made operational in each Building block, if hot water is required before applying for an Occupation Certificate.
19. RAIN WATER HARVESTING SYSTEM
 The rain water harvesting system shall be provided as per Central Ground Water Authority Norms / Haryana Govt. notification as applicable.
20. APPROACH TO SITE
 The vehicular approach to the Site and parking lots shall be planned and provided giving due consideration to the junctions of and the junctions with the surrounding roads to the satisfaction of the DTCP, Haryana. The permanent approach to the Site shall be derive from the Service Road.
7. BASEMENT
 Four Level Basements within the Building Zone of the site provided it flushes with the Ground and is properly landscaped may be allowed. The Basement may in addition to parking could be utilized for Generator Room, Lift Room, Fire Fighting Pumps, Water Reservoir, Electric Sub-Station, Air Conditioning Plants and Toilets/Urinals, if they satisfy the Public Health requirements and for no other purposes. Area under Stills (only for parking) and Basement shall not be counted towards F.A.R. Basement shall not be used for storage/commercial purposes but will be used only for Parking and Ancillary Services of the Main Building and it is further stipulated that no other partitions of Basement will be permissible for uses other than those specified above.
6. APPROACH TO SITE
 (e) To insure fire safety and structural stability of the building of more than 60 meter height, the developer shall submit the structural drawing duly vetted from the reputed institute like IIT Delhi, IIT Roorkee, PEC Chandigarh or NIT Kurukshetra etc. Fire safety plan needs to be vetted by the Institute of Fire Engineer at Nagpur. This certifications are to be obtained prior to starting the construction work at site.
 (f) If such interior or Exterior Open space is intended to be used for the benefit of more than one Building belonging to the same Owner, then the width of such open air space shall be the one specified for the tallest Building as specified above.
6. APPROACH TO SITE
 The vehicular approach to the Site and parking lots shall be planned and provided giving due consideration to the junctions of and the junctions with the surrounding roads to the satisfaction of the DTCP, Haryana. The permanent approach to the Site shall be derive from the Service Road.
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Sr. No.	HEIGHT OF BUILDING (in meters)	SPACE TO BE LEFT AROUND BUILDINGS (in meters)
1	10	3
2	15	5
3	18	6
4	21	7
5	24	8
6	27	9
7	30	10
8	35	11
9	40	12
10	45	13
11	50	14
12	55 & above	16

Notation	Land Use Zone	Type of Building permitted/ permissible structures.
[Symbol]	Open Space Zone	Open Parking Lots, ApproachRoads, Road Side Furniture, Parks and Play Grounds, Landscaping Features, Under Ground Services etc.
[Symbol]	Building Zone	Building as per permissible Land Use in clause 2 above and Uses permissible in the Open Space Zone.

1. SHAPE & SIZE OF SITE
 The shape and size of Site is in accordance with the approved Demarcation Plan shown as A TO Q, as confirmed by DTP, Gurgaon vide Endorsement No. 2861 dated 5-5-2010.
2. LAND USE
 The type of Buildings permissible in this Site shall conform to the provisions of the Residential Zone as provided in Appendix 'B' to the Final Development Plan of Gurgaon-Manesar Urban Complex, as amended from time to time, as applicable.
3. TYPE OF BUILDING PERMITTED AND LAND USE ZONES
 The Site shall be developed and buildings constructed thereon, as indicated in and explained in the table below.
4. SITE COVERAGE AND FAR
 (a) The Building or Buildings shall be constructed only within the portion of the Site marked as [Symbol] Building Zone as explained above, and no where else.
 (b) The proportion up to which the Site can be covered with Building or Buildings on the Ground Floor and Subsequent Floors shall not exceed 40% of the area of 11256.172 sq. mtr. (Maximum permissible F.A.R shall be 175 of the area of 11256.172 sq. mtr.)
5. HEIGHT OF BUILDING
 The height of the Building Block, subject of course to the provisions of the site coverage and F.A.R. shall be governed by the following:-
 (a) The maximum height of the Building shall not be more than as allowed by National Airport Authority and shall not exceed 1.5 times (the width of the roads abutting to the site) plus the front open space.
 (b) If a Building abuts on two or more streets of different widths, the Buildings shall be deemed to face upon the street that has the greater width and the height of the Buildings shall be regulated by the width of that street and may be continued to this height to a depth of 24M, along the narrow street.
 (c) Building / Structures which rise to 30 meters or more in height shall be constructed if No Objection Certificate has been obtained from the National Airport Authority.
 (d) All building block(s) shall be constructed so as to maintain an interse distance not less than the set back required for each building according to the table Below:-
 (e) Building / Structures which rise to 30 meters or more in height shall be constructed if No Objection Certificate has been obtained from the National Airport Authority.
6. APPROACH TO SITE
 (f) If such interior or Exterior Open space is intended to be used for the benefit of more than one Building belonging to the same Owner, then the width of such open air space shall be the one specified for the tallest Building as specified above.
6. APPROACH TO SITE
 The vehicular approach to the Site and parking lots shall be planned and provided giving due consideration to the junctions of and the junctions with the surrounding roads to the satisfaction of the DTCP, Haryana. The permanent approach to the Site shall be derive from the Service Road.
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Handwritten notes and signatures at the bottom right of the plan, including 'SUPERVISOR' and '22/08/01'.