

For Approval Stamping:

- NOTES:
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  - 2) BASEMENT WILL BE ARTIFICIALLY VENTILATED.
  - 3) ALL SPACES (PARKING BASEMENT, SERVICES BASEMENT ETC.) WILL BE ARTIFICIALLY LIT.
  - 4) STANDBY GENERATING CAPACITY WILL BE PROVIDED FOR THE ELECTRICAL REQUIREMENT OF THE TOTAL SCHEME. THIS THEREFORE INCLUDES STANDBY GENERATION FOR ALL COMMON SERVICES, FIRE SERVICES, LIFTS ETC. AND ALSO THE ENTIRE ELECTRICAL LOAD FOR THE VENTILATION.
  - 5) FIRE SAFETY MEASURES AS PER NBC INCLUDES SMOKE DETECTOR, HEAT DETECTOR, SPRINKLER SPACING IN COMPLIANCE WITH CODE



Project:  
 PROPOSED GROUP HOUSING SCHEME MEASURING 17.55 ACRES (LICENCE NO. 16 OF 2008) IN SECTOR-59 GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S BTV'S BUILDWELL PVT. LTD. M/S ORNAMENTAL REALTORS PVT. LTD. M/S ADSON SOFTWARE PVT. LTD. C/O M/S BASE EXPORTS PVT. LTD.

Authorized Signature

STRUCTURAL CONSULTANT

Consulting MEP

Architect's Sign

Morphogenesis  
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Drawing Title  
 SITE PLAN

Drawing No. A-101  
 Scale 1:500  
 Date JAN '14

S.NO	DESCRIPTION	PERMISSIBLE AREA(SQM)	PROPOSED AREA(SQM)
1	FAR	@1.75	111228.696
2	GROUND COVERAGE	@35%	22245.939
3	EWS @15% OF TOTAL NO OF UNITS	@15% OF TOTAL NO OF UNITS	64.708
4	DENSITY	@250 PER ACRES	3926.500
5	ORGANISED GREEN	@15%	2554.378

AREAS						
S.NO	DESCRIPTION	FAR AREA(SQM)	NON FAR AREA(SQM)	STLT AREA(SQM)	TOTAL AREA(SQM)	GROUND COVERAGE(SQM)
1	TOWER-01 (3BHK+3BHK)	2479.933	7771.817	395.121	3296.871	861.353
2	TOWER-02 (3BHK+3BHK UNITS)	2476.729	7760.817	395.455	3293.377	863.833
3	TOWER-03 (3BHK+3BHK UNITS +SERVANT UNITS)	2711.880	8445.937	395.420	3613.237	962.951
4	COMMUNITY CENTER	1396.490	28.310	0.000	1424.800	697.650
5	EWS	1700.000	259.450	0.000	1959.330	345.800
6	CONVENIENT SHOPPING	78.850	0.000	0.000	78.850	78.850
TOTAL		7959.958	24288.331	1494.376	105480.665	3,783,277

PARKING & POPULATION CHART										
S.NO	TYPE	NO OF UNITS	NO OF PERSONS UNIT	SERVANT POPULATION	TOTAL POPULATION	NO OF CAR REQUIRED AS PER NBC	TOTAL NUMBER OF PARKING REQUIRED	NO OF CARS PROVIDED IN BASEMENT	NO OF CARS PROVIDED ON GROUND	NO OF CARS PROVIDED ON STLT
1	3BHK UNITS	390	5	0	1450	1.5	435	0	0	0
2	3BHK UNITS +SERVANT UNIT	98	5	2	498	1.5	87	0	0	0
3	4 BHK (PENTHOUSE)	12	5	0	60	1.5	18	0	0	0
4	EWS	85	2	0	170	1.0	85	0	0	0
TOTAL		425	17	2	2048	1.5	607	0	0	0

GREEN AREA CALCULATION				
Description	Length (mtr)	Breadth (mtr)	Area (sqm)	Total Area (sqm)
G1	32.400	27.355	886.302	886.302
G2	13.140	18.650	245.061	245.061
G3	9.475	5.550	52.585	52.585
G4	83.140	8.190	681.117	681.117
G5	44.000	12.250	539.000	539.000
G6	71.975	7.790	560.306	560.306
G7	36.915	18.125	669.084	669.084
G8	25.190	5.095	128.076	128.076
G9	36.915	20.370	751.859	751.859
G10	44.865	16.490	739.824	739.824
G11	36.500	27.000	985.500	985.500
G12	51.940	3.300	171.792	171.792
Total Green Area				6884.6

BASEMENT AREA CALCULATION				
Description	Area	Section Area	Parking Area	No. of Parking
Upper Basement	17102.15	1818.08	15384.09	299
Lower Basement	17258.68	2135.23	15384.44	295
TOTAL	34360.83	3953.31	30768.53	594

D.T. MOHAMMAD  
 Member Secretary  
 B.P.A.C.

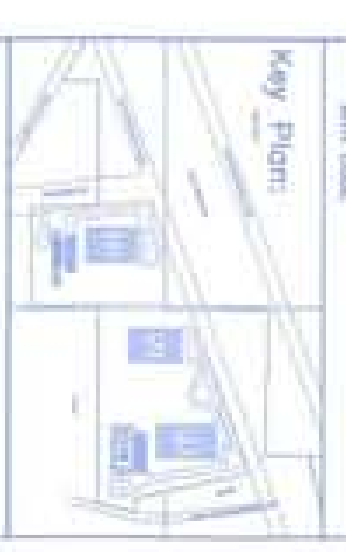
S.P. (S)  
 Member Secretary  
 B.P.A.C.

S. HASSAN  
 Chairman  
 B.P.A.C.

A/B    J/D    T/A    U/S  
 10    10    10    10



NOTES:  
 1/ ALL WORKS PROVIDED IN TOWER ARE TO BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE B.P.A.C. AND THE NATIONAL BUILDING REGULATIONS.  
 2/ THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES.  
 3/ THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.  
 4/ THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SERVICES AND UTILITIES.  
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**Project:**  
 PROPOSED GROUP HOUSING SCHEME  
 MEASURING 17.55 ACRES, LICENCE  
 NO. 16 OF 2008 IN SECTOR-59  
 GURGAON MANEKAR URBAN  
 COMPLEX BEING DEVELOPED BY  
 M/S BTV BUILDWELL PVT. LTD.  
 M/S ORNAMENTAL REALTORS PVT. LTD.  
 M/S ASSON SOFTWARE PVT. LTD./C/O  
 M/S BASE EXPORTS PVT. LTD.

Authorized Signature  


STRUCTURAL CONSULTANT  
 Consulting MEP

Architect's Sign  

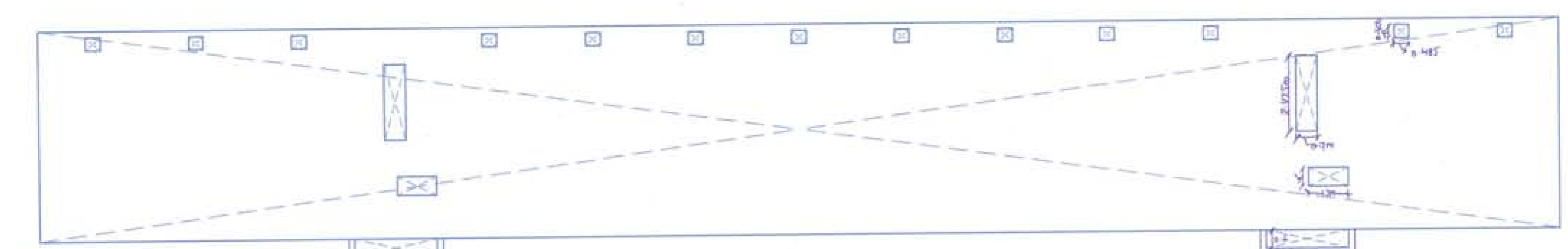

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Drawing Title  
 TOWER-1  
 SECTION AA

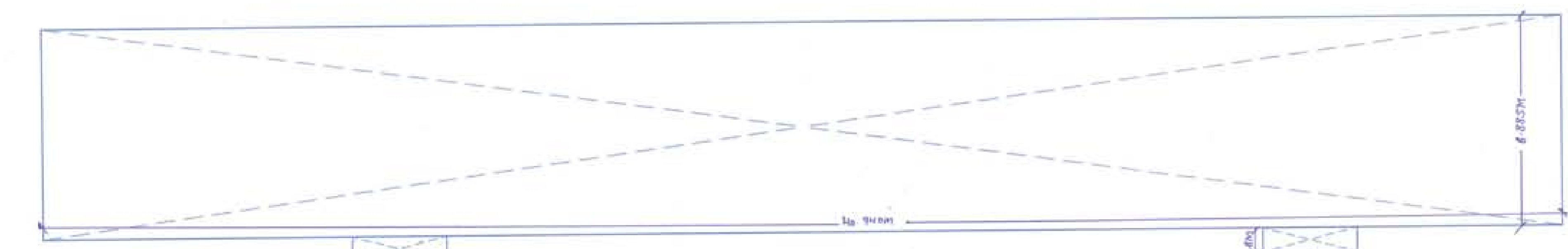
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Scale  
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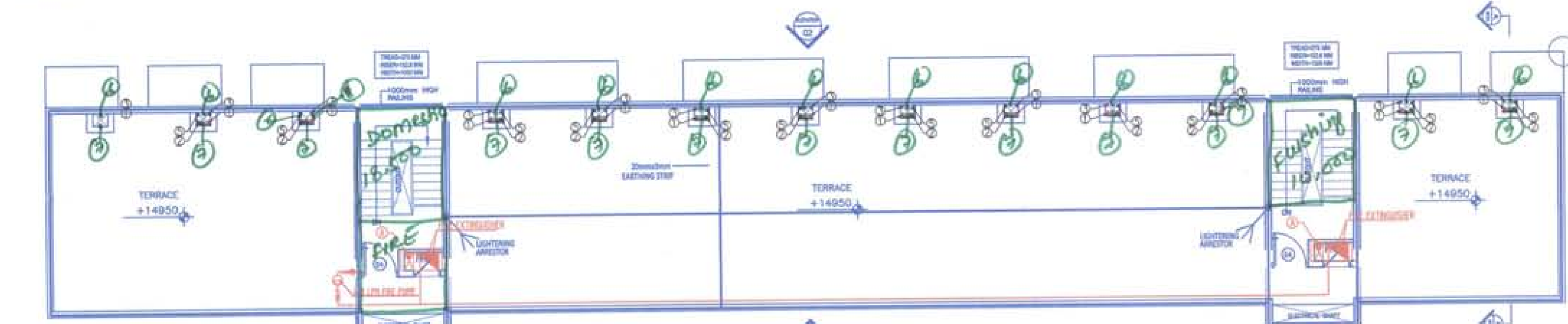
Date  
 JAN-2014



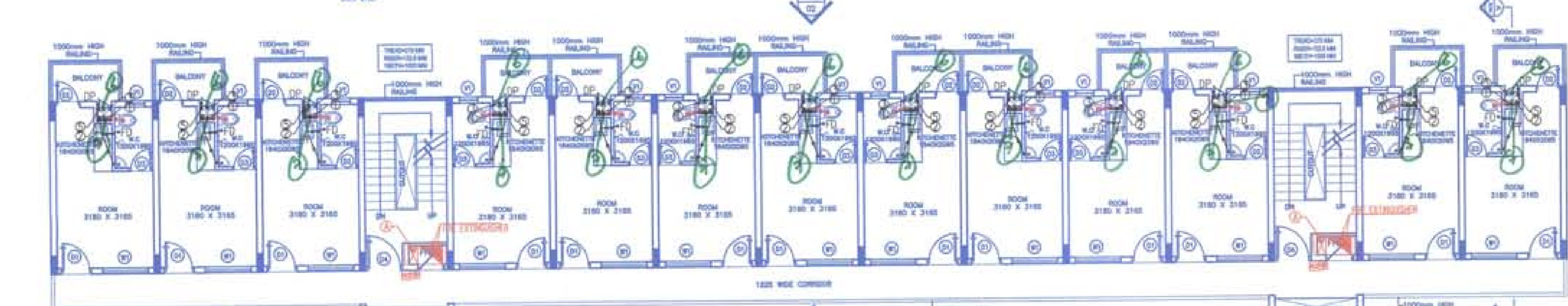
5 EWS-TYPICAL FLOORS FAR AREA DIAGRAM  
S-1  
1:100



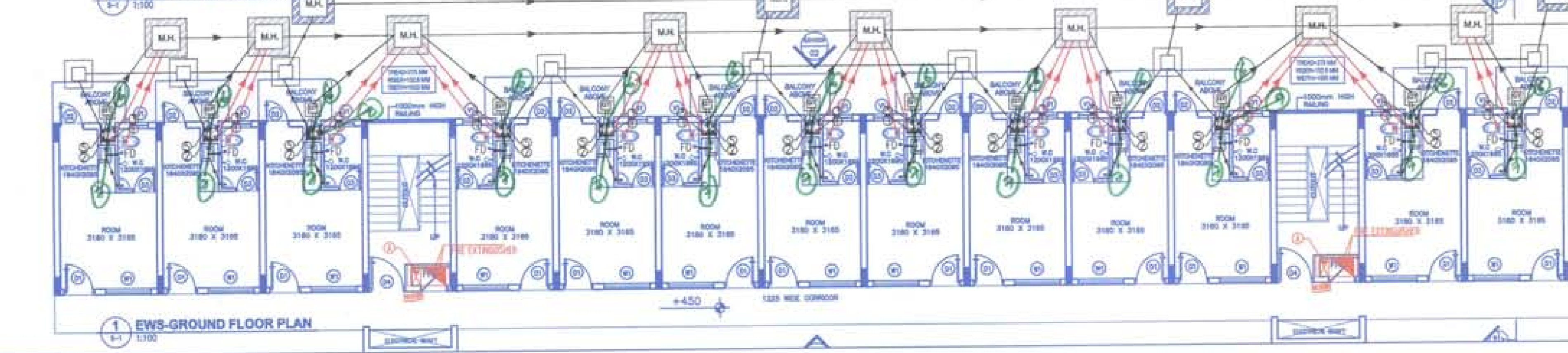
4 EWS-GROUND FLOOR FAR AREA DIAGRAM  
S-1  
1:100



3 EWS-TERRACE PLAN  
S-1  
1:100



6 EWS-CARPET AREA DIAGRAM  
S-1  
1:100

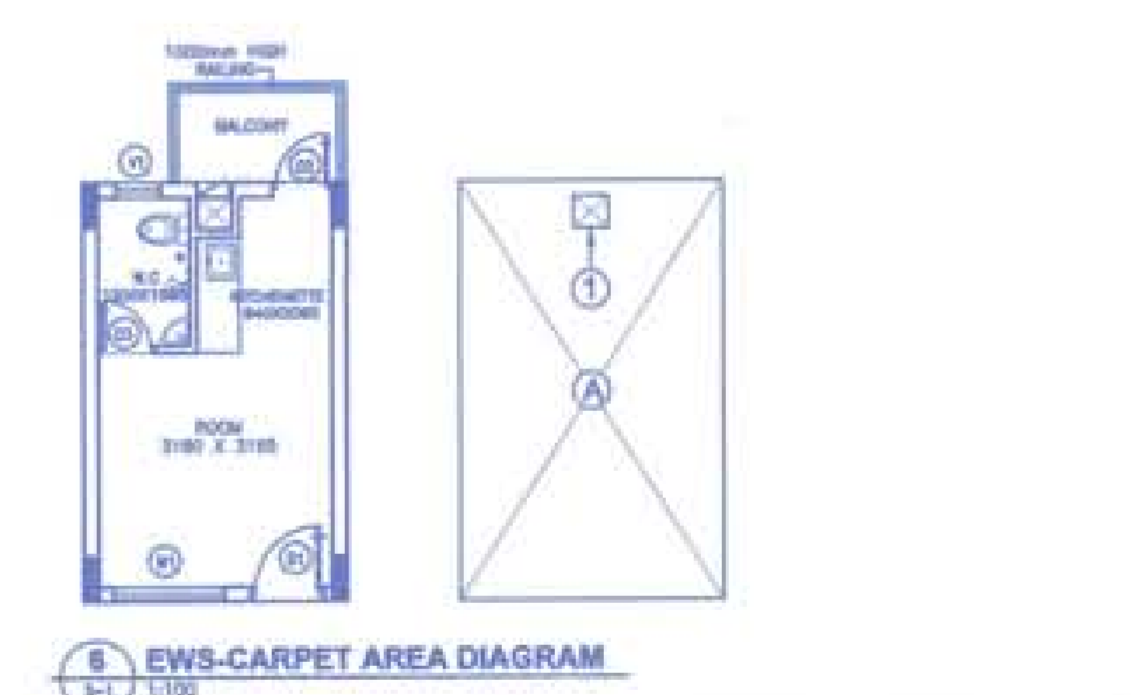


1 EWS-GROUND FLOOR PLAN  
S-1  
1:100

EWS AREA DETAILS						
SCHEDULE A						
Description	Length (m)	Breadth (m)	Area (sqm)	Height (m)	Area (sqm)	No. of Floors
1	45.000	0.800	36.000	2.400	86.400	1
2	3.000	0.800	2.400	2.400	5.760	2
Total of all Additions 'A'						92.160
Grand Total (sqm)						92.160
SCHEDULE B						
Description	Length (m)	Breadth (m)	Area (sqm)	Height (m)	Area (sqm)	No. of Floors
1	45.000	0.800	36.000	2.400	86.400	1
2	3.000	0.800	2.400	2.400	5.760	2
Total of all Additions 'B'						92.160
Grand Total (sqm)						92.160
SCHEDULE C						
Description	Length (m)	Breadth (m)	Area (sqm)	Height (m)	Area (sqm)	No. of Floors
1	45.000	0.800	36.000	2.400	86.400	1
2	3.000	0.800	2.400	2.400	5.760	2
Total of all Additions 'C'						92.160
Grand Total (sqm)						92.160
SCHEDULE D						
Description	Length (m)	Breadth (m)	Area (sqm)	Height (m)	Area (sqm)	No. of Floors
1	45.000	0.800	36.000	2.400	86.400	1
2	3.000	0.800	2.400	2.400	5.760	2
Total of all Additions 'D'						92.160
Grand Total (sqm)						92.160
Total Floor Area (sqm) - (A + B)						184.320
Total Typical Floor Area (sqm) - (C + D)						184.320
Total Floor Area (sqm) - (A + B + C + D)						368.640

LEGEND

- 1 100Ø SOIL PIPE
- 2 100Ø WASTE PIPE
- 2A 100Ø KITCHEN WASTE PIPE
- 5 100Ø RAIN WATER PIPE
- FT FLOOR TRAP
- DP BALCONY DRAIN
- SOIL PIPE
- WASTE PIPE
- RAIN WATER PIPE



DOOR - WINDOW SCHEDULE						
Sl. No.	Type	Width	Depth	Area (sqm)	Size (ft x ft)	TYPE
01	D1	1000	2100	2100000	33'0" x 69'0"	Flush door
02	D2	800	2100	1680000	26'3" x 69'0"	Flush door
03	D3	750	2100	1575000	24'6" x 69'0"	Flush door
04	D4	1200	2100	2520000	39'4" x 69'0"	2 to be raised metal door
05	CS	800	2100	1680000	26'3" x 69'0"	FLIC DOOR
06	W1	1500	800	1200000	49'1" x 26'3"	clear glass window
07	W2	800	1500	1200000	26'3" x 49'1"	clear glass window

SYMBOL DESCRIPTION

- HOOTER CUM STROBE
- MANUAL CALL POINT

For Approval/Stamping:  
 Member Secretary B.P.A.C.  
 S.P. (S) Member B.P.A.C.  
 C.P. (H) Chairman B.P.A.C.

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Authorized Signature  
 [Signature]

STRUCTURAL CONSULTANT

Consulting MEP

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Drawing Title  
 EWS: FLOOR PLANS

Drawing No. EWS-01/02  
 Scale 1:100  
 Date JAN '14

AB JD SD PA AY

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STRUCTURAL CONSULTANT

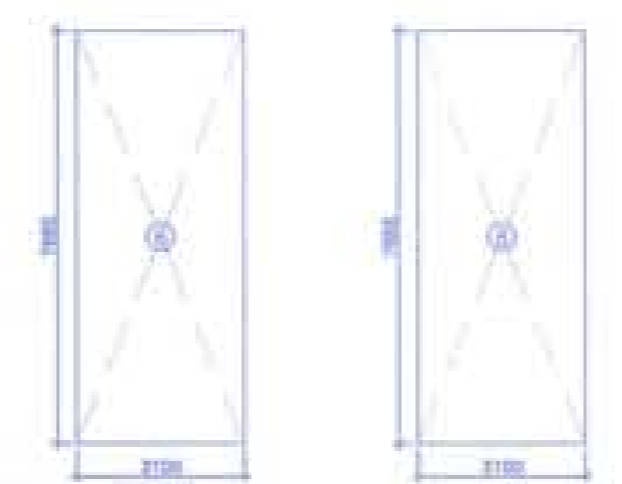
Consulting MEP

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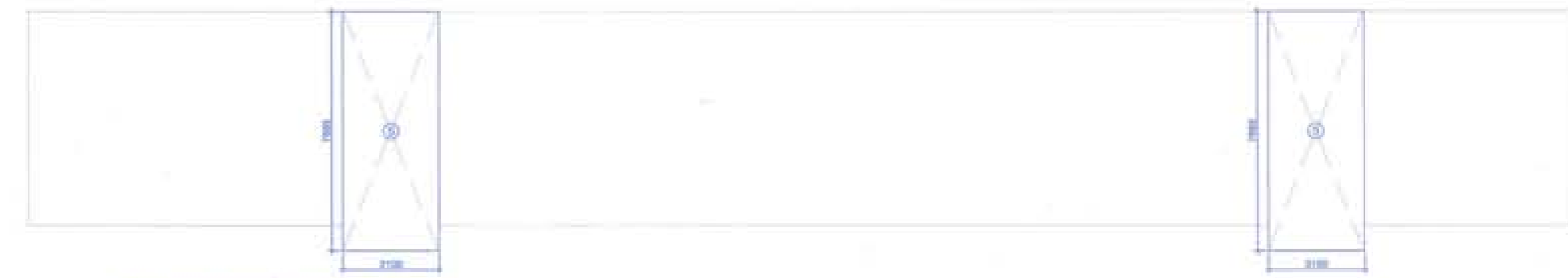
Drawing Title  
**EWS: NON FAR AREA CALCULATION**

Drawing No. <b>EWS-02/02a</b>	North
Scale <b>1:150</b>	
Date <b>JAN' 14</b>	

BUILDING AREA							
BALCONY NON FAR AREA							
Addition #1							
Description	Length (m)	Breadth (m)	Area (sqm)	No. of Figures	Total Area (sqm)		
1	4.00	1.30	5.20	4	20.80		
2	2.40	0.90	2.16	3	6.48		
Total of Addition #1					<b>27.28</b>		
TOTAL TYPICAL FLOOR BALCONY NON FAR AREA							
Total Typical Floor					<b>27.28</b>		
Total Balcony NON FAR Area = Typical Floor Balcony NON FAR Area					<b>27.28</b>		
MUMTY + WATER TANK NON FAR AREA							
Addition #2							
Description	Length (m)	Breadth (m)	Area (sqm)	No. of Figures	Total Area (sqm)		
1	3.00	1.65	4.95	2	9.90		
2	3.00	1.65	4.95	2	9.90		
Total of Addition #2					<b>19.80</b>		
<b>TOTAL NON FAR AREA = (TOTAL BALCONY NON FAR AREA + MUMTY + WATER TANK NON FAR AREA)</b>					<b>47.08</b>		



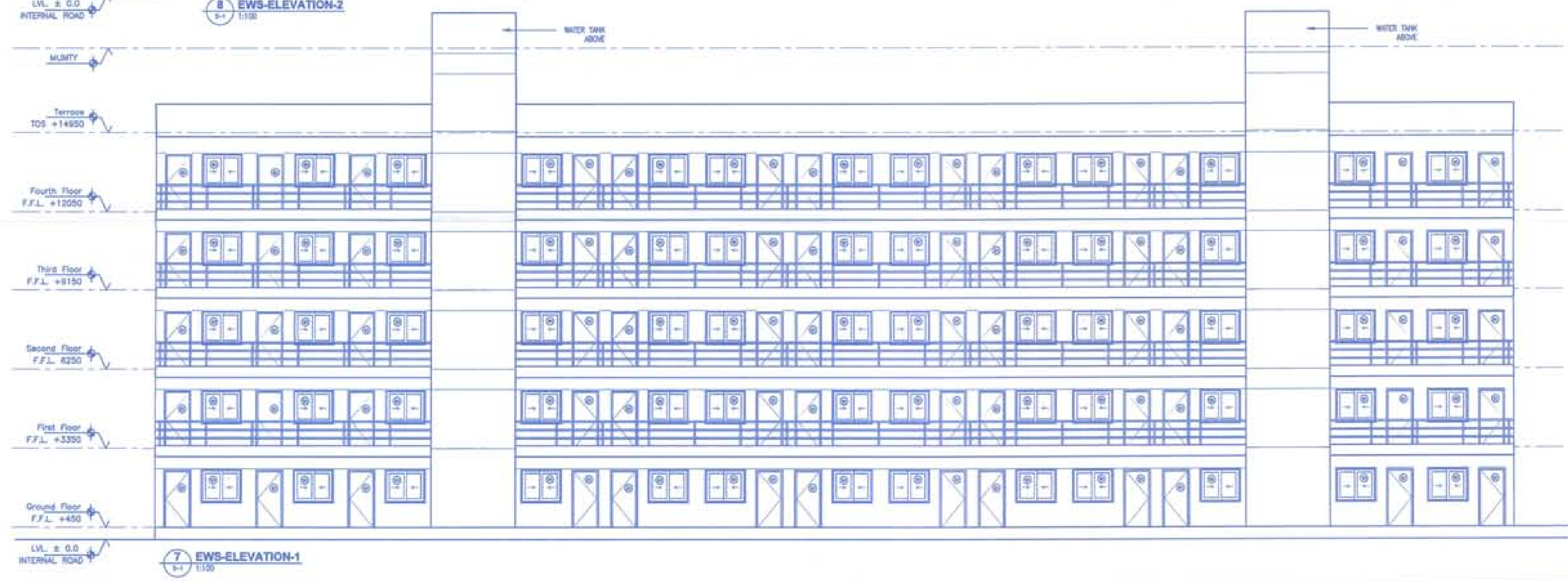
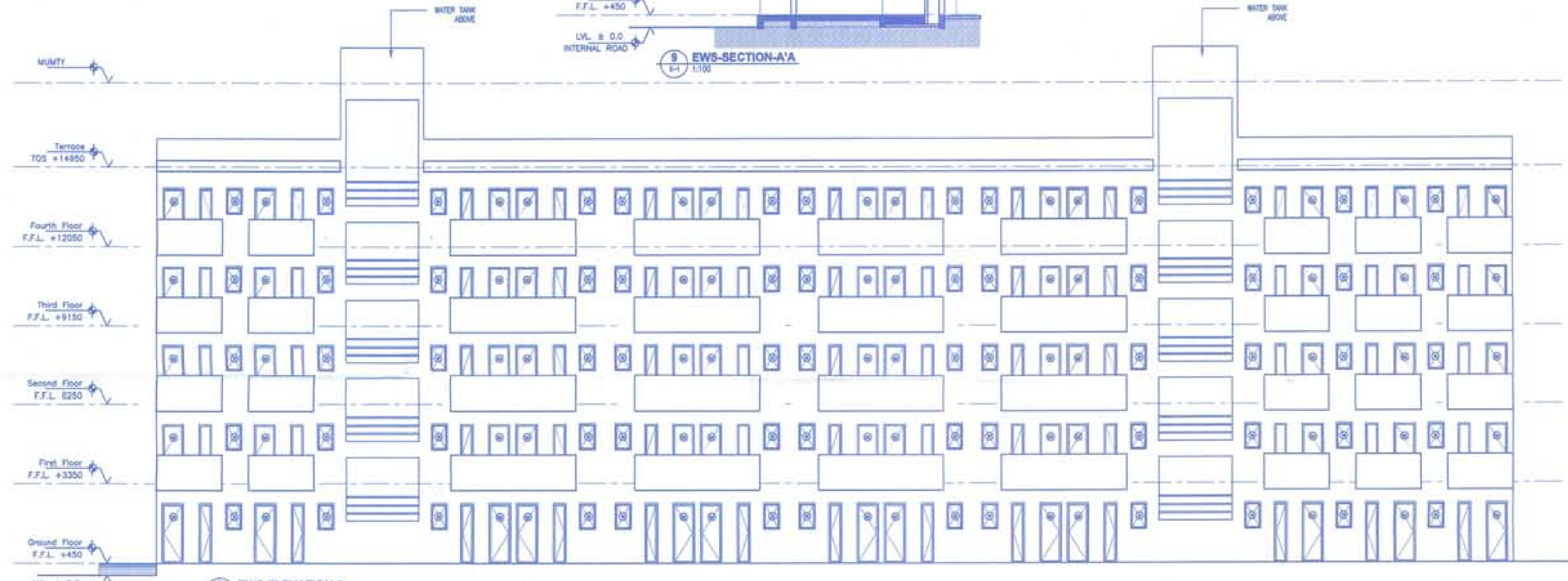
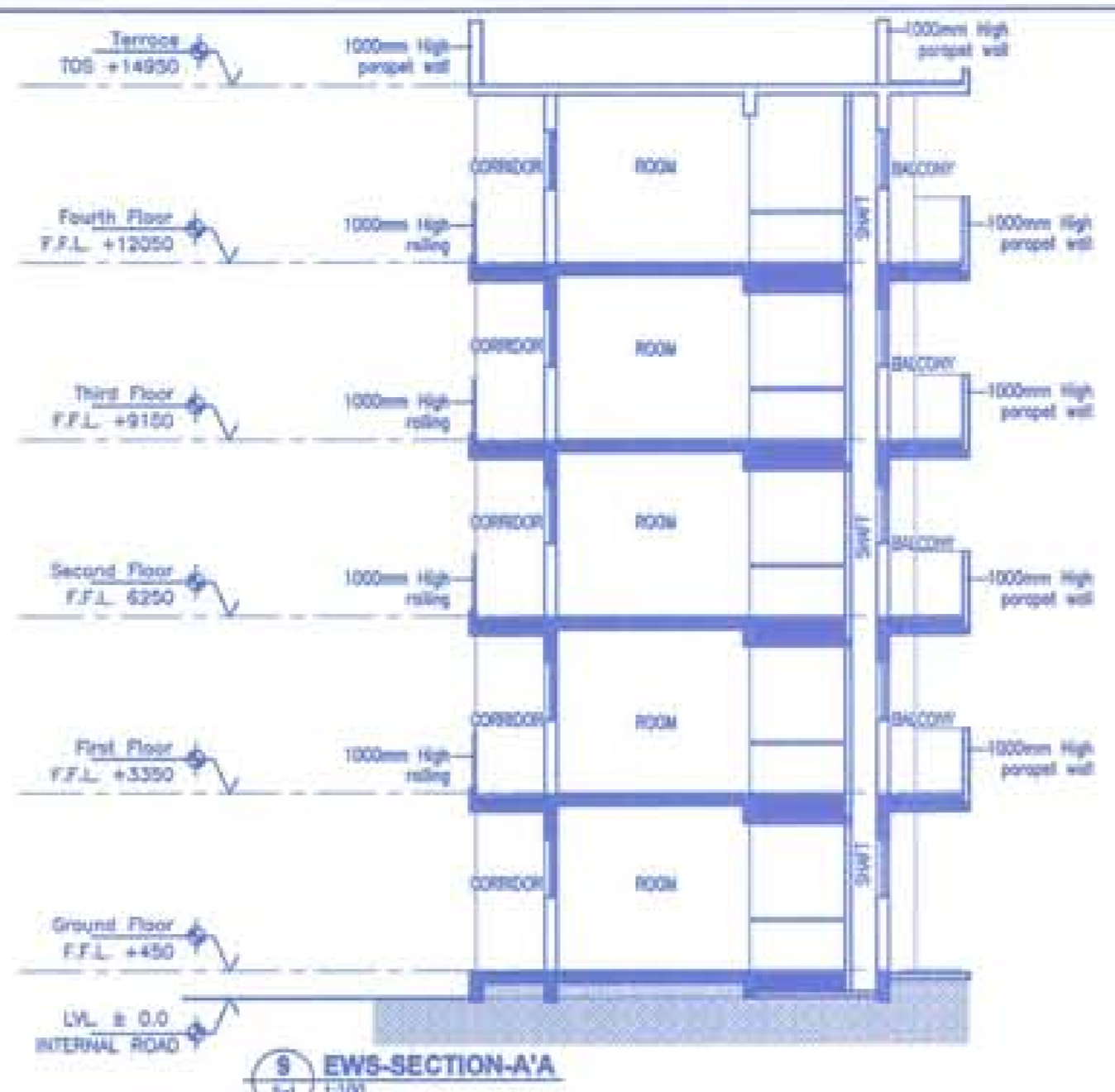
12 EWS- WATER TANK NON FAR AREA  
 3-1 1:150



11 EWS- MUMTY NON FAR AREA  
 3-1 1:150



10 EWS-TYPICAL FLOOR NON FAR AREA  
 3-1 1:150



For Approval, Stamping:

D.T.P. (HO) Member Secretary B.P.A.C. [Signature]

S.T.P. (O) Member B.P.A.C. [Signature]

C.T.P. (Hr.) Chairman B.P.A.C. [Signature]

JD SD PA AYP

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Authorized Signature

[Signature]

STRUCTURAL CONSULTANT

Consulting MEP

Architect's Sign

[Signature]

BALAJI OTRA  
CA / 2006 / 37814

Morphogenesis

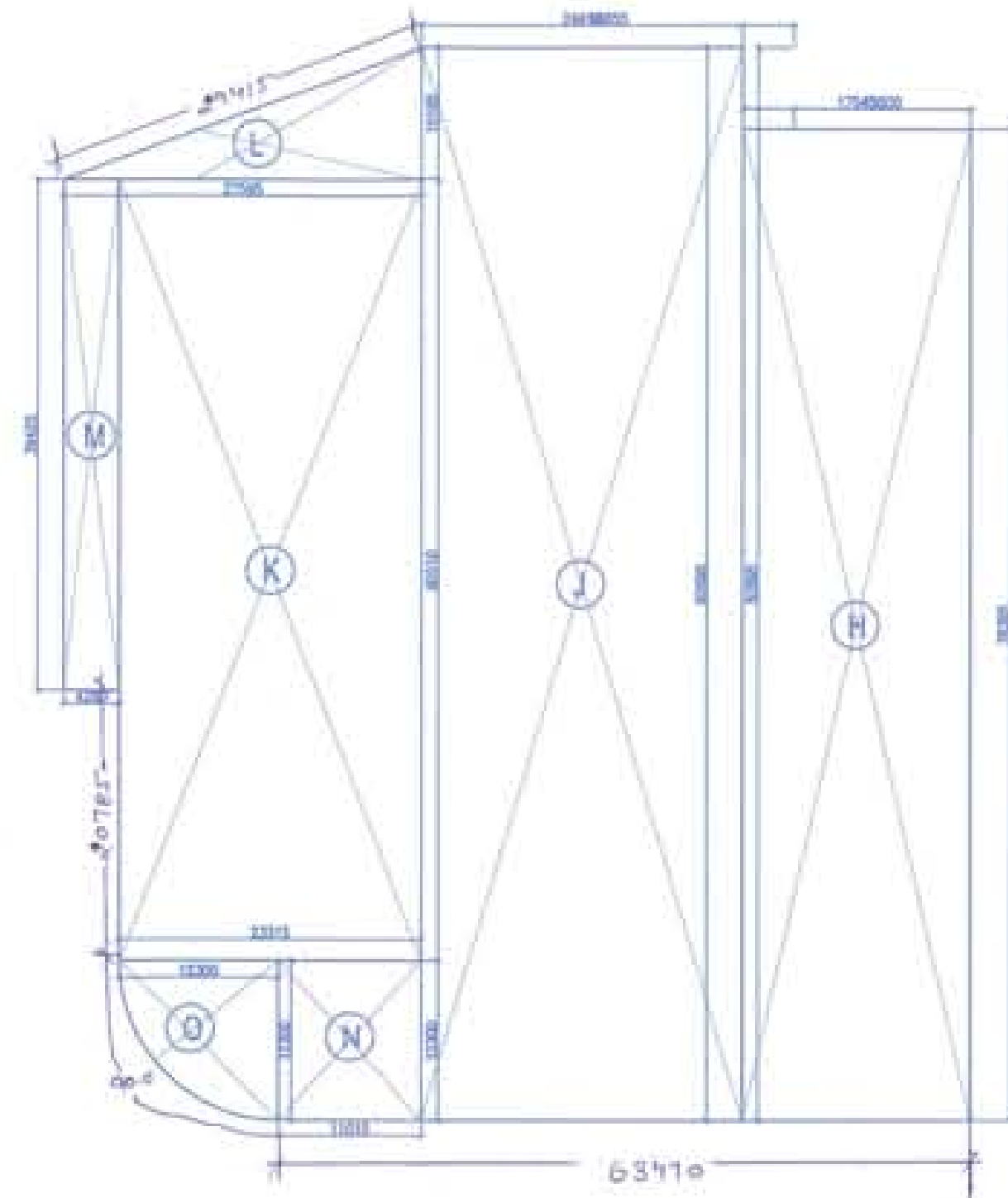
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Drawing Title

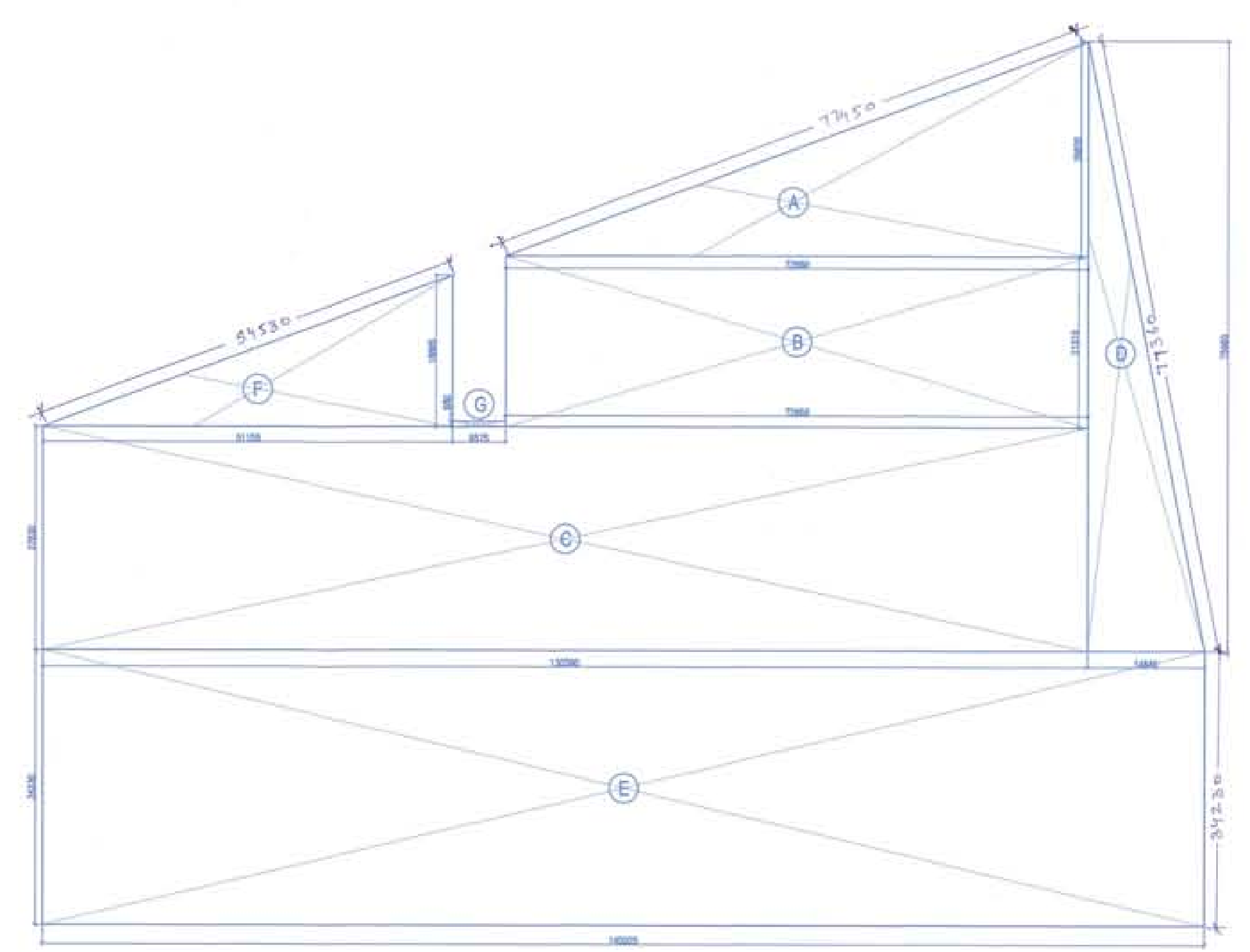
**EWS: ELEVATIONS & SECTION**

Drawing No.	North	
<b>EWS-02/02</b>		
Scale		1:100
Date		JAN' 14

LOWER BASEMENT							
BASEMENT A							
Additions 'A'							
Description	Length (mt)	Breadth (mt)	Base (mt)	Height (mt)	Area (sqm)	No. of figures	Total Area (sqm)
Area of triangle A	-	-	72.660	26.820	974.371	1	974.371
Area of rectangle B	72.660	21.310	-	-	1548.385	1	1548.385
Area of rectangle C	130.390	27.830	-	-	3628.754	1	3628.754
Area of triangle D	-	-	75.960	14.640	556.027	1	556.027
Area of rectangle E	145.025	34.230	-	-	4964.206	1	4964.206
Area of triangle F	-	-	51.155	18.885	483.031	1	483.031
Area of rectangle G	6.575	0.680	-	-	4.471	1	4.471
<b>Total of all additions 'A'</b>							<b>12159.244</b>
BASEMENT B							
Additions 'B'							
Description	Length (mt)	Breadth (mt)	Base (mt)	Height (mt)	Area (sqm)	No. of figures	Total Area (sqm)
Area of rectangle H	76.395	17.545	-	-	1340.350	1	1340.350
Area of rectangle J	82.695	24.910	-	-	2059.932	1	2059.932
Area of rectangle K	60.201	23.315	-	-	1403.586	1	1403.586
Area of triangle L	-	-	27.595	10.185	140.528	1	140.528
Area of rectangle M	39.425	4.280	-	-	168.739	1	168.739
Area of rectangle N	12.300	11.015	-	-	135.485	1	135.485
Area of object O	-	-	-	-	118.822	1	118.822
<b>Total of all additions 'B'</b>							<b>5367.442</b>
<b>Total Floor Area of Upper Basement (C)=(A+B)</b>							<b>17526.686</b>
LOWER BASEMENT - SERVICE AREA							
Additions 'D'							
Description	Length (mt)	Breadth (mt)	Base (mt)	Height (mt)	Area (sqm)	No. of figures	Total Area (sqm)
Area of rectangle 1	16.040	5.845	-	-	93.754	1	93.754
Area of rectangle 2	8.070	4.360	-	-	35.185	1	35.185
Area of rectangle 3	10.770	6.025	-	-	64.889	1	64.889
Area of rectangle 4	16.040	5.420	-	-	86.937	1	86.937
Area of rectangle 5	7.415	5.220	-	-	38.706	1	38.706
Area of rectangle 6	2.900	1.135	-	-	3.292	4	13.166
Area of rectangle 7	3.735	1.200	-	-	4.482	1	4.482
Area of rectangle 8	1.370	0.435	-	-	0.596	1	0.596
Area of rectangle 9	2.900	1.565	-	-	4.539	1	4.539
Area of rectangle 10	7.960	3.500	-	-	27.860	1	27.860
Area of rectangle 11	6.780	3.905	-	-	26.476	1	26.476
Area of rectangle 12	14.800	6.300	-	-	93.240	1	93.240
Area of rectangle 13	32.345	6.730	-	-	217.682	1	217.682
Area of rectangle 14	8.300	4.445	-	-	36.894	1	36.894
Area of rectangle 15	10.240	5.850	-	-	59.904	1	59.904
Area of rectangle 16	10.640	0.435	-	-	4.628	1	4.628
Area of rectangle 17	6.700	3.300	-	-	22.110	1	22.110
Area of rectangle 18	6.650	5.500	-	-	36.575	1	36.575
Area of rectangle 19	16.040	5.420	-	-	86.937	1	86.937
Area of rectangle 20	6.985	2.900	-	-	20.257	2	40.513
Area of rectangle 21	6.680	4.275	-	-	28.557	1	28.557
Area of triangle 22	-	-	37.750	13.935	263.023	1	263.023
Area of rectangle 23	37.750	4.135	-	-	156.096	1	156.096
Area of rectangle 24	21.810	10.770	-	-	234.894	1	234.894
Area of rectangle 25	5.850	5.270	-	-	30.830	1	30.830
Area of rectangle 26	3.735	2.570	-	-	9.599	1	9.599
Area of rectangle 27	5.580	5.270	-	-	29.407	1	29.407
Area of rectangle 28	11.055	5.220	-	-	57.707	1	57.707
Area of rectangle 29	2.900	1.405	-	-	4.075	1	4.075
Area of rectangle 30	7.500	4.405	-	-	33.038	1	33.038
Area of rectangle 31	20.895	11.265	-	-	235.382	1	235.382
Area of rectangle 32	7.010	4.105	-	-	28.776	2	57.552
<b>Total Lower Basement Service Area 'D'</b>							<b>2135.231</b>
<b>Area of Lower Basement (C)</b>							<b>17526.686</b>
<b>Area provided for Services on Lower Basement (D)</b>							<b>2135.231</b>
<b>Area provided for Parking on Lower Basement (C-D)</b>							<b>15391.455</b>

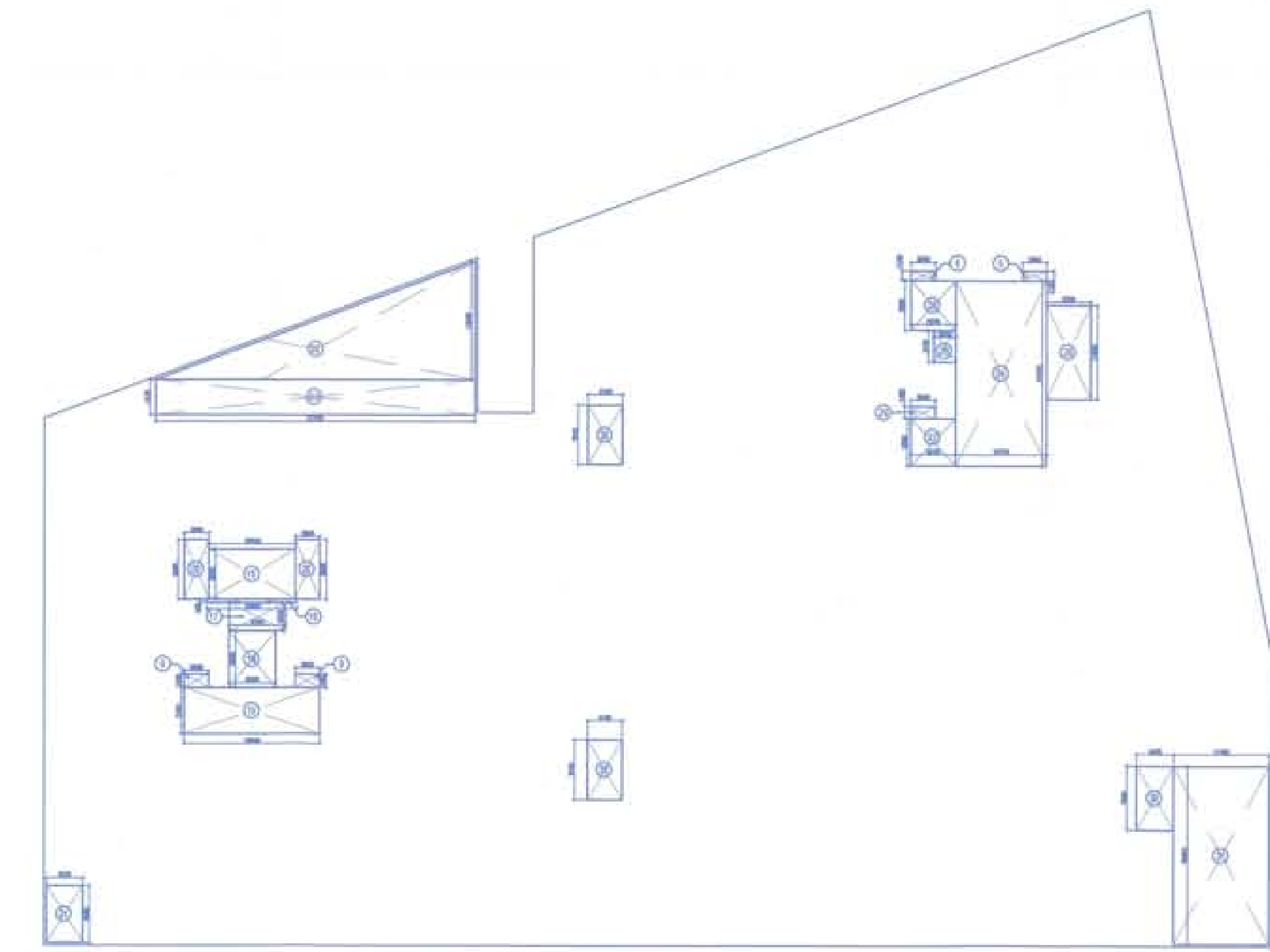


BASEMENT B



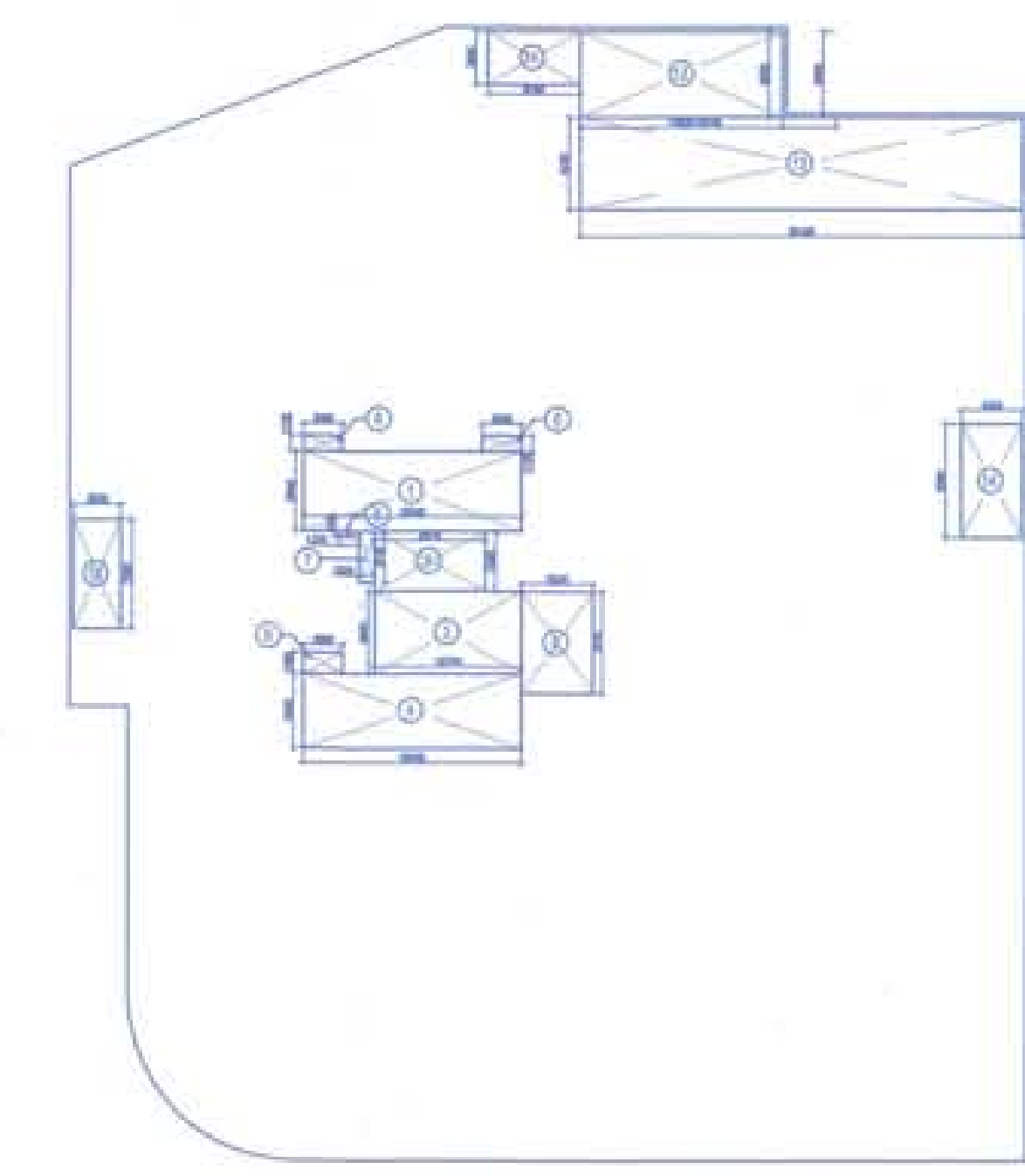
BASEMENT A

02 LOWER BASEMENT FLOOR- AREA CALCULATION  
SCALE 1:500



BASEMENT A

03 LOWER BASEMENT -SERVICE AREA CALCULATION  
SCALE 1:500



BASEMENT B

DOOR SCHEDULE					
TYPE	WIDTH	CILL LVL.	LINTEL LVL.	SIZE (HxW)	REMARK
FD1	1200	-	2400	2400x1200	Fire Door
FD2	1100	-	2400	2400x1100	Fire Door
FD3	1200	-	2400	2400x1200	Fire Door
FD4	1500	-	2400	2400x1500	Fire Door
FD5	1200	-	2150	2150x1200	Fire Door
RS	3000	-	2750	2750x3000	Fire Door
D1	2000	-	2400	2400x2000	Door
D2	1200	-	2400	2400x1200	Door

For Approval Stamping:

- NOTES:
- 1) ALL FIXTURE PROVIDED IN TOILETS ARE AS PER N.B.C.
  - 2) BASEMENT WILL BE ARTIFICIALLY VENTILATED.
  - 3) ALL SPACES (PARKING BASEMENT, SERVICES BASEMENT ETC.) WILL BE ARTIFICIALLY LIT.
  - 4) STANDBY GENERATING CAPACITY WILL BE PROVIDED FOR THE ELECTRICAL REQUIREMENT OF THE TOTAL SCHEME. THIS THEREFORE INCLUDES STANDBY GENERATION FOR ALL COMMON SERVICES, FIRE SERVICES, LIFTS ETC. AND ALSO THE ENTIRE ELECTRICAL LOAD FOR THE VENTILATION.
  - 5) FIRE SAFETY MEASURES AS PER NBC INCLUDES SMOKE DETECTOR - HEAT DETECTOR, SPRINKLER SPACING IN COMPLIANCE WITH CODE

Key Plan:

Project:  
REVISED BASEMENT PLAN IN GROUP HOUSING SCHEME MEASURING 17.55 ACRES (LICENCE NO. 16 OF 2008) IN SECTOR-59 GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S BTVS BUILDWELL PVT. LTD. M/S ORNAMENTAL REALTORS PVT. LTD. M/S ADSON SOFTWARE PVT. LTD. M/S BTVS BUILDWELL EXPORTS PVT. LTD.

STRUCTURAL CONSULTANT

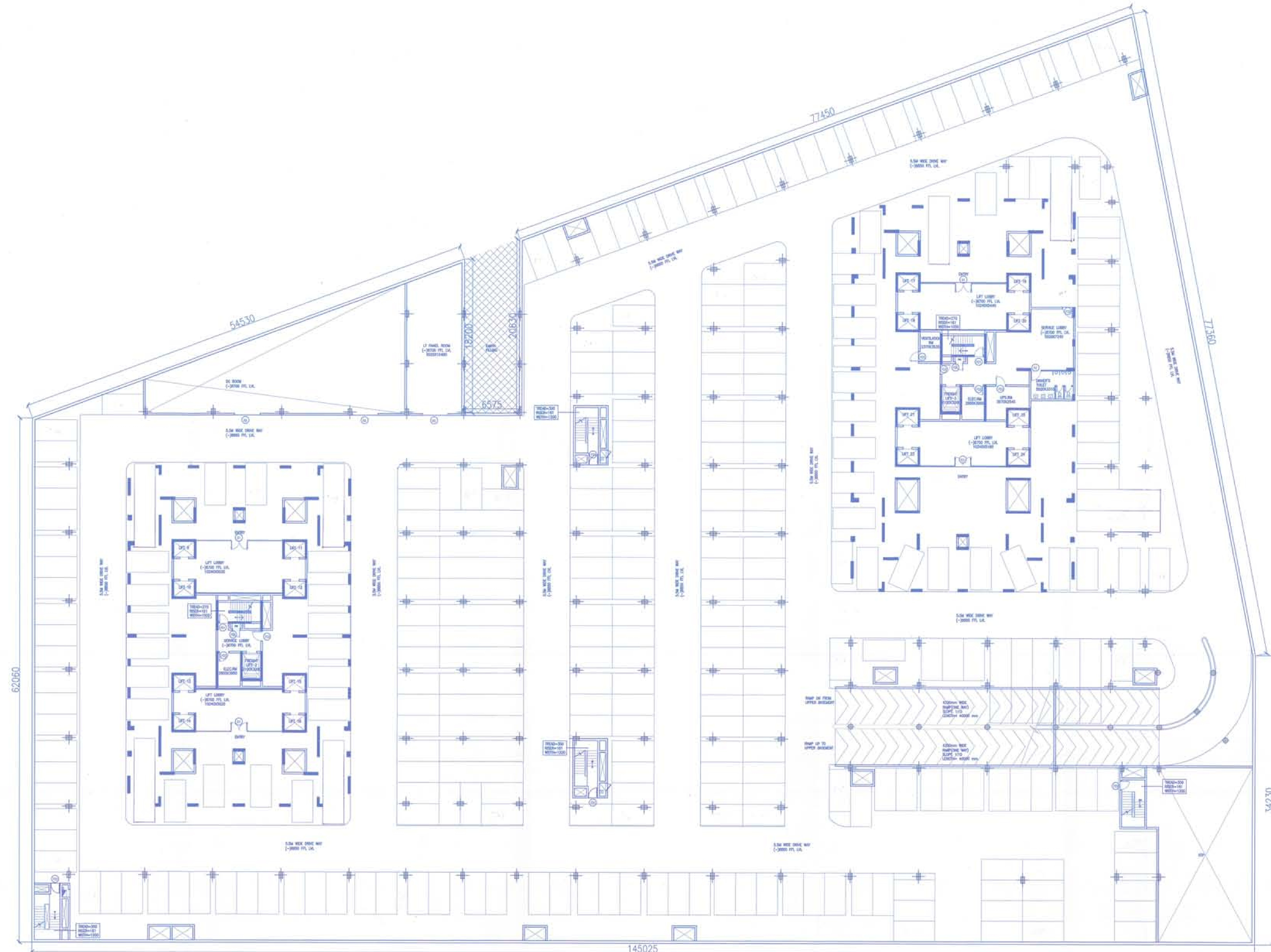
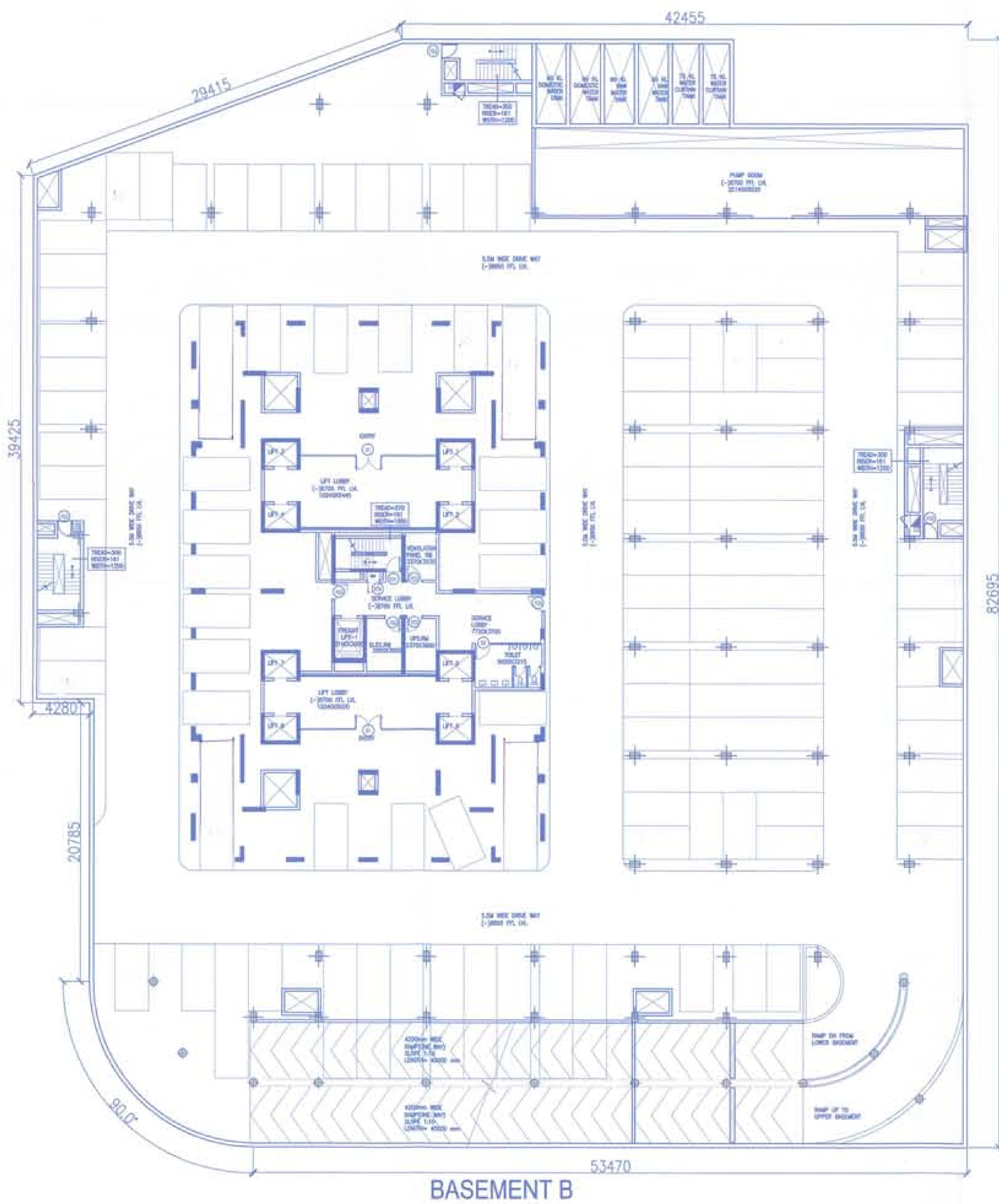
Consulting MEP

Architect's Sign  
Neelu Dhar  
Neelu Dhar  
Architect  
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Drawing Title  
LOWER BASEMENT AREA CALCULATION:

Drawing No. BS-06.1/06  
Scale -  
Date JAN '16



01 LOWER BASEMENT FLOOR PLAN @ -8700 LVL.  
SCALE 1:200

**PARKING CALCULATIONS LOWER BASEMENT(A&B)**

BASEMENT AREA = 17526.686  
 DEDUCTIONS = 2135.213  
 PARKING AREA = 15391.455  
 ECS @ 35 SQM / CAR = 439  
 PROPOSED = 410 CARS

For Approval Stamping:

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Key Plan:

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STRUCTURAL CONSULTANT

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 Neelu Dhar  
 Architect  
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 E Mail: studio@morphogenesis.org

Drawing Title  
 LOWER BASEMENT FLOOR PLAN & PARKING AREA CALCULATION: v.c.

Drawing No.	BS-06/06	North
Scale	-	
Date	JAN '16	



01 SECTION B-B  
SCALE 1:100



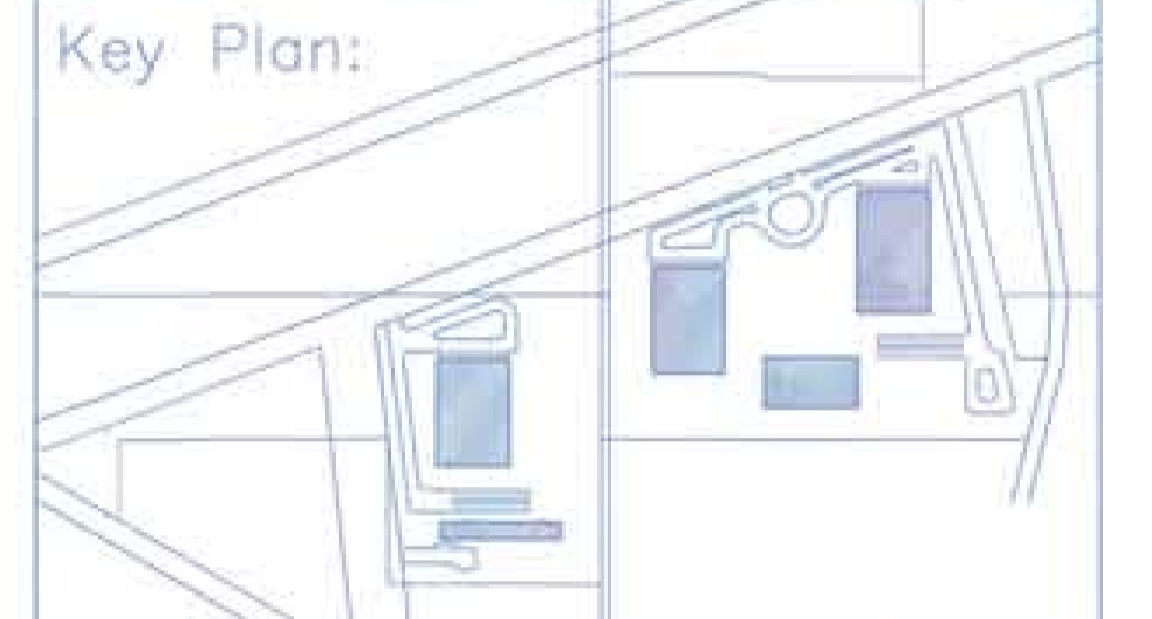
02 SECTION C-C  
SCALE 1:100



03 SECTION A-A  
SCALE 1:100

For Approval Stamping:

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Project:  
 REVISED BASEMENT PLAN IN GROUP HOUSING SCHEME MEASURING 17.55 ACRES (LICENCE NO. 16 OF 2008) IN SECTOR-59 GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY  
 M/S BTVs BUILDWELL PVT. LTD.  
 M/S ORNAMENTAL REALTORS PVT. LTD.  
 M/S ADSON SOFTWARE PVT. LTD. C/O  
 M/S BASE EXPORTS PVT. LTD.

Authorized Signature

STRUCTURAL CONSULTANT

Consulting MEP

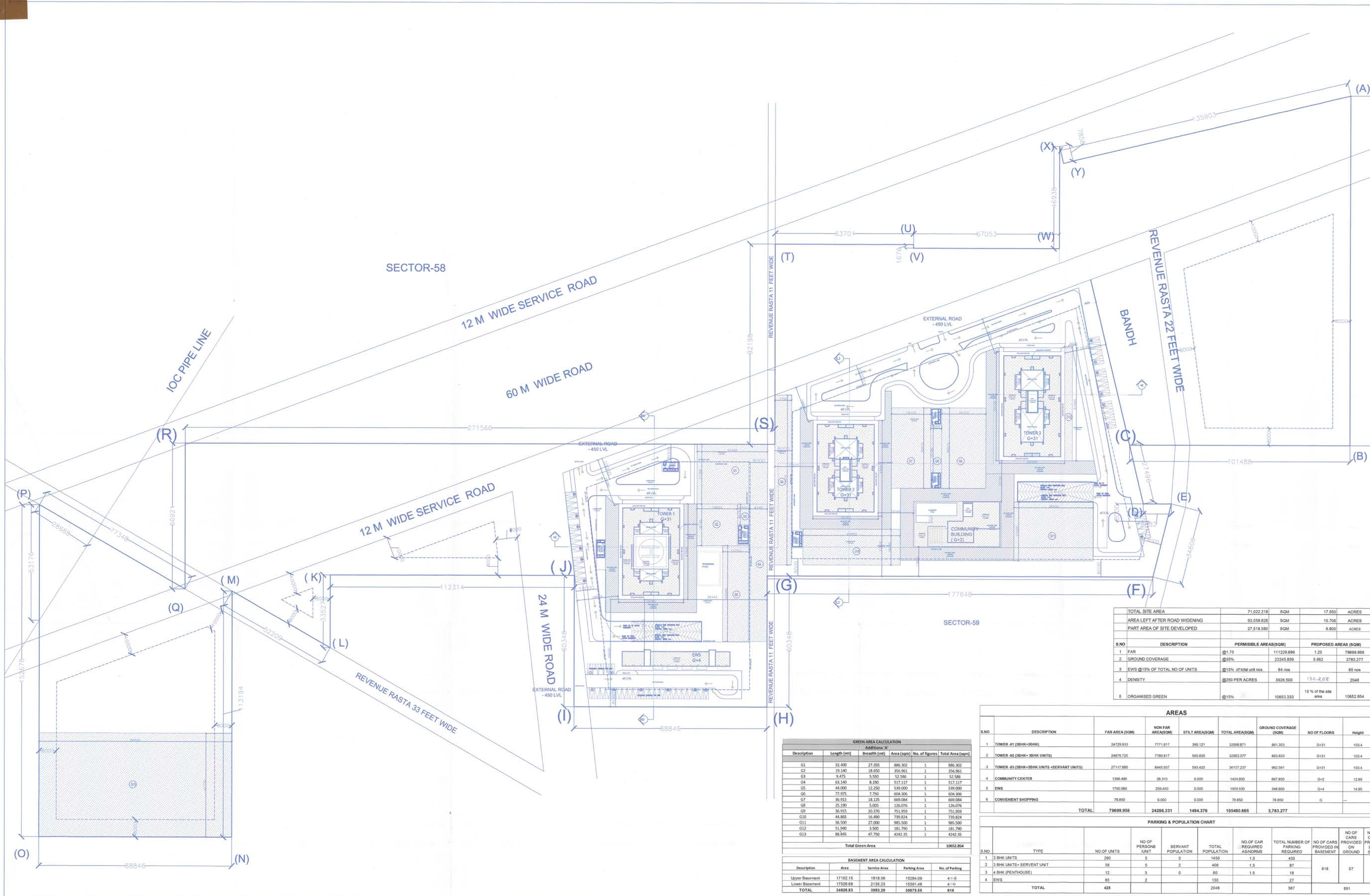
Architect's Sign

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 26490351  
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Drawing Title  
 SITE SECTIONS

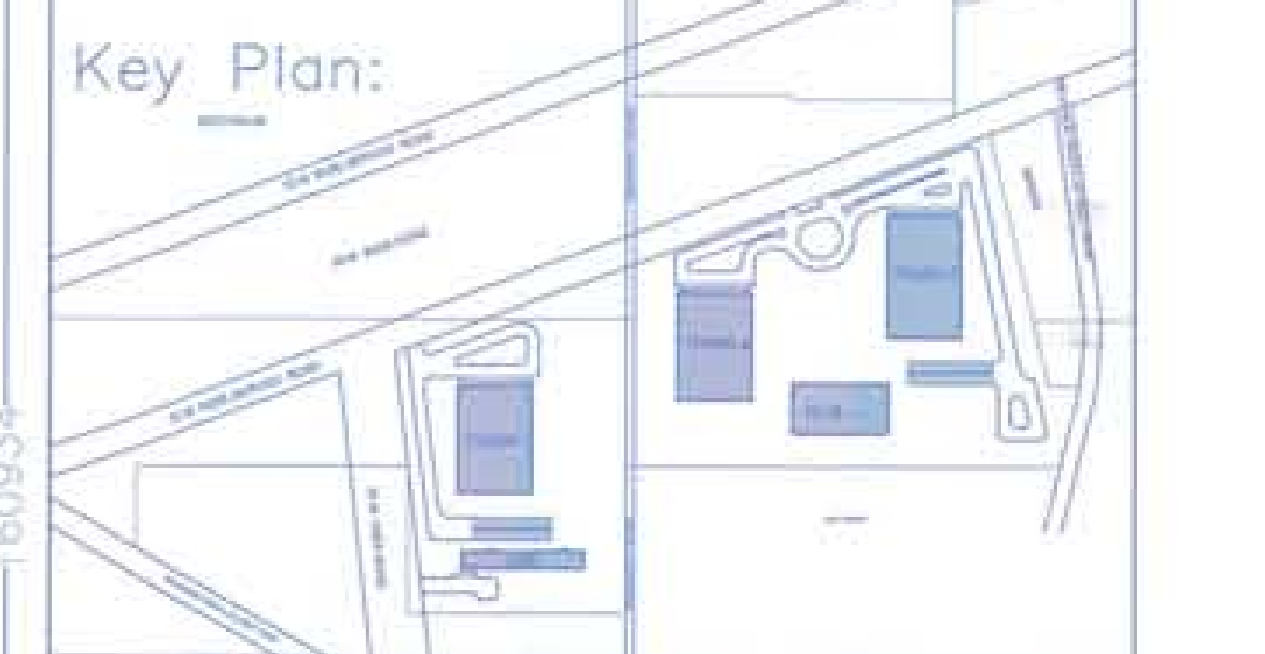
Drawing No.	SITE-5-01	North
Scale	-	
Date	JAN '16	





For Approval Stamping:

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Project:  
 PROPOSED GROUP HOUSING SCHEME MEASURING 17.55 ACRES (LICENCE NO. 16 OF 2008) IN SECTOR-59 GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S BTVs BUILDWELL PVT. LTD. M/S ORNAMANTAL REALTORS PVT. LTD. M/S ADSON SOFTWARE PVT. LTD. C/O M/S BASE EXPORTS PVT. LTD.

Authorized Signature

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Drawing Title  
 SITE PLAN

Drawing No.  
 A-101

Scale  
 1:500

Date  
 JAN '16

TOTAL SITE AREA	71,022.218	SQM	17,550	ACRES
AREA LEFT AFTER ROAD WIDENING	63,559.826	SQM	15,708	ACRES
PART AREA OF SITE DEVELOPED	27,518.580	SQM	6,800	ACRES

S.NO	DESCRIPTION	PERMISSIBLE AREAS(SQM)	PROPOSED AREAS (SQM)
1	FAR	@1.75	111229.696
2	GROUND COVERAGE	@35%	22245.939
3	EWS @15% OF TOTAL NO.OF UNITS	@15% of total unit nos.	84 nos
4	DENSITY	@250 PER ACRES	3926.500
5	ORGANISED GREEN	@15%	10653.333

S.NO	DESCRIPTION	FAR AREA (SQM)	NON FAR AREA(SQM)	STILT AREA(SQM)	TOTAL AREA(SQM)	GROUND COVERAGE (SQM)	NO OF FLOORS	Height
1	TOWER-01 (BHK+SBHK)	24729.933	7771.817	365.121	32866.871	861.353	G+31	103.4
2	TOWER-02 (BHK+SBHK UNITS)	24679.725	7790.917	505.835	32976.477	863.833	G+31	103.4
3	TOWER-03 (BHK+SBHK UNITS+SERVANT UNITS)	27117.880	8445.927	593.420	36157.227	962.591	G+31	103.4
4	COMMUNITY CENTER	1396.496	28.310	0.000	1424.806	687.850	G+2	12.85
5	EWS	1700.080	289.450	0.000	1989.530	548.800	G+4	14.95
6	CONVENIENT SHOPPING	78.850	0.000	0.000	78.850	78.850	G	-
<b>TOTAL</b>		<b>79699.958</b>	<b>24286.331</b>	<b>1494.376</b>	<b>105480.665</b>	<b>3,783.277</b>		

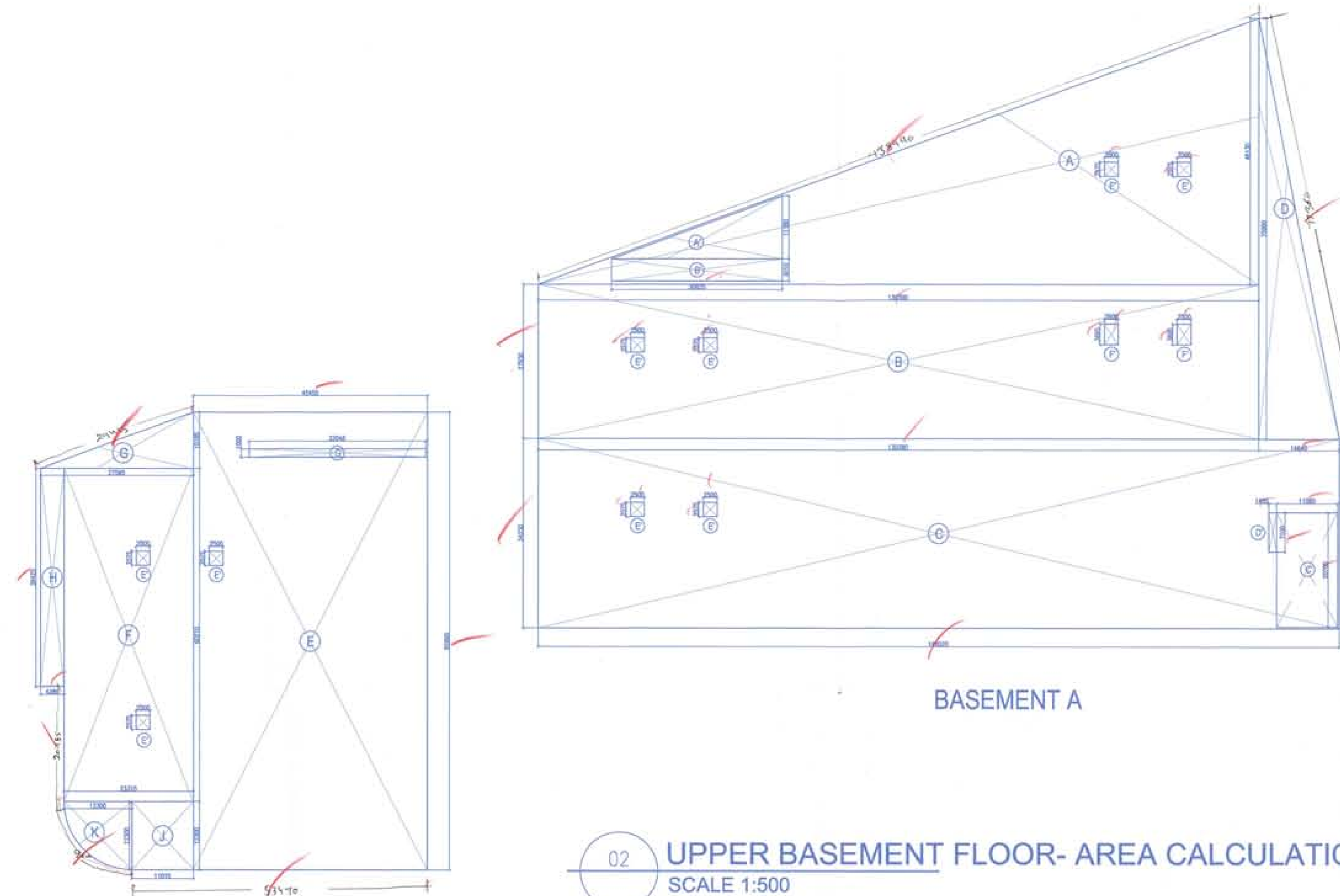
S.NO	TYPE	NO.OF UNITS	NO OF PERSONS UNIT	SERVANT POPULATION	TOTAL POPULATION	NO OF CAR REQUIRED AS/NORMS	TOTAL NUMBER OF PARKING REQUIRED	NO OF CARS PROVIDED IN BASEMENT	NO OF CARS PROVIDED ON GROUND	NO OF CARS PROVIDED ON STILT
1	3 BHK UNITS	290	5	0	1450	1.5	435			
2	3 BHK UNITS+SERVANT UNIT	58	5	2	408	1.5	87			
3	4 BHK (PENTHOUSE)	12	5	0	60	1.5	18	816	57	16
4	EWS	85	2		170		27			
<b>TOTAL</b>		<b>425</b>			<b>2048</b>		<b>567</b>		<b>891</b>	

GREEN AREA CALCULATION				
Description	Length (m)	Breadth (m)	Area (sqm)	Total Area (sqm)
G1	22.420	27.355	886.302	886.302
G2	19.140	18.650	356.961	356.961
G3	0.475	5.550	2.636	2.636
G4	61.140	8.390	512.117	512.117
G5	44.000	12.250	539.000	539.000
G6	77.975	7.750	604.306	604.306
G7	36.955	18.125	669.084	669.084
G8	25.190	5.005	126.076	126.076
G9	36.955	20.370	751.959	751.959
G10	44.865	16.490	739.824	739.824
G11	36.500	27.690	1010.500	1010.500
G12	51.940	3.500	181.790	181.790
G13	88.845	47.790	4242.35	4242.35
<b>Total Green Area</b>				<b>10652.854</b>

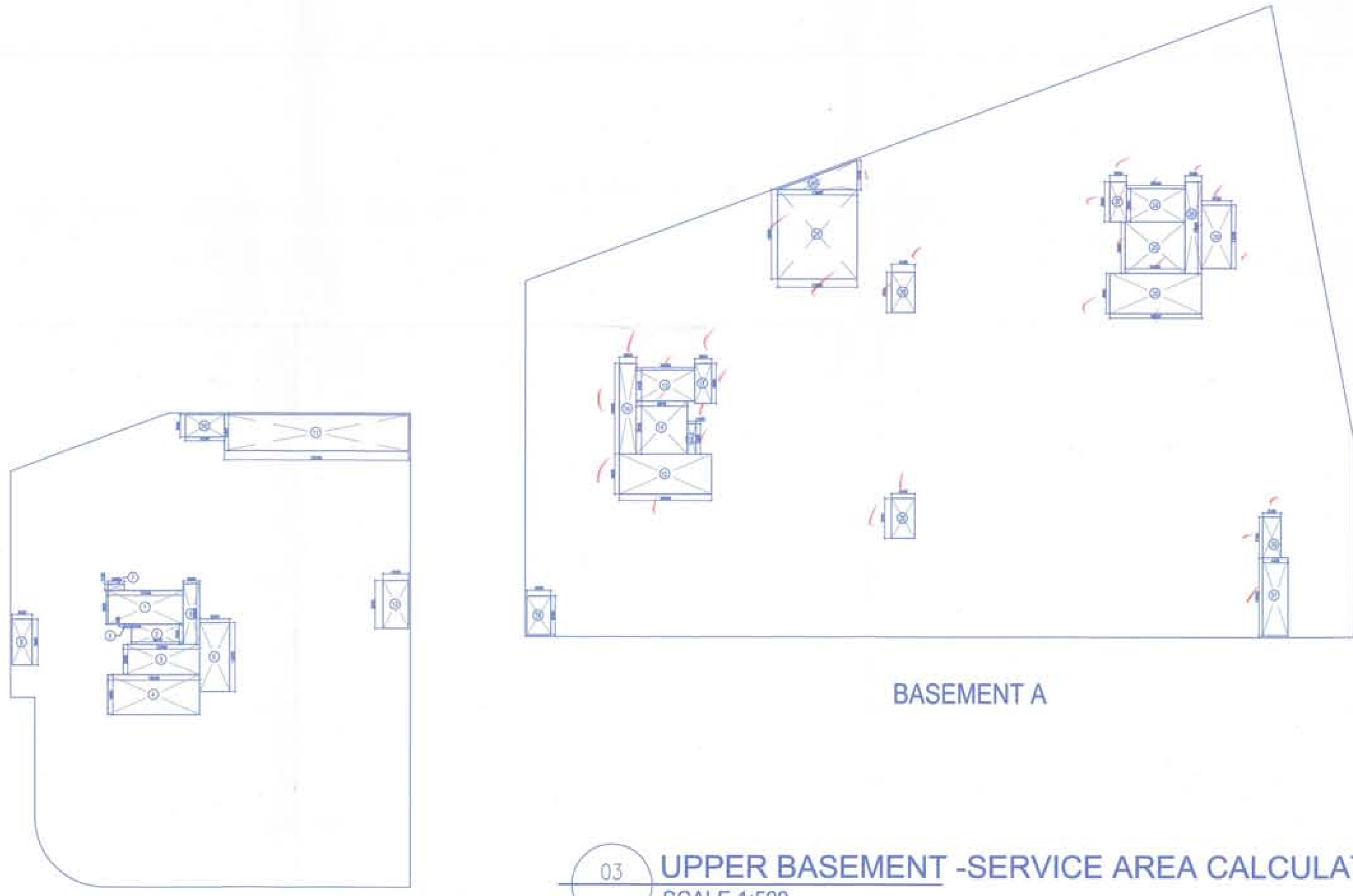
BASEMENT AREA CALCULATION				
Description	Area	Service Area	Parking Area	No. of Parking
Upper Basement	17102.15	1818.06	15284.09	410
Lower Basement	17526.68	2135.23	15391.46	410
<b>TOTAL</b>	<b>34628.83</b>	<b>3953.29</b>	<b>30675.55</b>	<b>818</b>

UPPER BASEMENT							
BASEMENT A							
Additions 'A'							
Description	Length (mt)	Breadth (mt)	Base (mt)	Height (mt)	Area (sqm)	No. of figures	Total Area (sqm)
Area of triangle A	-	-	130.99	48.130	3137.835	1	3137.835
Area of rectangle B	130.390	27.830	-	-	3628.754	1	3628.754
Area of rectangle C	145.025	34.230	-	-	4964.206	1	4964.206
Area of triangle D	-	-	75.980	14.640	556.027	1	556.027
Total of all additions 'A'							12286.822
BASEMENT B							
Additions 'B'							
Description	Length (mt)	Breadth (mt)	Base (mt)	Height (mt)	Area (sqm)	No. of figures	Total Area (sqm)
Area of rectangle E	82.695	42.455	-	-	3510.816	1	3510.816
Area of rectangle F	60.210	23.315	-	-	1403.796	1	1403.796
Area of triangle G	-	-	27.595	10.185	140.528	1	140.528
Area of rectangle H	39.425	4.280	-	-	168.739	1	168.739
Area of rectangle I	12.300	11.015	-	-	135.485	1	135.485
Area of object K	-	-	-	-	118.822	1	118.822
Total of all additions 'B'							5478.185
Deductions							
Description	Length (mt)	Breadth (mt)	Base (mt)	Height (mt)	Area (sqm)	No. of figures	Total Area (sqm)
Area of triangle A'	-	-	30.825	11.38	175.39	1	175.39
Area of rectangle B'	30.825	4.010	-	-	123.61	1	123.61
Area of rectangle C'	20.700	11.065	-	-	229.05	1	229.05
Area of rectangle D'	7.300	1.465	-	-	10.33	1	10.33
Area of rectangle E'	2.575	2.500	-	-	6.44	9	57.96
Area of rectangle F'	3.695	2.500	-	-	9.24	2	18.48
Area of rectangle G'	32.045	1.500	-	-	48.07	1	48.07
Total of all Deductions 'C'							662.86
Total Floor Area of Upper Basement (D)=(A+B)-C							17102.15
UPPER BASEMENT - SERVICE AREA							
Additions 'E'							
Description	Length (mt)	Breadth (mt)	Base (mt)	Height (mt)	Area (sqm)	No. of figures	Total Area (sqm)
Area of rectangle 1	13.140	5.850	-	-	76.869	1	76.869
Area of rectangle 2	8.970	3.535	-	-	31.709	1	31.709
Area of rectangle 3	13.340	5.285	-	-	70.502	1	70.502
Area of rectangle 4	16.040	6.985	-	-	112.039	1	112.039
Area of rectangle 5	10.520	2.900	-	-	30.508	1	30.508
Area of rectangle 6	11.975	5.220	-	-	62.510	1	62.510
Area of rectangle 7	2.900	1.135	-	-	3.292	1	3.292
Area of rectangle 8	1.470	0.435	-	-	0.639	1	0.639
Area of rectangle 9	7.960	3.500	-	-	27.860	1	27.860
Area of rectangle 10	6.780	3.905	-	-	26.476	1	26.476
Area of rectangle 11	32.345	6.300	-	-	203.774	1	203.774
Area of rectangle 12	8.300	4.445	-	-	36.894	1	36.894
Area of rectangle 13	10.240	5.435	-	-	55.654	1	55.654
Area of rectangle 14	9.235	8.970	-	-	82.838	1	82.838
Area of rectangle 15	16.040	6.985	-	-	112.039	1	112.039
Area of rectangle 16	15.805	2.900	-	-	45.835	1	45.835
Area of rectangle 17	6.985	2.900	-	-	20.257	1	20.257
Area of rectangle 18	5.385	1.470	-	-	7.769	1	7.769
Area of rectangle 19	6.780	4.205	-	-	28.510	1	28.510
Area of rectangle 20	-	-	13.900	5.130	35.654	1	35.654
Area of rectangle 21	15.580	13.900	-	-	216.701	1	216.701
Area of rectangle 22	7.010	4.105	-	-	28.776	1	28.776
Area of rectangle 23	7.010	4.105	-	-	28.776	1	28.776
Area of rectangle 24	10.240	5.845	-	-	59.853	1	59.853
Area of rectangle 25	10.440	8.980	-	-	93.751	1	93.751
Area of rectangle 26	16.040	6.985	-	-	112.039	1	112.039
Area of rectangle 27	6.985	2.900	-	-	20.257	1	20.257
Area of rectangle 28	15.965	2.900	-	-	46.299	1	46.299
Area of rectangle 29	11.055	5.220	-	-	57.707	1	57.707
Area of rectangle 30	7.100	3.150	-	-	22.365	1	22.365
Area of rectangle 31	13.600	4.425	-	-	59.908	1	59.908
Total Upper Basement Service Area 'E'							1818.057
Area of Upper Basement (D)							17102.15
Area provided for Services on Upper Basement (E)							1818.057
Area provided for Parking on Upper Basement (D-E)							15284.092



02 UPPER BASEMENT FLOOR- AREA CALCULATION  
SCALE 1:500

DOOR SCHEDULE				
TYPE	WIDTH	CILL LVL.	LINTEL LVL.	REMARK
FD1	1200	-	2400	2400x1200 Fire Door
FD2	1100	-	2400	2400x1100 Fire Door
FD3	1200	-	2400	2400x1200 Fire Door
FD4	1500	-	2400	2400x1500 Fire Door
FD5	1200	-	2150	2150x1200 Fire Door
RS	3000	-	2750	2750x3000 Fire Door
D1	2000	-	2400	2400x2000 Door
D2	1200	-	2400	2400x1200 Door



03 UPPER BASEMENT -SERVICE AREA CALCULATION  
SCALE 1:500

BASEMENT B

BASEMENT A

For Approval Stamping:

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Key Plan:

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STRUCTURAL CONSULTANT

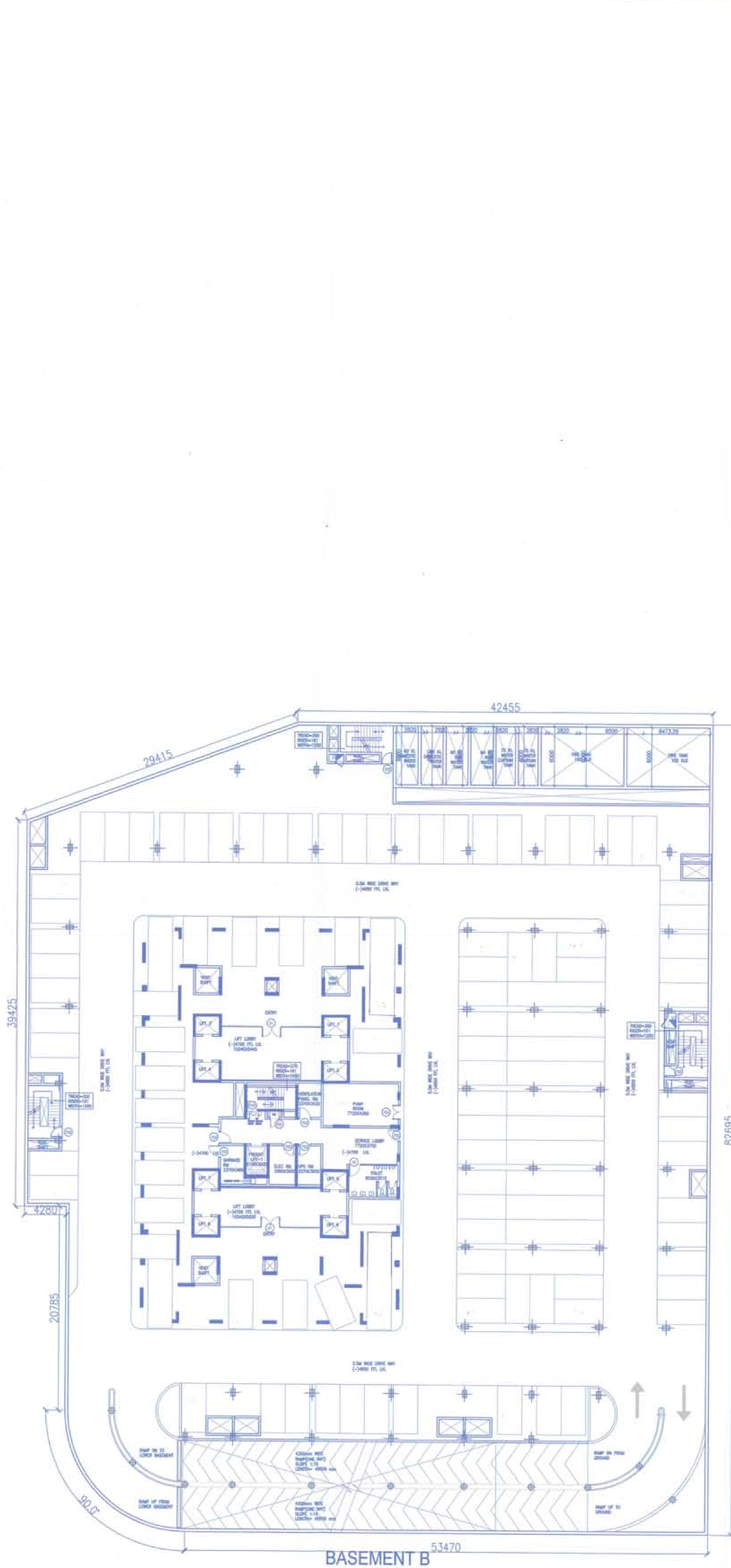
Consulting MEP

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Drawing Title  
UPPER BASEMENT AREA CALCULATION:

Drawing No.	North
BS-05.1/06	
Scale	
Date	
JAN '16	



01 UPPER BASEMENT FLOOR PLAN @ -4700 LVL.  
SCALE 1:200

**PARKING CALCULATIONS UPPER BASEMENT (A&B)**

BASEMENT AREA = 17102.15  
 DEDUCTIONS = 1818.057  
 PARKING AREA = 15284.092  
 ECS @ 35 SQM / CAR = 436  
 PROPOSED = 408 CARS

For Approval Stamping:

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Key Plan:

Project:  
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STRUCTURAL CONSULTANT

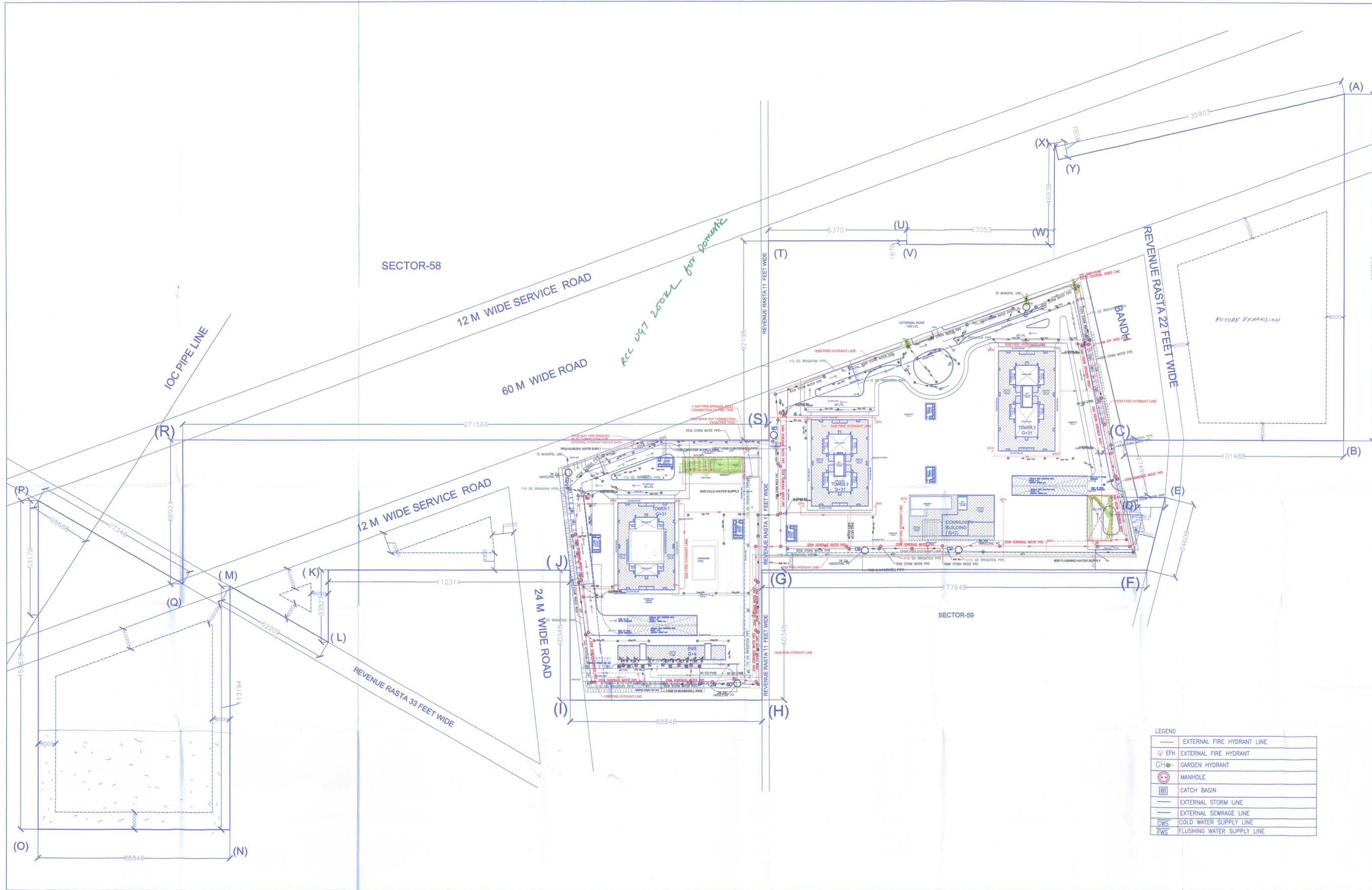
Consulting MEP

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 Neelu Diner  
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Drawing Title  
 UPPER BASEMENT FLOOR PLAN & PARKING AREA CALCULATION:

Drawing No.	BS-05/06	No rth	
Scale	-		
Date	JAN '16		



For Approval Stamp:  
 [Signatures and stamps of various authorities]

- NOTES:
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  - 5) FIRE SAFETY MEASURES AS PER NBC INCLUDES SMOKE DETECTOR, HEAT DETECTOR, SPRINKLER SPACING IN COMPLIANCE WITH CODE



Project: -  
 PROPOSED GROUP HOUSING SCHEME MEASURING 17.55 ACRES (LICENCE NO. 16 OF 2008) IN SECTOR-59 GURGAON MANESAR URBAN COMPLEX BEING DEVELOPED BY M/S BTVS BUILDWELL PVT. LTD. M/S ORNAMANTAL REALTORS PVT. LTD. M/S ADSON SOFTWARE PVT. LTD. C/O M/S BASE EXPORTS PVT. LTD.

Authorized Signature  
 [Signature]

STRUCTURAL CONSULTANT

Consulting MEP

Architect's Sign  
 [Signature]  
 Morphogenesis

N-85B, Panchsheel Park, New Delhi, 110017, India.  
 TEL: 91 11 41828070 FAX: 91 11 26490351  
 E Mail: studio@morphogenesis.org

Drawing Title  
 SITE SERVICE PLAN

Drawing No. A-102  
 Scale 1:500  
 Date JAN '14

North

LEGEND

	EXTERNAL FIRE HYDRANT LINE
	EXTERNAL FIRE HYDRANT
	GARDEN HYDRANT
	MANHOLE
	CATCH BASIN
	EXTERNAL STORM LINE
	EXTERNAL SEWERAGE LINE
	COLD WATER SUPPLY LINE
	FLUSHING WATER SUPPLY LINE













For Approval Signatures:  
 D.T.P. (HQ) Member Secretary B.P.A.C.  
 S.T.P. (G) Member B.P.A.C.  
 C.T.P. (H) Chairman B.P.A.C.

- NOTES:
- 1) ALL FIXTURE PROVIDED IN TOILETS ARE AS PER N.B.C.
  - 2) BASEMENT WILL BE ARTIFICIALLY VENTILATED.
  - 3) ALL SPACES (PARKING BASEMENT, SERVICES BASEMENT ETC.) WILL BE ARTIFICIALLY LIT.
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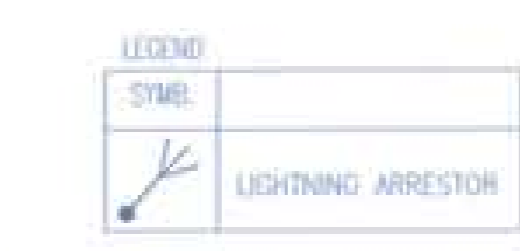
Authorized Signature  
*[Signature]*

STRUCTURAL CONSULTANT

Consulting MEP

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*[Signature]*  
 Morphogenesis  
 PALATI OTRA  
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 E Mail: studio@morphogenesis.org

Drawing Title  
 MUMTY LEVEL PLAN  
 TOWER-1  
 Drawing No. T\_01-6  
 Scale 1:100, 1:150  
 Date JAN '14



LEGEND

SYMB	DESCRIPTION
⊕	ADDRESSABLE SMOKE DETECTOR
⊕	HEAT DETECTOR
⊕	TALK BACK UNIT
⊕	HOOTER CUM SPEAKER
⊕	MANUAL CALL POINT
⊕	MONITOR MODULE
⊕	LPG DETECTOR

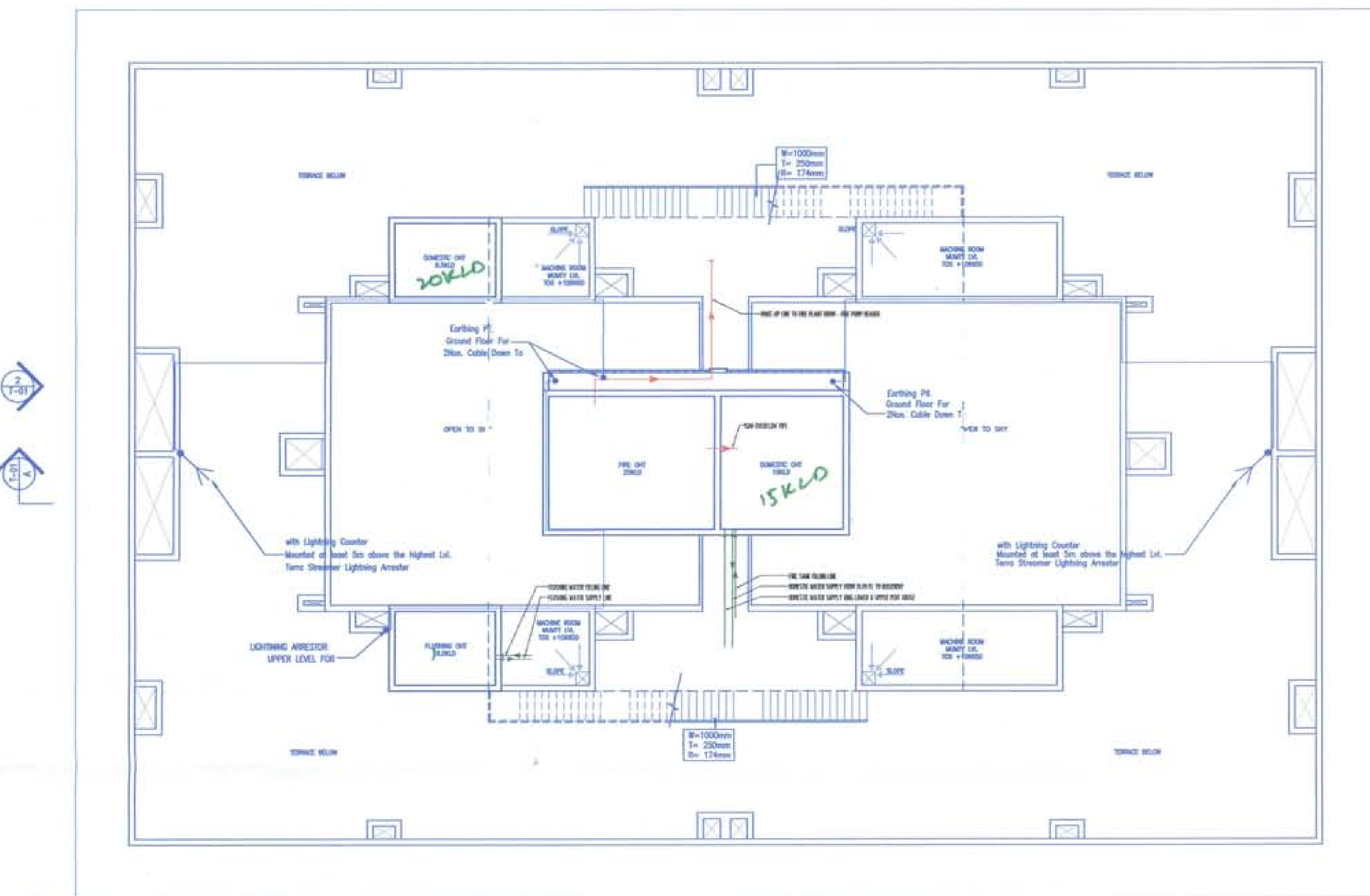
LEGEND-

⊕	FIRE HOSE CABINET
⊕	150# HYDRANT PIPE
⊕	80# DRAIN PIPE
⊕	150# SPRINKLER PIPE
⊕	PENDENT SPRINKLER
⊕	SPRINKLER BRANCH PIPE
⊕	SPRINKLER HEADER PIPE
⊕	BUTTERFLY VALVE
⊕	FLOW SWITCH
⊕	CO <sup>2</sup> FIRE EXTINGUISHER
⊕	WATER TYPE FIRE EXTINGUISHER

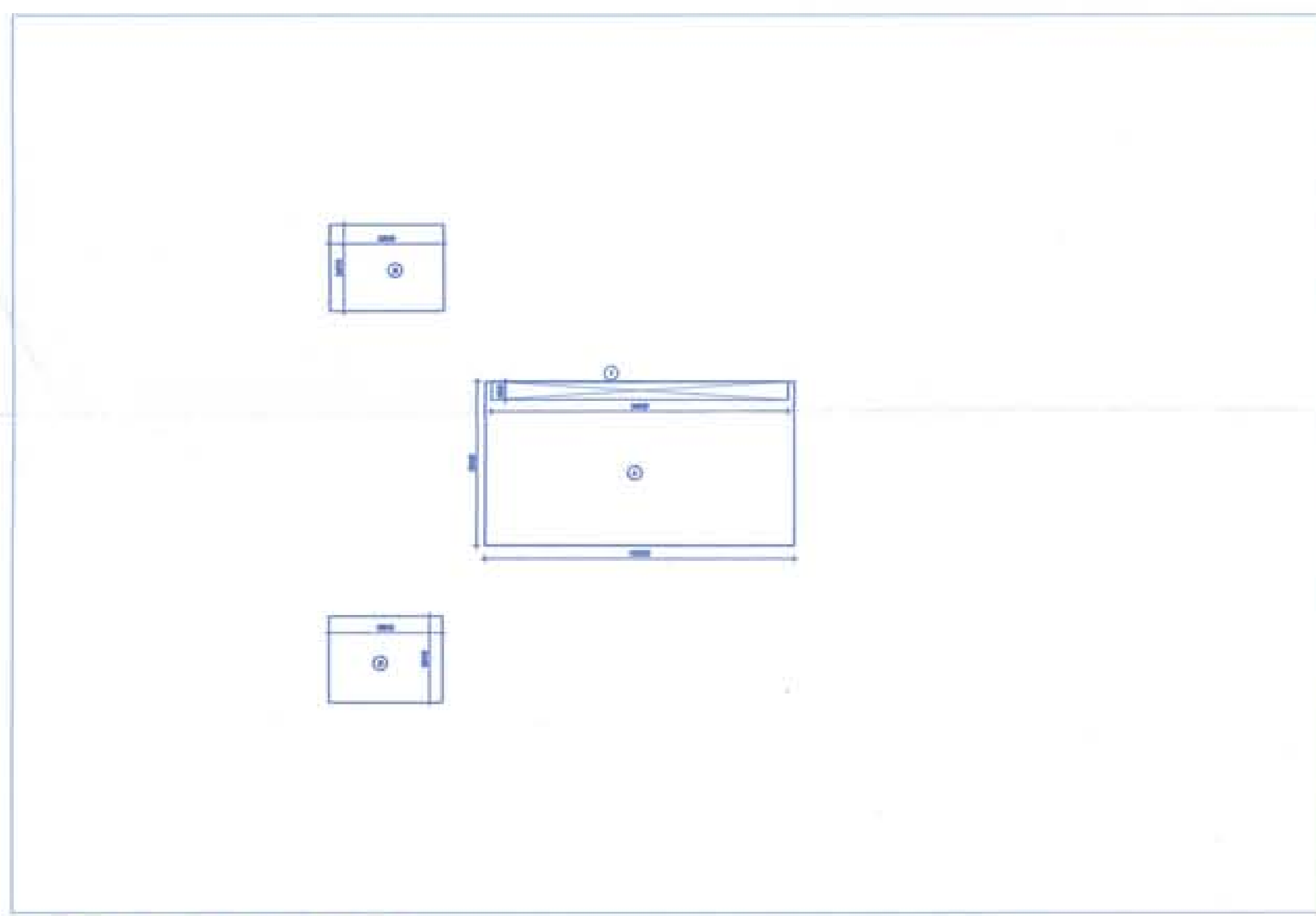
SCHEDULE OF PIPES

PIPE NO.	DESCRIPTION
1	110 OD uPVC SOIL PIPE
2	110 OD uPVC WASTE PIPE
3	75 OD uPVC ANTI-SIPHONAGE PIPE
4	110 OD uPVC RAIN WATER PIPE FOR TERRACE
5	110 OD uPVC BALCONY DRAIN PIPE
6	75 OD uPVC BALCONY DRAIN PIPE
7	DOMESTIC WATER SUPPLY PIPE
8	FLUSHING WATER SUPPLY PIPE
9	HOT WATER SUPPLY PIPE
10	SOFT WATER RISER SUPPLY PIPE
11	KITCHEN WASTE PIPE
12	DOMESTIC WATER RISER SUPPLY PIPE
13	FLUSHING WATER RISER SUPPLY PIPE
14	DOMESTIC WATER SUPPLY DOWN TAKE LOWER & UPPER PIPE PENT HOUSE
15	HOT WATER SUPPLY DOWN TAKE LOWER & UPPER PIPE PENT HOUSE
16	FLOOR TRAP
17	FLOOR DRAIN
18	WASTE PIPE RUNNING AT FLOOR LVL.
19	PIPE RUNNING AT CEILING LVL.

DOM - 1x15,000  
 1x20,000  
 FLU - 1x18,500



01 MUMTY LEVEL PLAN - TOWER 1  
 SCALE 1/100



AREA CALCULATION - TOWER 1

TOWER 1							
3Bedroom - Mumty Level (Non FAR)							
Additions 'A'							
Description	Length (mt)	Breadth (mt)	Base (mt)	Height (mt)	Area (sqm)	No. of figures	Total Area (sqm)
Area of rectangle A	10.350	5.500	-	-	56.925	1	56.925
Area of rectangle B	3.800	2.900	-	-	11.020	2	22.040
Total of all additions 'A'							78.965
Deductions 'B'							
Description	Length (mt)	Breadth (mt)	Base (mt)	Height (mt)	Area (sqm)	No. of figures	Total Area (sqm)
Area of rectangle 1	9.950	0.600	-	-	5.970	1	5.970
Total NON FAR for Tower 1(Mumty Level)=(A-B)							72.995

02 MUMTY LEVEL NON FAR AREA TOWER 1  
 SCALE 1/50

For Approval Stamping:  
 D.T.P. (M) Member Secretary B.P.A.C.  
 B.T.P. (G) Member B.P.A.C.  
 P. S. Chhabra Chairman B.P.A.C.

- NOTES:
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  - 5) FIRE SAFETY MEASURES AS PER NBC INCLUDES SMOKE DETECTOR, HEAT DETECTOR, SPRINKLER SPACING IN COMPLIANCE WITH CODE.



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Authorized Signature

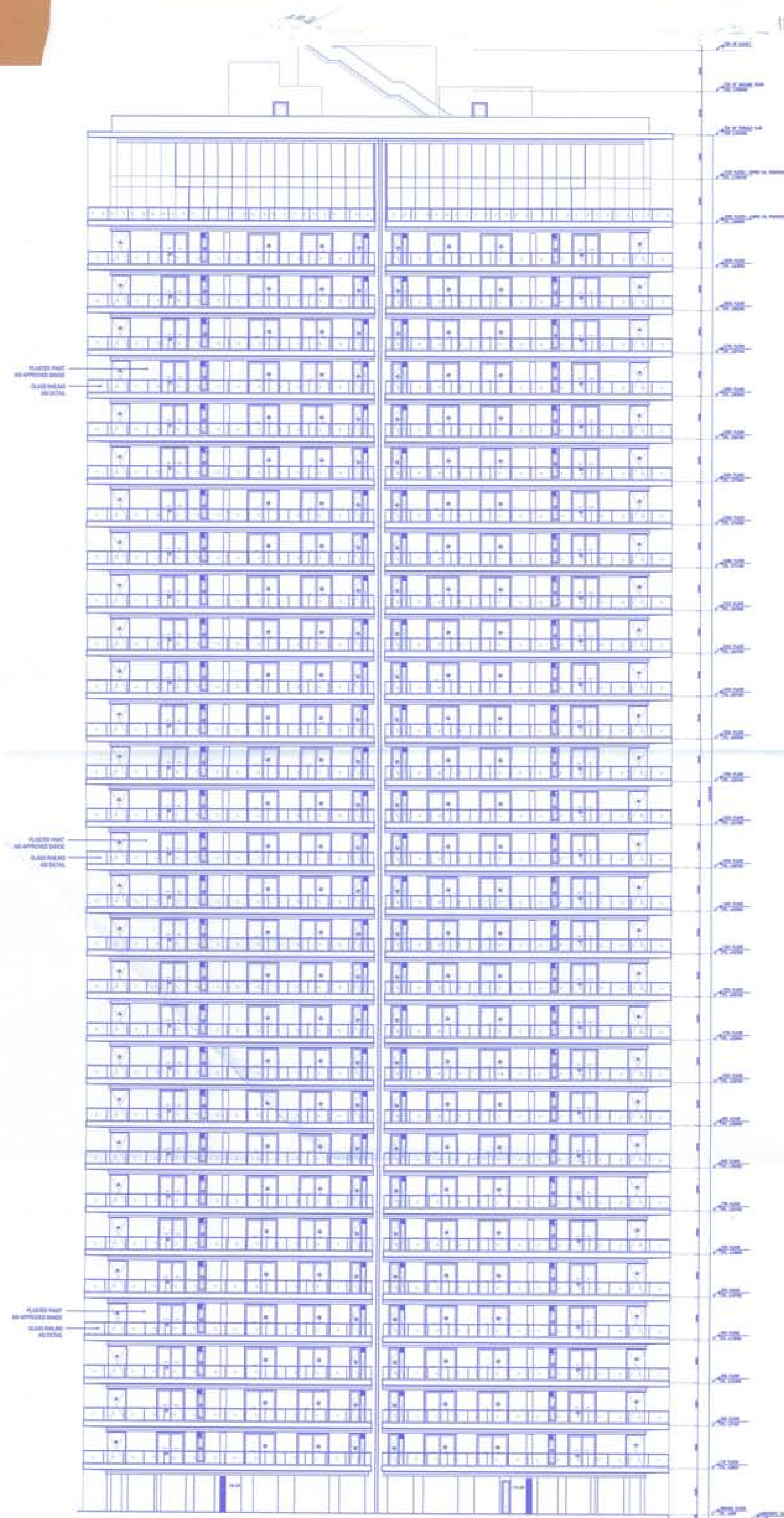
STRUCTURAL CONSULTANT

Consulting MEP

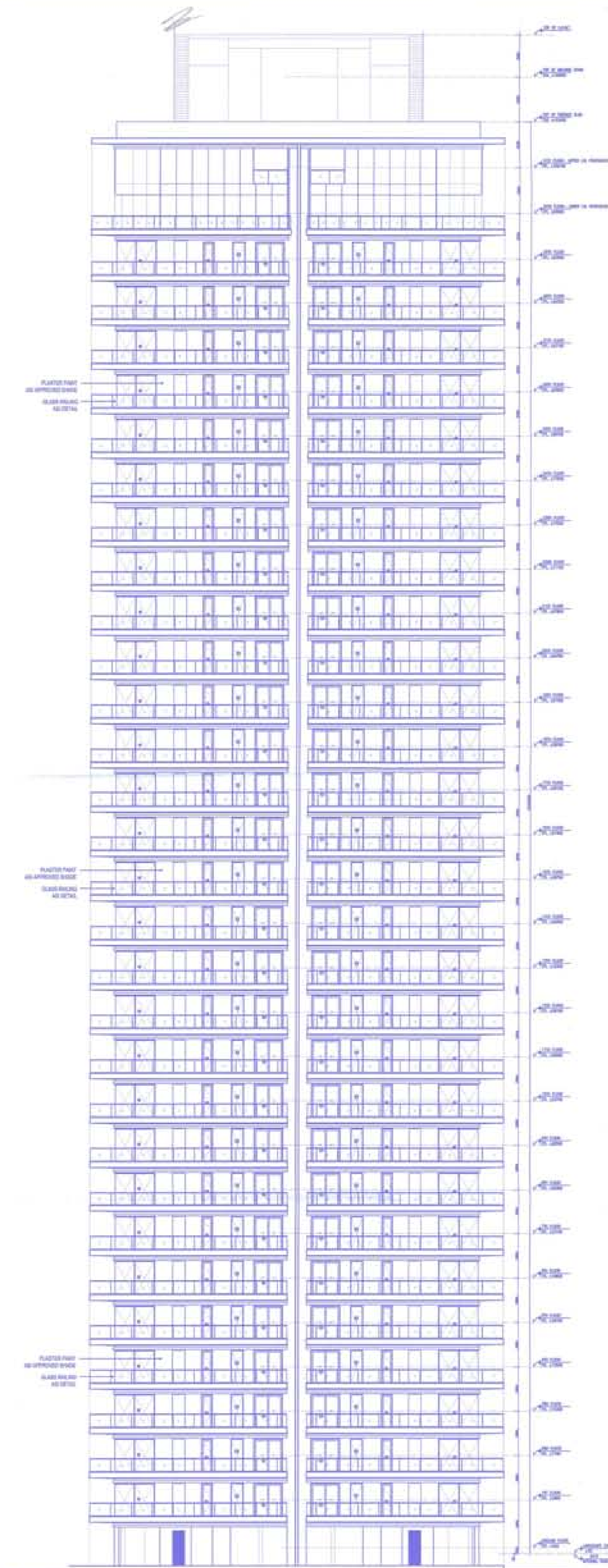
Architect's Sign  
  
 Morphogenesis  
 N-85B, Panchsheel Park, New Delhi, 110017, India.  
 TEL: 91 11 41828070 FAX: 91 11 26490351  
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Drawing Title  
 ELEVATIONS  
 TOWER-1

Drawing No. T_01-8	North 
Scale 1:200	
Date JAN '14	



ELEVATION 1-TOWER 1  
 SCALE 1:200



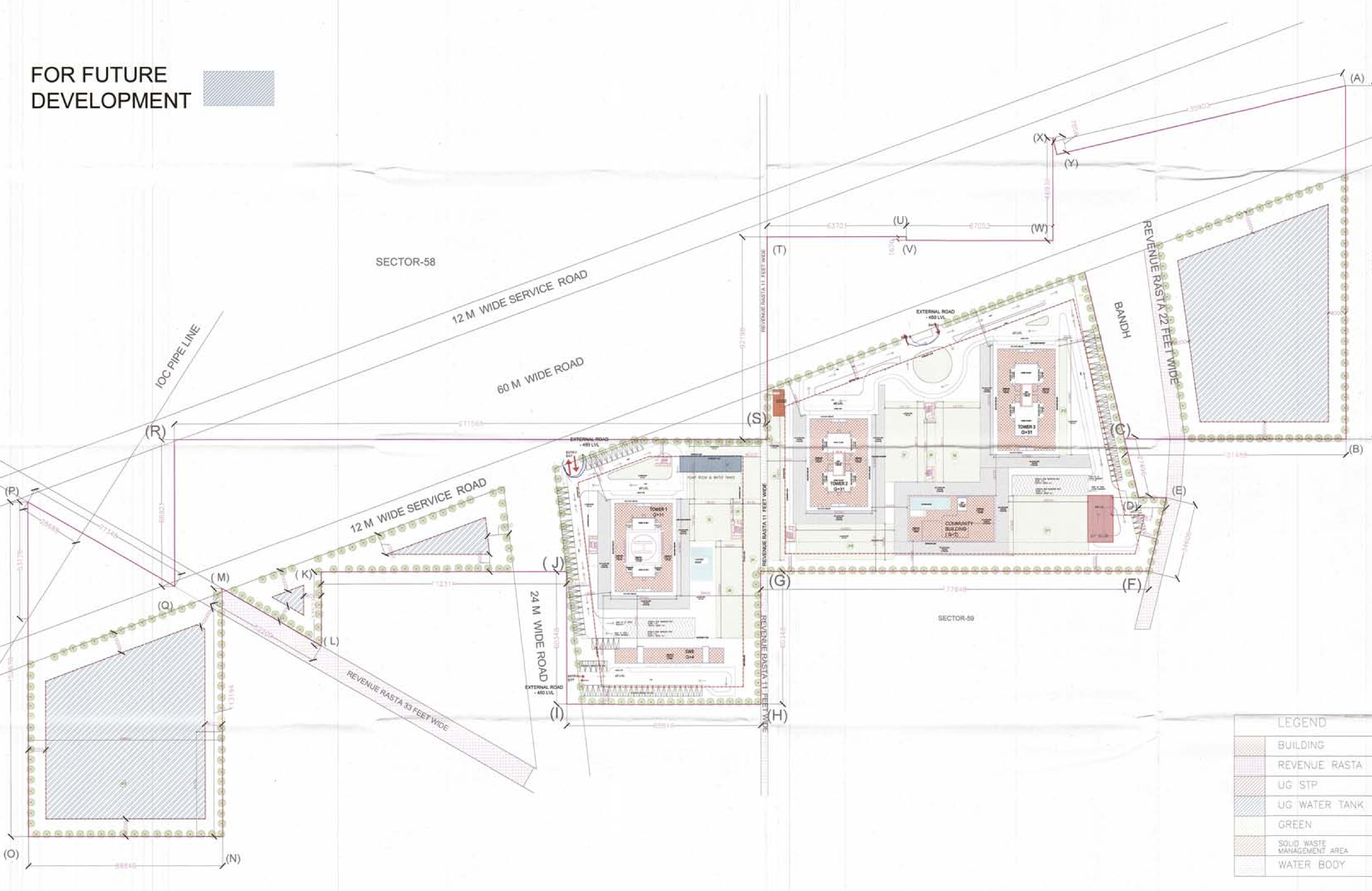
ELEVATION 2-TOWER 1  
 SCALE 1:200

## SPECIFICATION SHEET FOR APARTMENTS

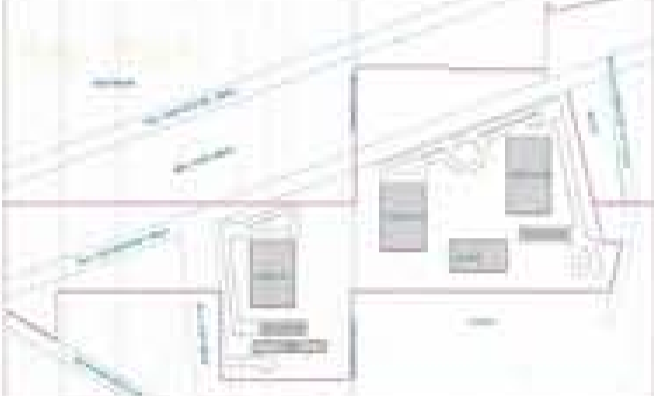
APARTMENT SPACES	FEATURES	FINISHES
<b>LIVING ROOM/ DINING ROOM/FAMILY LOUNGE</b>	WALLS	LOW VOC ACRYLIC EMULSION PAINT
	FLOORING	ITALIAN MARBLE
	CEILING	LOW VOC ACRYLIC EMULSION PAINT & PART GYPSUM FALSE CEILING
	DOORS	BOTH SIDE VENEER FINISH FLUSH DOOR WITH HARDWOOD FRAME
<b>BEDROOMS</b>	WINDOWS	DOUBLE GLAZED UPVC FRAMED UNIT
	WALLS	LOW VOC ACRYLIC EMULSION PAINT
	FLOORING	LAMINATED WOODEN FLOORING
	CEILING	LOW VOC ACRYLIC EMULSION PAINT & PART GYPSUM FALSE CEILING
	DOORS	BOTH SIDE VENEER FINISH FLUSH DOOR WITH HARDWOOD FRAME
<b>KITCHEN</b>	WINDOWS	DOUBLE GLAZED UPVC FRAMED UNIT
	WALLS	WALL TILES UPTO TWO FEET ABOVE THE COUNTER AND ACRYLIC EMULSION PAINT IN BALANCE AREA
	FLOORING	ANTI-SKID VITRIFIED TILES
	CEILING	LOW VOC ACRYLIC EMULSION PAINT & PART GYPSUM FALSE CEILING
	WHITE GOODS	MODULAR KITCHEN WITH CHIMNEY AND HOB
<b>TOILETS</b>	FLOORING	ANTI-SKID VITRIFIED TILES
	CEILING	LOW VOC ACRYLIC EMULSION PAINT WITH GYPSUM FALSE CEILING
	DOORS	BOTH SIDE LAMINATED FINISH FLUSH DOOR WITH HARDWOOD FRAME
	WINDOWS	SINGLE GLAZED UPVC WINDOWS WITH FROSTED GLASS
	CP & SANITARY FITTINGS	TOTO, GROHE OR EQUIVALENT
	WALLS	VITRIFIED TILES UPTO FALSE CEILING WITH ITALIN MARBLE COUNTER TOP
<b>BALCONIES/TERRACES</b>	RAILING	SS HANDRAIL WITH LAMINATED TOUGHENED GLASS AND STONE COPING
	FLOORING	ANTI-SKID VITRIFIED TILES
	CEILING	SUPERIOR QUALITY EXTERIOR GRADE PAINT

<b>APARTMENT SPACES</b>	<b>FEATURES</b>	<b>FINISHES</b>
<b>SERVANT ROOM/TOILET</b>	FLOORING	ANTI-SKID VITRIFIED TILES
	CEILING	LOW VOC OBD
	DOORS	BOTH SIDE LAMINATED FINISH FLUSH DOOR WITH HARDWOOD FRAME
	WINDOWS	SINGLE GLAZED UPVC FRAMED UNIT
	CP & SANITARY FITTINGS	JAQUAR, HINDWARE OR EQUIVALENT
	WALLS	LOW VOC OBD
<b>PRIVATE APARTMENT LIFT LOBBIES</b>	FLOORING	ITALIAN MARBLE
	CEILING	LOW VOC ACRYLIC EMULSION PAINT
	DOORS	BOTH SIDE VENEER FINISH FLUSH DOOR WITH HARDWOOD FRAME
	WINDOWS	SINGLE GLAZED UPVC FRAMED UNIT
	WALLS	STONE CLADDING WITH LOW VOC ACRYLIC EMULSION PAINT
<b>ADDITIONAL CHARGABLE FEATURES* - SOLARIS (TOWER-C)</b>		
<b>WHITE GOODS IN KITCHEN</b>	MICROWAVE, DISHWASHER, OVEN AND BUILT-IN-REFRIGERATOR	
<b>WARDROBES</b>	MADE FROM MR PLY & GERMAN HARDWARE IN PU AND VENEER FINISH IN ALL BEDROOMS	
<b>AUTOMATION/OTHERS</b>	CENTRAL AC CONTROL, CURTAIN CONTROL - LIVING AND DINING AREA, ELECTRONIC MAINDOOR LOCK & OCCUPANCY SENSORS IN TOILETS	

FOR FUTURE DEVELOPMENT



- 1) ALL EXISTING PROVISIONS IN THIS PLAN ARE TO BE MAINTAINED.
- 2) ALL PROVISIONS WILL BE MEDICALLY APPROVED BY THE LOCAL HEALTH OFFICER.
- 3) SERVICE IMPLEMENTATION WILL BE RESPONSIBLY BY THE DEVELOPER.
- 4) STAFFING REQUIREMENTS SHOULD BE AS PER THE LOCAL HEALTH OFFICER'S REQUIREMENTS. THE DEVELOPER SHOULD PROVIDE SEPARATE PROVISIONS FOR ALL COMMON SERVICES, THE PROVISIONS SHOULD BE AS PER THE LOCAL HEALTH OFFICER'S REQUIREMENTS. THE DEVELOPER SHOULD PROVIDE SEPARATE PROVISIONS FOR ALL COMMON SERVICES, THE PROVISIONS SHOULD BE AS PER THE LOCAL HEALTH OFFICER'S REQUIREMENTS.



Project:  
 GROUP HOUSING  
 MEASURING 17.55 ACRES  
 SECTOR 59, VILLAGE BEHRAMPUR, GURGAON  
 M/S BASE EXPORTS PVT. LTD.

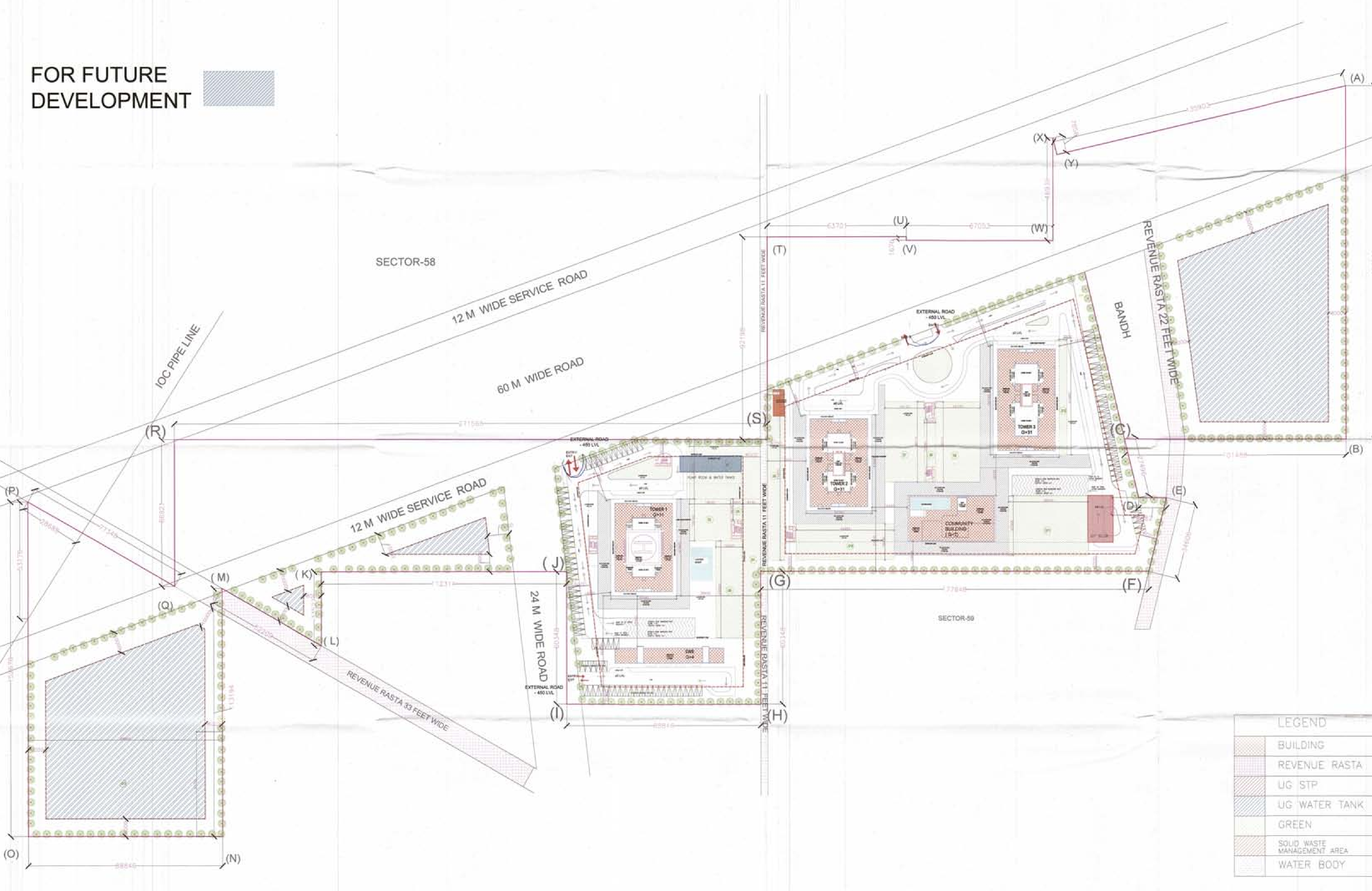
Consulting MEP

Architect's Sign

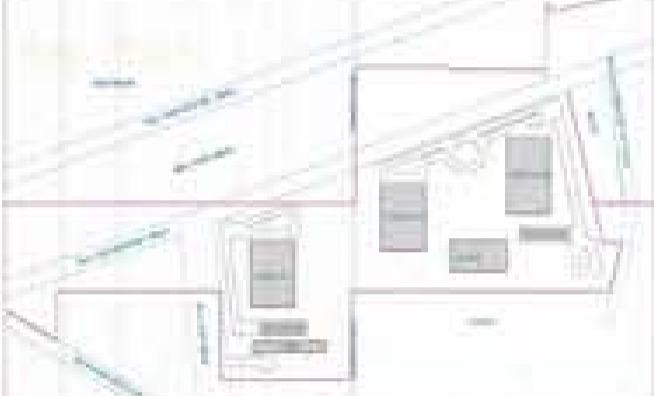
LEGEND	
	BUILDING
	REVENUE RASTA
	UG STP
	UG WATER TANK
	GREEN
	SOLID WASTE MANAGEMENT AREA
	WATER BODY

Drawing Title		North
SITE PLAN		
Drawing No.	North	
Scale	North	
Date	North	

FOR FUTURE DEVELOPMENT



- 1) ALL EXISTING SERVICES IN THIS SITE ARE TO BE MAINTAINED.
- 2) ALL SERVICES TO BE PROVIDED SHALL BE AS PER THE REQUIREMENTS OF THE LOCAL GOVERNMENT AND THE NATIONAL STANDARDS.
- 3) THE DESIGNER SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL SERVICES TO BE PROVIDED AND SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL SERVICES TO BE PROVIDED AND SHALL BE RESPONSIBLE FOR THE DESIGN OF ALL SERVICES TO BE PROVIDED.



Project:  
 GROUP HOUSING  
 MEASURING 17.55 ACRES  
 SECTOR 59, VILLAGE BEHRAMPUR, GURGAON  
 M/S BASE EXPORTS PVT. LTD.

Consulting MEP

Architect's Sign

LEGEND	
	BUILDING
	REVENUE RASTA
	UG STP
	UG WATER TANK
	GREEN
	SOLID WASTE MANAGEMENT AREA
	WATER BODY

Drawing Title		SITE PLAN	
Drawing No.		North	
Scale			
Date			